

**Village of Churchville
Heritage Conservation District**

DISTRICT PLAN

May 1990



Office Consolidation February 5, 2015

OFFICE CONSOLIDATION
CHURHCVILLE HERITAGE DISTRICT PLAN

Preamble

The Churchville Heritage District Plan is based on By-Law 219-1990 that was adopted by City Council on October 10, 1990 and prepared under Part V of the Ontario Heritage Act. This office consolidation incorporates all modifications and referrals made by By-Law 243-2007 that was approved by the Ontario Municipal Board on September 11, 2009 and November 25, 2009 along with the following amendments approved by the City of Brampton:

Nil

This office consolidation is provided for convenience only. For official reference, resource should be had to the original documents.

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SUMMARY OF RECOMMENDATIONS

The Churchville Heritage Conservation District Plan is divided into three major parts. Each part contains recommendations respecting aspects of conservation, planning and implementation.

Wherever possible the recommendations contained in the heritage conservation district plan are contained below in their entirety. The only exceptions are those recommendations describing particular text changes to planning documents or those describing administrative processes. The reader is requested to refer to the main text of the heritage conservation district plan for further information.

PART I: DISTRICT DESIGNATION

Recommendation 1

It is recommended that pursuant to subsection 41 (1) of the Ontario Heritage Act, council of the City of Brampton designate by by-law that area of the municipality identified generally as Churchville and surrounding lands as a heritage conservation district, more accurately depicted as "Proposed Heritage Conservation District" in the accompanying map.

Recommendation 2

It is recommended that the designating by-laws under Part IV of the Ontario Heritage Act (affecting Churchville Cemetery and "Whitehall") be repealed under Section 31 of the Act upon Ontario Municipal Board approval of the district designation by-law.

PART II: CONSERVATION, DESIGN AND LANDSCAPING GUIDELINES

Recommendation 3

In order to guide sound conservation and prudent management of the designated heritage conservation district of Churchville it is recommended that Pan II of this heritage conservation district plan be adopted by the Council of the City of Brampton.

PART III: PLANNING, DEVELOPMENT AND IMPLEMENTATION

Recommendation 4

It is recommended that Churchville should be located outside of the long term urban area boundary in the Draft Regional Official Plan.

Recommendation 5

It is recommended that additional policies are incorporated into section 1. 7.1.1 of the City of Brampton Official Plan.

Recommendation 6

It is recommended that additional policies are incorporated into section 7.12 of the City of Brampton Official Plan.

Recommendation 7

It is recommended that additional policies are incorporated into section 2.1.2 of the City of Brampton Official Plan.

Recommendation 8

It is recommended that additional policies respecting conservation of Scenic Drives are incorporated into section 4.2.1 of the City of Brampton Official Plan.

Recommendation 9

It is recommended that Hailstone, Creditview and Churchville Roads be designated as Scenic Drives throughout the heritage conservation district. If considered desirable this designation may also be considered for that portion of Hailstone Road outside of the district west to Mississauga Road, and those portions of Churchville and Creditview to their intersection north of Steeles Avenue. Appropriate signage of these Scenic Drives may be considered by Council.

Recommendation 10

It is recommended that additional policies respecting conservation of streetscapes are incorporated into section 4.2.1 of the City of Brampton Official Plan

Recommendation 11

The following are recommended as amendments to the Residential Hamlet RH zone in Churchville, listed in priority and considered to be maximum limits to building form:

- Maximum building height of 8.75 metres (28.7 feet).
- Maximum building width of 12.25 metres (40 feet).
- A floor space index of 0.17 or a ratio of approximately 1:6

Recommendation 12

It is recommended that section 45.1.2 of the Zoning By-law be amended to read:

“45.1. 2

- a) No person shall, within any floodplain zone, erect, alter or use any building or structure for any purpose except that of flood or erosion control.
- b) Notwithstanding the foregoing where such structures are of heritage interest or value, buildings may be altered or adaptively re-used in a manner in keeping with their distinguishing features and with regard for public safety.”

Recommendation 13

It is recommended that a tree preservation by-law be adopted by Council which applies only to publicly owned property within the designated district and prohibits the felling, uprooting, willful damage or destruction of trees without the consent of City Council on the advice of the district committee.

Recommendation 14

It is recommended that a detailed traffic management study of Creditview Road be undertaken in the future to assess the merits of road closure and the impacts on the environment and the local and Regional road network.

Recommendation 15

It is recommended that if the tablelands to the east of Churchville Road are developed that the following be undertaken:

- an archaeological assessment of the property with suitable mitigation measures proposed in the light of significant findings;

- suitable landscaping measures be adopted with particular attention to Churchville Road as a major entrance into the village;
- protection of the slopes in the southern portion of the site such that they are not physically or visually breached by any form of development;
- the promotion of a mix of contemporary residential building types, low in profile with simple roof forms executed in wood or stucco wherever feasible, with any required larger homes being suitably buffered or located in less visually sensitive areas; and,
- regard be given to those specific measures identified in the landscape conservation and enhancement section of this plan as it pertains both generally and specifically to the subject lands.

Recommendation 16

It is recommended that a committee be established for the management of this conservation district. to be known as the Churchville Heritage Conservation District Committee, reporting to and advising the Planning and Development Committee of the City of Brampton.

Recommendation 17

If there is a continued provincial commitment to the Conservation District Funds program under the Ministry of Culture and Communications' grants program "Presenting Ontario's Architecture" it is recommended that the City establish a conservation district fund for the Churchville district with a municipal contribution to be decided upon by City Council in light of prevailing budget commitments.

Recommendation 18

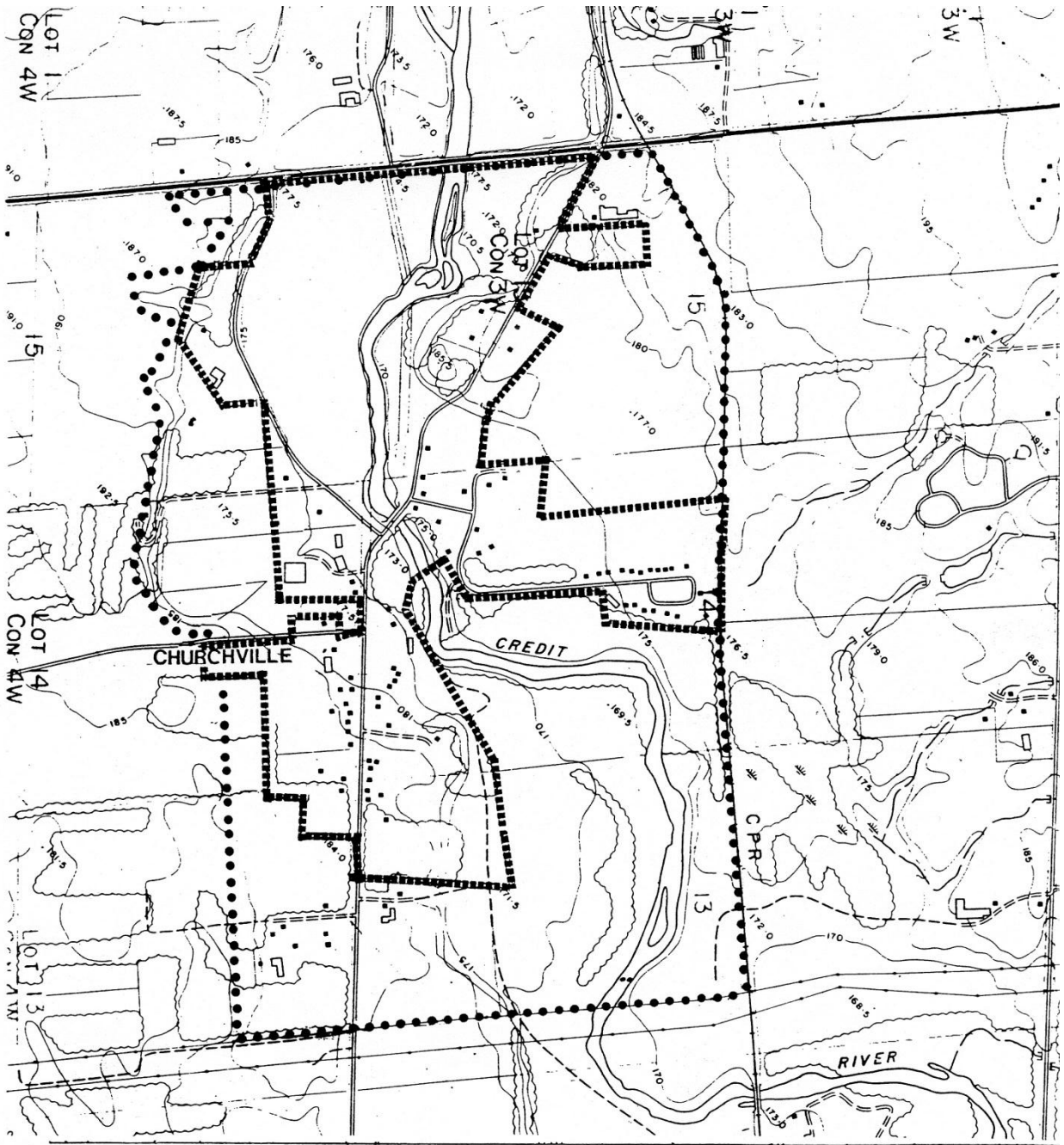
It is recommended that a proposed permit application process for public and private property owners is adopted,

Recommendation 19

It is recommended that where any application or proposal for one of the following is located within or partially within the designated district the district committee shall be circulated for comments:

- a variance or a consent;

- a plan of subdivision;
- zoning amendment;
- road closure;
- road widening,
- slope or bank stabilization; and,
- all activities of the CVCA.



Proposed Heritage Conservation
 District Boundary ●●●●●●●●
 Settlement Area - - - - -

Proposed Heritage
 Conservation District Boundary

Village of Churchville
 Heritage Conservation District Study

David Cuming and Associates
 Unterman McPhail Heritage Resource Consultants
 Wendy Shearer Landscape Architect Limited

1. INTRODUCTION

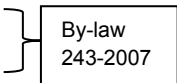
1.1 Purpose of the District Plan

This heritage district conservation plan follows on from the first stage of the district study process i.e. the preparation of the Background Report. The background report detailed the heritage attributes of the Churchville area and provided the rationale for designating the settlement as a conservation district under Part V of the *Ontario Heritage Act*.

The district plan is intended to provide the basis for the careful management and protection of the area's heritage resources including: buildings, landscape features and archaeological sites. Additionally the plan provides guidance on relevant planning and development matters that may affect the unique character of this valley settlement.

Accordingly the plan should be used and consulted by a variety of people and agencies including:

- property owners,
- City Council,
- municipal staff,
- Municipal Heritage Committee
- the District Committee,
- the Credit Valley Conservation Authority and,
- those provincial ministries and agencies having jurisdiction or interests in and around the Churchville area.



1.2 Format of the District Plan

The District Plan comprises three main parts. Each part comprises a number of distinct sections addressing the many diverse aspects of heritage conservation and planning within Churchville.

Certain sections contain specific recommendations for municipal action and require the enactment of by-laws or changes to municipal planning policies. Other sections include design guidelines or advice on conserving or maintaining architectural details or historical building fabric.

Part I makes the key recommendation concerning the designation of Churchville as a heritage conservation district.

Part II addresses the principles of district conservation and contains a number of goals and objectives respecting buildings, landscape, archaeology, land use and new development. Conservation guidelines are included and guide property owners in caring for and maintaining their heritage buildings.

Other sections in this part describe guidelines for alterations and new construction with the objective of providing a minimum standard of appropriateness for change within Churchville.

Specific guidance is provided on landscape improvements to features in Churchville as well as general advice on landscape design.

Part III contains a number of recommendations in respect to planning, development, funding, and implementation initiatives primarily for municipal action within the district.

PART I: DISTRICT DESIGNATION

2. HERITAGE CONSERVATION DISTRICT DESIGNATION

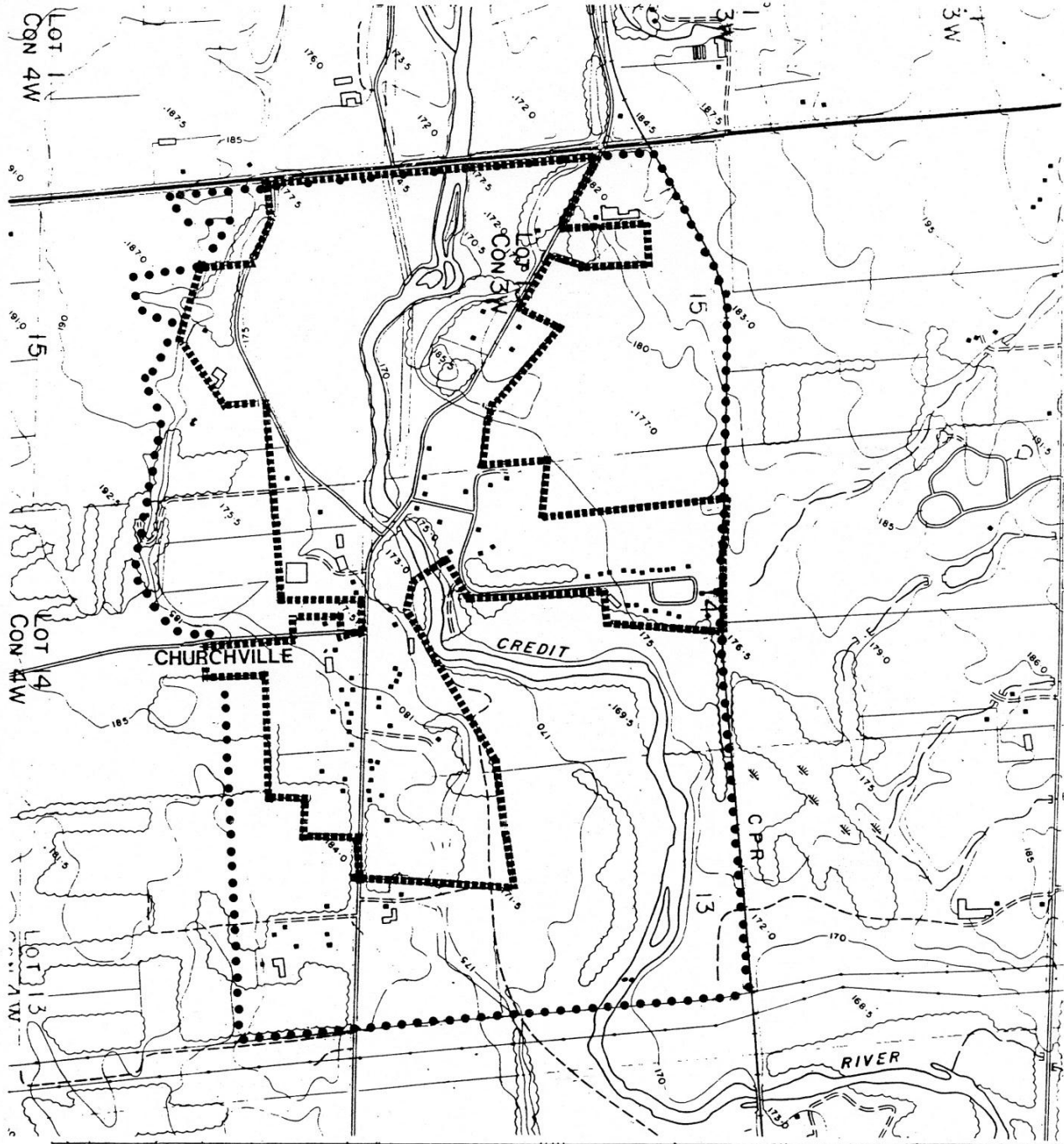
2.1 District Character: A Summary

The village of Churchville is located in a particularly scenic portion of the Credit River valley. Dominated by its rural setting and modest vernacular buildings, this settlement area has undergone significant changes since it was first inhabited by Caucasian settlers almost 160 years ago. The copious supplies of water accounted for a thriving milling centre initially focused on the lumber industry and later wheat. A variety of typical uses and associated buildings accompanied the growth of Churchville, but several economic downturns and a disastrous fire accounted for the demise of this once prosperous centre.

A number of buildings, however, did survive to the present day. Built predominantly of timber frame they represent a local tradition of vernacular rural structures. Some have been altered over the years with the addition of a variety of new synthetic claddings. Despite these changes these buildings are now becoming scarce within Brampton as urban development rapidly encroaches upon adjacent rural areas.

The rural character of Churchville provides a distinctive context for these buildings. Narrow tree lined roads, scenic views over the surrounding landscape, and the ever present influence of the Credit River and its steep valley sides provide a great diversity in such a relatively small area.

Additionally, a number of archaeological sites are located in and around Churchville attesting to the enduring attractiveness of the Credit valley as a settlement area.



Proposed Heritage Conservation
 District Boundary ●●●●●●●●
 Settlement Area ■■■■■■■■

Proposed Heritage
 Conservation District Boundary

Village of Churchville
 Heritage Conservation District Study

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2.2 District Designation

Part V of the Ontario Heritage Act enables a municipality to designate by by-law all or any portion of a municipality as a heritage conservation district provided that there are official plan provisions respecting the establishment of such districts.

Sections 1.7 and 7.12 of the Official Plan of the City of Brampton contain policies that provide for the designation of conservation districts. The Background Report to this plan identified a number of heritage attributes that supported the designation of Churchville and environs, notably:

- Historical significance as an important nineteenth century milling centre in Peel Region.
- Scenic merit as a particularly attractive rural landscape setting in the Credit River valley.
- Architectural interest in the surviving rural vernacular frame and masonry buildings scattered throughout Churchville.
- Archaeological significance derived from a number of pre-historic archaeological sites. Evidence of activity by people of the Laurentian Archaic (3000-5000 B.C.) Middle Woodland (3000 B.C.-0 A.D.) and Iroquois (900-1500 A.D.) periods.

Recommendations 1

It is recommended that pursuant to subsection 41(1) of the Ontario Heritage Act, Council of the City of Brampton designate by by-law entire area of the municipality identified generally as Churchville and surrounding lands, more accurately depicted as "Proposed Heritage Conservation District" in the accompanying map

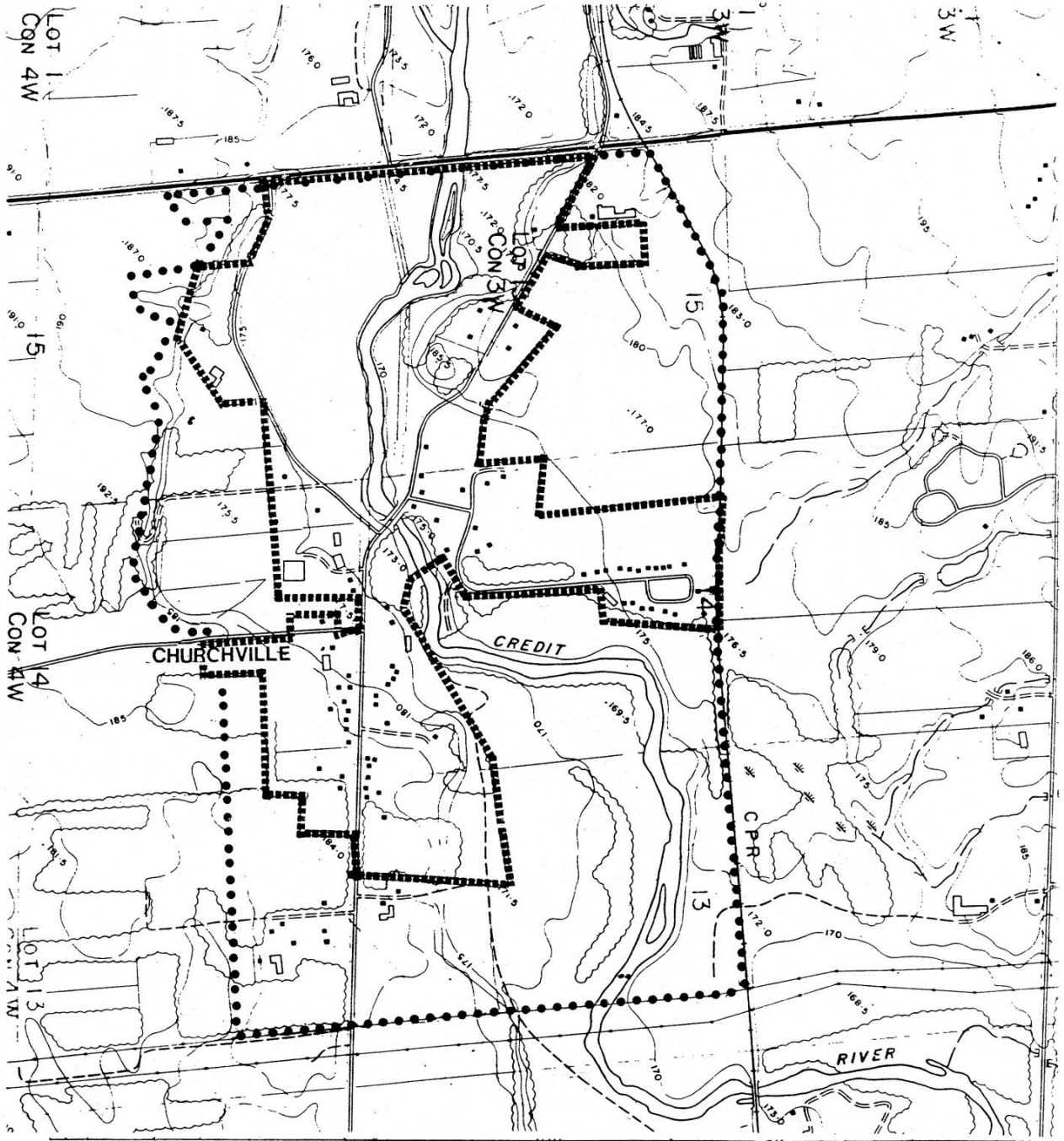
2.3 Property De-Designation

Part V of the Ontario Heritage Act does not permit properties designated under Part V of the Act to be part of a heritage Conservation district. It is important that there is a cohesive focus to the whole district and its heritage buildings and landscapes.

Recommendation 2

It is recommended that the designating by-laws under Part IV of the Ontario Heritage Act affecting Churchville cemetery be repealed under section 31 of the Act upon Ontario Municipal Board approval of the district designation by-law. That Whitehall remains designated under Part IV and can only be designated under Part V if the District Plan is amended under a new by-law under the new OH Act guidelines.

By-law
243-2007



Proposed Heritage Conservation
 District Boundary ●●●●●●●●
 Settlement Area - - - - -

Proposed Heritage
 Conservation District Boundary

Village of Churchville
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PART II: CONSERVATION, DESIGN AND LANDSCAPING GUIDELINES

Recommendation 3

In order to guide sound conservation and prudent management of the designated heritage conservation district of Churchville it is recommended that Part II of this heritage conservation district plan be adopted by the Council of the City of Brampton.

3. DISTRICT PLANNING, CONSERVATION POLICIES AND GUIDELINES

3.1 District Planning Principles

The Background Report to this District Plan described and inventoried the variety of distinctive features within the Churchville area. These included not only a variety of heritage buildings in a particularly scenic valley setting but also a number of important archaeological resources scattered throughout Churchville.

The village is also characterized by its rural setting comprising primarily small scale residential buildings and uses served by an irregular configuration of narrow tree lined roads. A number of provincial and local planning policies generally support the maintenance, protection and complementary development of this settlement and its surroundings.

This District Plan is intended to provide more specific guidance in the management of change and development within this unique setting of the City of Brampton in a way that respects the modest but important collection of rural vernacular building stock, the quality of the public spaces particularly the scenic valley setting, as well as important streetscapes and the wishes and views of individual property owners.

Wise conservation and sensitive management of change can only be promoted by a clear statement of goals and objectives for the designated heritage conservation district. While only general in nature, goals and objectives provide a framework for more specific guidance and action as well as direction towards the kind of environmental management anticipated in a conservation district.

3.2 Goal

The goal of the Background Plan to this District Plan is to maintain, protect and enhance the Churchville heritage conservation district.

3.3 Objectives

3.3.0 Heritage Buildings

- To encourage the ongoing maintenance and repair of individual heritage buildings by property owners
- To support the continued care, conservation and restoration of heritage buildings wherever appropriate by providing guidance on sound conservation practice and encouraging applications to funding sources for eligible work
- To encourage the retention and adaptation of built heritage resources rather than the demolition

By-law
243-2007

3.3.1 Landscape

- To encourage the maintenance and protection of the rural landscape character of Churchville
- To maintain and preserve natural features such as the Credit River, valley slopes, existing trees, treelines, hedgerows, fields and grasslands within the area
- To encourage the protection and retention of existing road and streetscapes within Churchville and to avoid or minimize the adverse effects of public undertakings
- To enhance public spaces with appropriate landscaping

3.3.2 Archaeology

- To avoid wherever possible the disruption or disturbance of known archaeological sites or areas of archaeological potential

3.3.3 Land Use

- To encourage the maintenance of a continuing stable residential and agricultural environment within the district
- To support existing uses and adaptive re-uses wherever feasible within the existing building stock
- To discourage those land uses which would be out of keeping with or have detrimental effects upon the residential or agricultural character of the district

3.3.4 New Development

- To encourage new development only where it respects or otherwise complements the prevailing low profile of existing buildings and structures within Churchville
- To discourage the demolition of existing heritage buildings and their replacement by new development

4. CONSERVATION GUIDELINES

4.1 Introduction

The intention of this District Plan and in particular the following conservation guidelines is to attempt to ensure the wise management of physical change and development within the unique heritage environment of Churchville. Change is to be expected. It is important however that in the process of change and development valued heritage features are protected or conserved.

The building style found in Churchville is typical of rural Ontario vernacular architecture. Its distinctive feature is characterized by cohesiveness of scale mass decorative detailing and building materials. Although many individual buildings and properties have been altered over the decades the overall nineteenth century village character has been retained.

Some of these changes resulted from new uses or the adaptive re-use of properties, others simply from evolving tastes and fashions.

In order to ensure that the character of the district and its component buildings and spaces are maintained enhanced guidelines are provided in this and following sections. It is anticipated that most conservation issues in the district will be addressed through the plan's policies and guidelines. The following principles form the basis for advice to property owners or decision making by the City of Brampton.

4.2 District Conservation Principles

Heritage buildings are to be retained and re-used wherever possible and the demolition of heritage buildings will be strongly discouraged.

The distinguishing characteristics of a heritage property should not be destroyed and the alteration or removal of historical fabric or distinguishing architectural features should be avoided.

Alterations and changes that have occurred in the past may be of significance in the development of a particular heritage building and its environment and should be protected.

Stylistic and architectural features or examples of craftsmanship that distinguish a particular building or environment should be treated with sensitivity and where deteriorated should be repaired rather than replaced.

Replacement of architectural features should match the material being replaced in composition, design, texture, colour and size.

Historical, physical or pictorial and documentary evidence should guide the repair or replacement of missing architectural features of an individual heritage building. Guesswork or using architectural elements borrowed from other buildings should be avoided.

Surface cleaning of structures should only be undertaken when accumulated dirt adversely affects the historical fabric of a heritage building and undertaken only by the gentlest means possible. Sandblasting, high pressure water washing, strong chemical cleaning and other methods that damage building materials must be avoided.

Contemporary design of alterations and additions will be encouraged where they do not destroy significant historical, architectural or cultural features.

Contemporary design of alterations should be encouraged where they are of a size, location, colour and material that is compatible with the prevailing character of the building, streetscape and district.

All public works should seek to avoid adverse effects to individual heritage buildings, archaeological sites, walls, fences and distinctive trees and tree lines within the district.

New construction comprising freestanding buildings should respect the prevailing character of adjacent buildings, the streetscape and district and be compatible in location, height, setback, orientation, materials, colour, roofline, fenestration, scale and proportion

4.3 Building Conservation

Today's owners of heritage property may be considered as stewards or custodians with responsibilities to transmit to future generations a rich built heritage. Maintaining buildings in good physical condition and ensuring viable and satisfactory uses are also the cornerstones of conserving older heritage buildings.

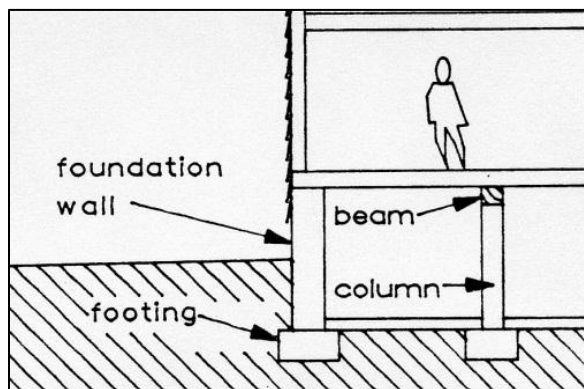
The deterioration of building elements or materials is a natural phenomenon. It can be significantly slowed by sound repair and maintenance or considerably accelerated by inadequate attention to such things as water damage, paint failure and so on. The process of "conservation" comprising remedial measures necessary to prevent decay must be used to promote the longevity of building materials.

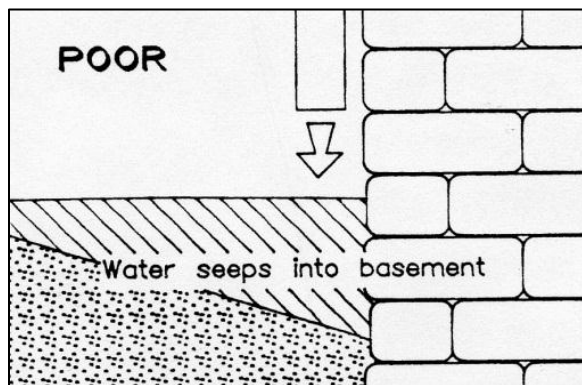
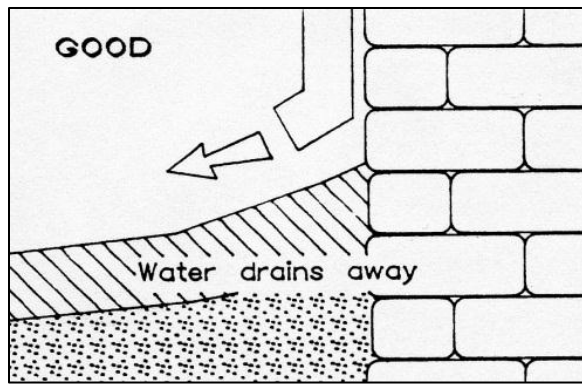
Generally the issues within the Churchville district relate mainly to the continuing maintenance and repair of historic building fabric, appropriate alterations and additions to existing heritage structures and new construction. Repair and maintenance is the minimum conservation action and yet the most effective action required to maintain a building since it often insures against harmful and irreparable damage.

The following provides general guidelines on the maintenance, repair and restoration of existing heritage buildings within the district.

4.4 Foundations

Building foundations which are sound and watertight are essential to the good health of the district's structures. The early discovery of problems can normally be corrected inexpensively and efficiently. If problems are allowed to persist untreated, irreversible damage such as excessive settlement may occur.





The importance of the regular inspection of basements and foundation walls cannot be overstressed. Using a flashlight look for signs of moisture, cracks, deflection of structural members and settlement. Settlement can take years to occur and normally does take place during the first years of the structure's life. Often older buildings which have settled reach an equilibrium. However, changes in ground water levels, earth movements, new tree plantings too close to a structure, new additions and disconnected downspouts can result in further destabilization of the structure and foundation.

Another problem with basements, crawl spaces and foundations is a lack of proper ventilation which can cause fungal growth. Undetected growth can also cause stress on sill plates which may affect the performance of the basement foundation and walls above.

Repairs to foundation should be undertaken only after consultation with a professional engineer or architect who has a knowledge of heritage buildings systems. Make repairs where possible using traditional building practices and using sound building science principles.

Make sure proper exterior drainage is in place and direct water away from the building. Install drainage tile if necessary to control excessive moisture. When excavating, remember that there may be archaeological remnants associated with the structure or property.

Generally the guidelines for masonry restoration of walling (see section 5.6) should be applied to any exposed external foundation walls whether they are brick, stone or concrete block. Areas exposed to extreme environment conditions at the lower foundation walling may require a slightly stronger masonry mortar to prevent accelerated deterioration.

4.5 Structure

Structural systems of buildings often vary in size, shape and design. Techniques employed by a variety of builders and designers will also contribute to differences in construction methods and choice of materials.

Inspect and record structural stability problems: note cracking, deflection, fungal or insect attack. Stabilize weakened structural members and systems with a method which can be reversed if necessary.

The effects of settlement: problems with leakage or cracks that should be monitored for activity before work is considered. Inactive cracks and/or leaning walls can be in a static state and no longer cause for concern.

Remember it is most important to ensure that major repairs ensuring structural soundness of a building are made before the completion of work to the exterior elements like brick, stone, stucco and even wood siding. Structural repairs to masonry or stucco should be completed with nonferrous metal hardware to prevent rusting and oxide jacking i.e. expansion of metal through rusting will split masonry units.

When restoring, replace specialized joinery work and unusual or rare engineering or technical innovations only when necessary. Specialized work will require a skilled craftsperson or a professional engineer with heritage training or experience. Proper plans and specifications may be required to execute the project.

The building owner should consider supplementing the existing structural system when damaged or inadequate. This is a preferable solution.

4.6 Walling

Generally, the historic buildings of the Churchville area were either sided in wood over a frame structure or timber frame covered with stucco. A handful were constructed with brick. At present a number of the wood clad buildings found in Churchville are covered with synthetic siding.

Walls should be examined for cracks, spalling, stains, leaks, mortar erosion, local distress, leaning or bowing, efflorescence, blisters and loose or falling building fabric. Prioritize the work which must be considered for repair and future maintenance, and then take appropriate action.

Brick

Repairs to localized areas should match the original as closely as possible in size, colour, texture, surface treatment and strength for reasons of appearance and durability. With brick, it is critical that mortar which bonds the original walling units is examined for texture, colour, type of jointing and composition. A good match of the above noted qualities will contribute to a better completed job. The choice of replacement brick should follow similar criteria in terms of type, unit size, colour, texture and composition. Maintain wherever possible decorative brick elements. The maintenance of brick walling will help preserve the building fabric.

Major restoration should follow guidelines developed in the [Annotated Master Specification for the Cleaning and Repair of Historic Masonry](#) available from the Ontario Ministry of Culture and Communications Heritage Branch, Toronto.

When replacement brick is to be used it should be chosen carefully. Salvage brick can be used in areas where exposure to excessive weathering is not likely to occur. Remember strength and durability are properties "old" bricks should be examined for when considering their re-use.

The retention of original heritage finishes or coatings on masonry including paint, whitewash and parging should be maintained when possible. The cleaning of masonry can be considered useful in the prevention of deterioration and the restoration of original appearance. However, it is critical to the success of a cleaning operation that the "patina" be maintained. The patina of age is part of the building's history. This will involve specialized care by a competent contractor. The "good as new" appearance usually means too aggressive an approach to cleaning is being recommended. Make sure that all cleaning

operations are carried out during a frost-free period by skilled operators and that test patches are completed in inconspicuous areas before any work is undertaken. Be wary of sandblasting in any circumstances and remember caustic chemicals used improperly can be just as harmful.

Many historic masonry structures contain softer, more elastic mortars with a high lime and low cement content. Modern mortar is generally harder and its use can be harmful for older buildings when employed with soft or friable masonry materials. A general rule with masonry repointing is to make sure the mortar is weaker than the surrounding masonry. It is easier and cheaper to repoint masonry walling rather than replace historic masonry units.

Repointing is required when the mortar is badly deteriorated or when water penetration has occurred and weakened the material. Do not repoint old mortar sections in good condition. Clean out deteriorated mortar with a hand chisel back to sound surfaces rather than using power chisels. The composition of the new mortar should match the qualities of the old in strength colour and texture.

Stucco

Stucco has been a much used exterior cladding in Ontario architecture. It is a type of external plastering or rendering of lime or lime and cement mortar which is placed on lath. It produces a uniform finish which is rain resistant and which adds architectural effect to the building surface with its texture, detailing and colour. Traditionally stucco was seldom painted but took its colour from the aggregate and any permanent pigment mixed in the finish coat.

Common failures of stucco include bulging, cracking, deterioration at the ground line and at the roof line. Moisture penetration and structural settlement are prime causes in stucco failure. Stucco can be repaired in several ways:

- Ensure that textured or decorated stucco surfaces are accurately recorded before repairs begin. Note the thickness of the stucco relative to the wood trim and maintain this dimension in order not to hide or destroy the function of detailing i.e. sill drips.
- New stucco should never be applied over an existing surface since this can hide damaged surfaces and destroy architectural detailing.
- Remove unsound stucco to lath or a sound base and duplicate original formulation in strength, composition and texture

- Patching and new stucco surfaces should match the historic finish colour and texture and any special markings found on original stucco surface.
- Do not paint stucco surface if not already painted.
- To date no effective method of cleaning stucco has been developed.



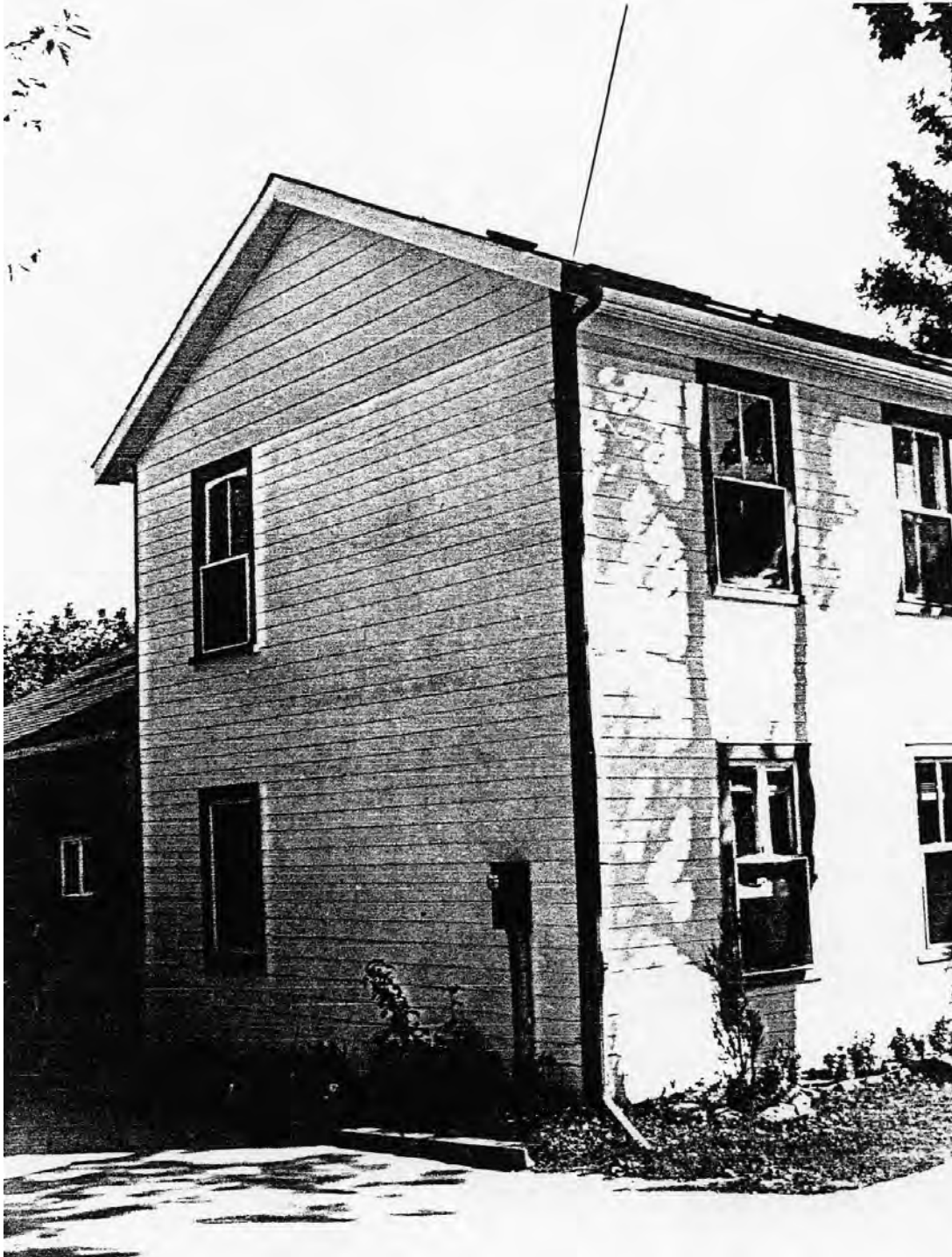
Stucco is a traditional exterior cladding and usually comprises a rendering of lime or lime and cement mortar placed on lath

Synthetic Siding

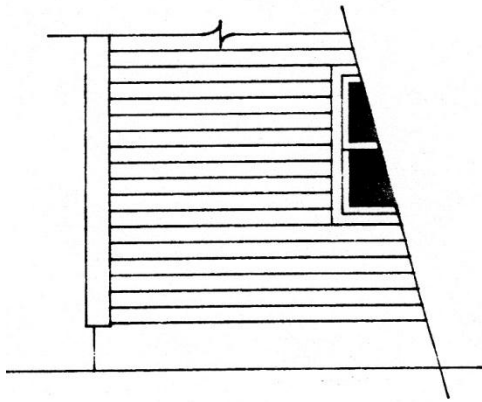
The exterior historic character of a heritage building is largely established by its style and decorative detailing which are in turn influenced by the detail, colour and surface characteristics of the walling material. Wooden siding, as well as brick structures are often re-clad in modern synthetic siding rather than renewing the original building material. In the case of historic building this can lead to significant changes to the exterior appearance of the building.

Synthetic siding coarsens the visual texture of the building and destroys the architectural scale of a house by altering size and spacing of the original wooden siding. Its application generally means the removal of decorative and other trim such as corner boards and window and door trim. Wooden siding and brick units are often damaged by nailing the synthetic siding directly to the original building fabric or by adding furring strips to the original walling material. The inability of synthetic sidings to bend often leads to vertical placement in problem areas thus spoiling the original lines of a historic building.

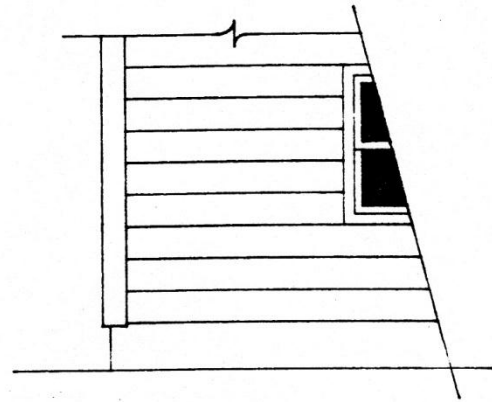
The application of synthetic siding also affects the general maintenance and repair of the historic building by contributing to moisture problems if applied over a building which needs repair and it prevents the inspection of the underlying building fabric. Synthetic siding tends to be prone to denting. It is not maintenance free and its insulation value is not significant.



Wooden siding is a traditional cladding and should be conserved wherever possible. Try to avoid the use of synthetic siding on heritage buildings.

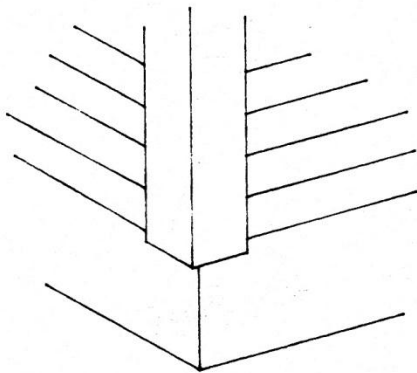


YES

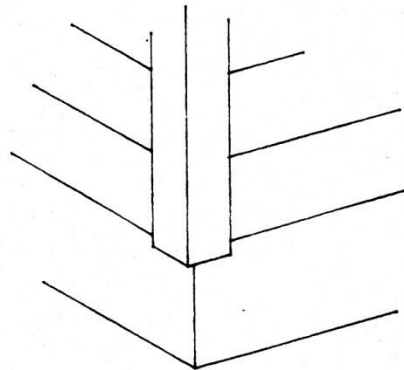


NO

Original siding width and profile should be maintained when re-siding.



YES



NO

4.7 Roof

Respect the original roof configuration and roofing materials and any architectural details such as dormers, cupolas, vents and cresting.

Assess the condition of the roof yearly. Look for or examine: broken, loose or missing shingles, corroded, broken or loose fasteners, the condition of the valleys flashing and ridge as well as level and plumb roof planes.

Repairs should be made before considering entire roof replacement. Even small patch repairs should be carried out in a conscientious manner and match the original material.

Ensure rainwater gutters are regularly cleaned to prevent backup and ice dams.

The choice of roofing material replacement should be carried out after a proper cost analysis, taking into account grant monies. Selection of a modern or alternative roofing material should respect the colour, dimensions and texture as well as visual impact of the original roof and the effect on the streetscape.

If planning to restore a roof to its original condition, investigate the roof area and/or examine historic photographs and other documentary sources to identify the original roofing material. The predominant historic roofing material used within the Churchville district appears to have been wood shingles. Make sure colour, textures and dimensional qualities respect the original material. Hire an experienced contractor familiar with proper installation techniques. Property owners can assist by directing the contractor to certain information sources if there are any questions regarding details for flashing, ridges and junctions.

4.8 Exterior Woodwork

Wood is the most common building material and has always been relatively inexpensive and readily available in Ontario from the beginning of European settlement. Many communities such as Churchville grew up around small sawmills which provided ample building material for local consumption.

As a result the majority of the early local buildings were constructed in frame with wooden cladding. Most exterior woodwork is softwood with pine being the most common and widely used.

The construction method for frame structures varies greatly as building techniques developed with advancements in technology. The earliest structures

were generally log and then heavy timber construction. This was followed by wooden platform framing and balloon framing which relied on machine sawn lumber.

The proper method of conservation for heritage frame structures begins with the assessment of the type of construction employed in the building. This will allow for the development of proper strategies for maintenance, repair and restoration.

Signs of rot, insect infestation, fungi, mechanical damage and structural fatigue are common problems. Understanding the nature of decay will allow for a better choice of repair and maintenance options. Look for blistering paint or a total absence of a surface covering as a signal of a potential problem.

In undertaking repairs use the gentlest means to strip or clean wood or finishes, being mindful not to remove or harm sound wood. Small cosmetic repairs can often be accomplished with compatible wood fillers which are then painted. More serious problems may require wood insertions or splices. When total decay has occurred, new wood should be used to duplicate the original structural or decorative element. Make sure a competent carpenter is hired to undertake the work. Maintenance of wooden elements will require regular inspections to ensure there is no damage from excessive moisture - wood's number one enemy.

When considering restoration work it is important to use a skilled craftsperson who has knowledge of practice, tools and wood. All structural and decorative elements should be examined for failure. Assessment of the type of repair should be considered in conjunction with historical documentation. Reconstruction of building elements should be based on historic photographs. Working or shop drawings should be prepared from these before replication of the element is commissioned.

With repairs to smaller areas by patching, it is recommended that a filler which contains maximum strength and durability be selected. Any splicing should be completed in the same type of wood. Make sure the cut section is similar so the graining matches.

Wooden detail and ornamentation are found on even the most modest historic buildings since the nineteenth and twentieth centuries maintained a considerable craft tradition in woodworking despite mass produced millwork. All decorative work will require moulding profiles to be taken to ensure that elements such as cornices, gingerbread, balusters, brackets, finials etc. are properly duplicated for restoration. The restored elements should be protected by a non-toxic water

repellent to prevent *future* decay. Regular painting is one of the best methods to ensure the protection of exterior woodwork. Do not rely on caulking to prevent water absorption.

Properly detailed elements should be self-draining, if possible. Wooden cladding is more typically used horizontally such as clapboard drop, bevel or shiplap siding. Vertical board and batten siding was used with some regularity in rural houses and farm buildings. Wood siding should be repaired wherever possible. New replacement wooden siding should match the original in form, style, dimension, profile and method of installation.

4.9 Windows and Doors

These important building features historically are an integral part of the architecture of the district's heritage buildings. They also reflect changes in the original design and often exhibit fine quality craftsmanship.

The inspection and assessment of these features for structural soundness is of critical importance. Retention and repair of original window frames, sash, glass and door paneling is recommended. Badly decayed areas in an otherwise sound window or door should be repaired using compatible filler materials or appropriate joinery detailing. Retain existing glazing where possible and save door and window hardware during repairs. Never enlarge window or door openings or make them smaller since this has a deleterious effect on the heritage character of the building. The one exception occurs when an original door or window opening is being restored.

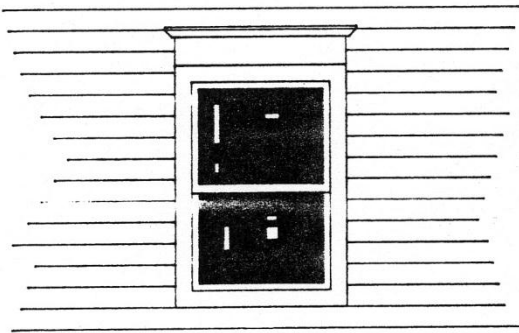
Replacement wooden windows or doors should be completed in kind. Aluminum coated metal or vinyl units are not recommended. A replacement window or door should match the original in style, shape and placement. Available historic photographs or other archival records will be required to meet the above criteria.

When restoring a building to its original appearance new replacement sash should maintain the muntin profile and dimensions of the original window. This may require new shaping blades or knives to be cut to reproduce the moulding profile. Try to make double hung windows work properly. Don't forget storm windows and doors are also heritage features. When new glazing is required it should resemble some of the qualities of older, single pane glass where possible.

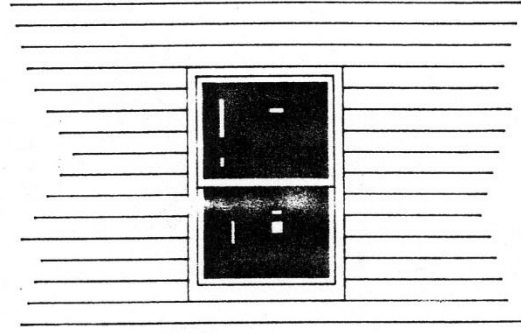
Entrances which include transoms and sidelights often exhibit a high degree of craftsmanship. The retention of this skilled work is desirable and worthy of

restoration through proper conservation techniques. The employment of experienced master carpenters may be necessary to complete this level of workmanship.

Prepare for the restoration of these elements by using moulding profiles and photographs to develop shop drawings.

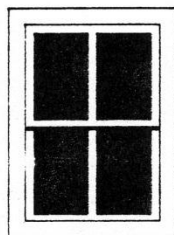
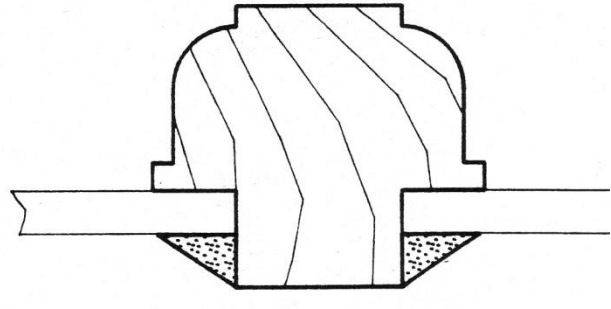
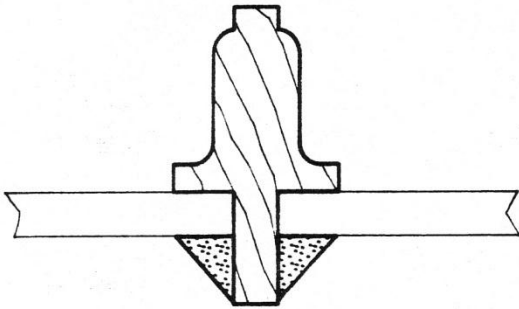


YES



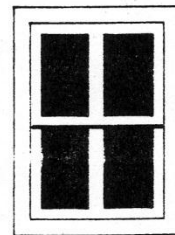
NO

Do not remove window trim
when re-siding or
installing new windows.



YES

When replacing original
windows match the muntin
profile where possible.



NO

4.10 Paint

Painting is probably the common maintenance work encountered by property owners. The removal of painted exterior surfaces on an eight to fifteen year period is a generally accepted contingent upon environmental conditions.

Paint removal should be considered only after a thorough inspection of the surface. Look for signs of mechanical wear, cracking, scaling, peeling, blistering, loss of gloss, soiling chalking or mildew. With these conditions in mind prepare the surfaces properly. Realize that new paints can bond poorly to old paints if the surfaces are not prepared by sanding, scraping and the use of a good primer coat. Since paint adheres poorly to burnt wood, it is not advisable to use a blow torch for removal. Always take precautions when removing lead based paints. Lead fumes are toxic.

Choose a colour scheme which is sympathetic to the structure and its design elements as well as the neighbourhood. Original paint colours may be exposed when removing old paint from historic buildings making it possible to match these earlier colours.

Original paint colours can be determined by paint analysis when carried out by a professional. If no traces of the original paint exist, representative colours for the period can be determined from contemporary trade magazines and catalogues.

Make matches with dry samples. Remember not to confuse a prime coat with finish colours. Also, older paints have a tendency to yellow and/or darken from the original colours

4.11 Energy Conservation in Heritage Buildings

The problem with most approaches to the issue of energy conservation in buildings by various government agencies and private industry sources is that they have been developed with new buildings in mind.

Older heritage structures can often be adversely affected by some of the measures or products used in the search for a better, more energy efficient structure. A very helpful book published by the Ministry of Culture and Communications titled Heritage Energy Conservation Guidelines shows how to be respectful to the older building's architectural merits while upgrading the energy efficiency and comfort of the structure.

The book focuses on two major themes:

- 1) Make use of the energy features built into our older homes, i.e. use heavy drapes or close shutters in winter and open windows and vents in summer on the side opposite the sun
- 2) Control heat loss through caulking, sealing and the proper maintenance of the heating plant rather than with cheap metal double glazed windows and blown in wall insulation

Technical methods for raising the comfort level of heritage homes or other buildings are outlined in the book. Insulating only when major work is being completed to the structure is suggested. Roof/attic insulation is also recommended where possible.

4.12 Cemetery Conservation

The Churchville cemetery contains a variety of grave markers in various materials and state of repair. No specific work is recommended at this time but should the City contemplate future action the following guidance is offered. (It should be noted that legal requirements of the provincial Cemetery Act must be met before undertaking any major work in a cemetery.)

It is important to carefully record and inventory all grave markers, graves and monuments in a cemetery before carrying out any repair work. Age, inscription, type and condition of the stone, degree of tilt, old repairs and an overall assessment of the artwork should be noted for each marker. A site plan or map which may be available from the local cemetery authority should be used to illustrate the relative placement of each marker. Photographs should be taken prior to any repair work.

Conservation efforts should emphasize maintenance, stabilization and the arrest of deterioration. Repairs should only be undertaken in the gentlest manner and with the least intervention possible when dealing with the stones. Basic principles for the conservation of a cemetery include the following:

- Retaining and conserving markers in their original position if at all possible;
- Only consider removal of markers to a protective shelter or a commemorative wall if there is no other means of protecting them from further damage.
- Previous repairs should be left alone if they are not causing a problem.

- Landscaping and drainage problems should be corrected to protect monuments from moisture and vegetation.
- The use of power lawn mowers in cemeteries is a major cause of damage to the stones. Hand clippers should be used around markers or protective barriers erected around the markers to prevent chipping and damage to the stones.
- Stones which do not tilt more than 10 degrees should not be straightened.
- Righting stones tilting between 10 and 20 degrees should be accomplished by using plastic coated or wooden tools, excavating the base of the stone, tilting upright by hand and backfilling the hole with a soil/sand mixture. Do not set stones in concrete since concrete is subject to frost heave and contributes to the migration of damaging salts to the historic marker.
- Seek professional advice from a trained stone conservator for any major repair work such as resetting a marker in a stone base, repairs to obelisk style markers, replacing missing portions of the stone, repairs to snapped markers and the consolidation of the stone.
- Missing portions of stones should be replaced with matching stone. Never use concrete or strong cement mortar.
- Do not set markers in concrete cairns as this will hasten their deterioration.
- Cleaning of stone markers is not generally recommended since it often does more harm than leaving the soil or organic growth in place. However, light soiling may be removed by gentle washing with clean water and non-ferrous tools and brushes. Paint and graffiti can be removed by poulticing in conjunction with the professional advice of a trained stone conservator.
- Treatment of stones in the form of protective coatings designed to prevent weathering or the loss of inscriptions is not recommended since it may accelerate deterioration.



Architectural detailing such as the spindlework, brackets, columns and balustrade, as well as the shutters, provide a rich texture to certain buildings within Churchville. Every effort should be made to retain and protect these elements.

4.13 Bridge Conservation

The steel pony truss span over the Credit River is a heritage structure that has survived from the early 1900s in the face of considerable hazards, particularly flooding, ice build-up and spring thaw. It is a well-established landmark as well as an important entrance to the village core.

The structure may be eligible for listing in the Ontario Heritage Bridge Program (Managed jointly by the Ministry of Culture and Communications and the Ministry of Transportation) considering its potential attributes as an early example of a rivetted pony truss and which is now rare as a survivor.

Listing of a bridge in this program may enable the municipality to take advantage of grants from the Ontario Heritage Foundation, the Ministry of Culture and Communications and the Ministry of Transportation.

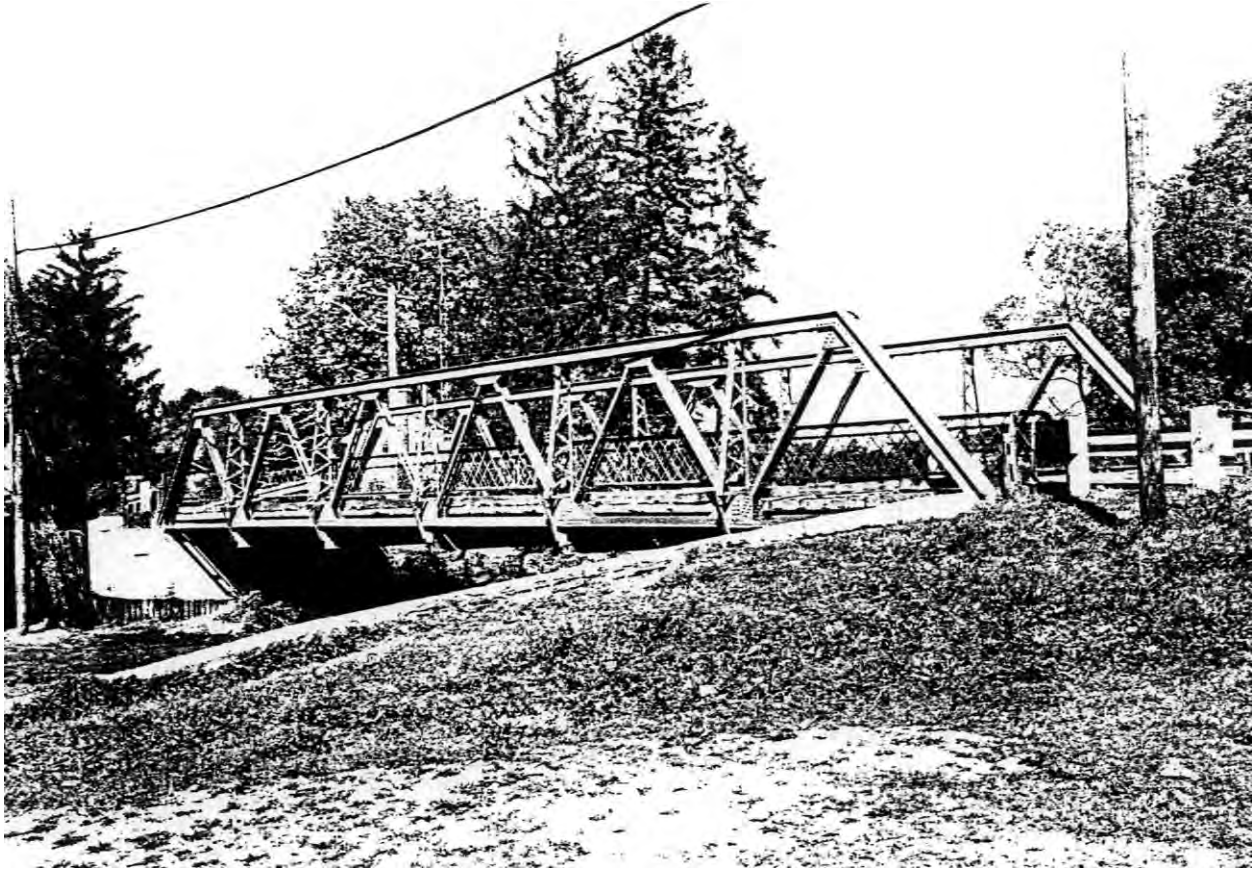
Accordingly every attempt should be made to ensure the continued presence of this bridge at this location and a request made for its formal evaluation as part of this provincial program.

If this bridge is subject to repair or replacement a number of options should be considered by the City as the bridge authority. These are listed below in priority with the first two options being the most preferable:

- retention of the bridge with no major modifications being undertaken;
- retention of the span but with sympathetic modifications;
- retention of existing bridge with sympathetically designed new structure in proximity;
- retention of existing bridge, no longer in use for vehicular purposes but adapted for new uses such as pedestrian walkways, cycle paths or scenic viewing platforms;
- relocation of bridge to appropriate new site for continued or adaptive re-use; and,
- retention of bridge as a heritage monument, not in use, for viewing purposes only.



The Churchville Cemetery is characterized by an array of markers, stones and monuments executed in a variety of materials and colours.



The steel pony truss bridge is a modest but important industrial heritage feature and is worth of continued protection and maintenance

4.14 Archaeological Sites

The district contains a number of known pre-historic archaeological sites and the potential for discovery of other sites of both pre-historic and historic activities. These heritage resources are fragile and non-renewable. Their location, protection and conservation require that only trained and licenced archaeologists may survey and carry out appropriate testing or excavation of such sites.

Due to the nature of these features it is always advisable inquire for more information before going forward with projects that require a major soil disturbance, especially on previously undisturbed lands. Local contact may be made through the Peel Region museum or the Heritage Branch of the Ontario Ministry of Culture and Communications.



The Credit River Valley and environs contain a number of known prehistoric archaeological sites, therefore, major soil disturbance should be proceeded wherever possible by appropriate archaeological survey work



The simple three-bay symmetrical arrangement of the former May Hotel (or Letty House) is a characteristic feature of many buildings in Churchville

5. GUIDELINES FOR ALTERATIONS, ADDITIONS AND NEW CONSTRUCTION

5.1 Introduction

Since the settlement of the village in the early 1800's a variety of buildings have been constructed reflecting prevailing building techniques and construction materials. Few, if any, of these earlier buildings have survived as they were originally constructed. Repairs, changing domestic needs and new services all make their mark upon the fabric and form of buildings. Some have resulted in the alteration of windows and doors, the re-cladding of frame structures or the construction of additions.

Physical change within the Village of Churchville has occurred in three ways:

Alterations and additions to existing buildings,

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Infilling between existing buildings, and

A variety of public works such as road building.

Most recently, encroaching contemporary subdivisions and the construction of Highway 407 have reduced the original Heritage Conservation District in size and significantly impacted the view scapes from within the Village.

Up until 1990, the changes in the past development of Churchville have not been consciously guided by a set of design guidelines. Yet the prevailing character of the historic building form had been respected. Generally, this historic character includes:

A height of 1 to 1 ½ storeys,

Three bays in width,

Side gable, low to medium pitched roofs, and

Variable setbacks from the front lot line.

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The simple three-bay symmetrical arrangement of the former May Hotel (of Lefty House) is a characteristic feature of many buildings in Churchville

An important objective of the following guidelines is to encourage change that is in keeping with and respects existing built form. The guidelines should be read:

- In conjunction with the advice on building conservation elsewhere in this Plan, and
- As a prerequisite for consideration of an application under Part V, Section 42 (Heritage Permit Process) of the Ontario Heritage Act.

The guidelines for alterations and additions in Section 5.2 are intended for owners of all buildings, including those that usually would not be considered as heritage buildings. The key principle here is to ensure that change is neighbourly and takes into consideration effects on adjacent properties and streetscape.

In Section 5.3 and 5.4 the intent is to provide more specific guidance on changes to heritage buildings with a view to retaining the distinguishing features and fabric. The Ministry of Culture’s “Eight Guiding Principles in the Conservation of Historic Properties” is appended to this Section.

Section 5.5 and 5.6 address the integration of new construction and public works into the district.

A final cautionary note is advised in the purpose, use and application of these design guidelines. They provide a general framework for considering the minimum standard of appropriateness for change within the district. They must be considered an aid to consistent decision making rather than a specific formula for designing a new building, addition or architectural feature.

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5.2 Alterations and Additions to Existing Buildings

Not all buildings within Churchville should be considered to be of heritage significance. Buildings of heritage significance are those that have been inventoried in the 1989 Village of Churchville Heritage Conservation District Background Report. Other buildings are predominantly post-1940 structures (like those along Martin’s Boulevard). Nevertheless it is important to recognize that altering or adding to any building within the village may affect nearby heritage structures or their setting.

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Buildings of heritage Significance have been identified as follows:

7825 Churchville Road	7895 Creditview Road
7780 Churchville Road	7734 Creditview Road
7777 Churchville Road	7716 Creditview Road
7772 Churchville Road	7711 Creditview Road
7767 Churchville Road	7650 Creditview Road
7764 Churchville Road	7624 Creditview Road
7752 Churchville Road	7593 Creditview Road
7749 Churchville Road	7573 Creditview Road
7742 Churchville Road	7523 Creditview Road
7741 Churchville Road	60 Victoria Street
7736 Churchville Road	152 Victoria Street
XXXX Church Street	175 Victoria Street
11 Church Street	1528 Hallstone Road

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The following should be considered in the design and placement of alterations and additions to all existing buildings and properties:

- Avoid alterations to walls, windows and doors that attempt to recall design motifs and materials from an earlier period such snap-in muntin bars, decorative surrounds and shutters, unless documentary evidence supports their earlier presence.
- Wherever possible, locate new roof vents, solar panels, skylights, dormers and satellite dishes away from public view in inconspicuous locations.
- Attempt to design and locate parking spaces in unobtrusive areas, behind the front façade of a dwelling, in order to ensure that front lawns, tree plantings and hedges are retained.

- Where extensive soil disturbance or excavation is anticipated for construction of new foundations or swimming pools, contact the municipal heritage coordinator for advice with regard to required archaeological investigations.
- Locate new additions in a way that will not result in the widening of the appearance of the front façade. Additions should be located at the rear or stepped back from the front façade toward the rear. The irregular lot framework of the village, created in part by the topography of the river valley, creates interesting views and vistas through and across private and public properties. These views and vistas should be respected in the consideration of appropriate siting of additions.
- Upper storey additions should maintain the height of existing rooflines and roof profiles of adjacent buildings, especially those in close proximity to heritage structures.
- When considering exterior material selection, keep in mind the benefits of natural materials. See also the comments in 5.3 below.

5.3 Alterations to Heritage Buildings and Sites

Alterations to buildings of heritage significance should ensure that:

- Historic building materials and architectural features are protected,
- Character defining elements, especially those which face the public right-of-way, are not significantly altered, and
- Replacement of building components or features is unobtrusive and fits the existing

5.3.1 Materials - General

The historic buildings in Churchville were predominantly frame, with wood or stucco cladding, or brick structures. Historically, additions and alterations would have been taken using like materials. Synthetic materials like vinyl and aluminium siding, acrylic stucco (EIFS) and pre-cast cement 'stone' have replaced these traditional materials for reasons of cost and availability. It is important to the integrity of historic structures to repair them with original like materials. In the planning of any addition or alteration, consideration should be given to restoring original material where it may still exist (eg. wood siding under current synthetic siding).

5.3.2 Roofs

Roof pitch and configuration should be retained along with any decorative eaves, soffits, brackets or cresting that may be present. Consideration should be given to returning roofing material to earlier (wood shingle) type, but asphalt shingles will generally be the expected replacement.

Non-functioning chimneys should be capped and re-pointed rather than demolished.

Locate new roof vents, solar panels, skylights, dormers and satellite dishes away from public view in inconspicuous locations.

5.3.3 Exterior Wall Material

Cleaning of historic masonry should only be carried out as part of a masonry conservation project. The work should be undertaken by a contractor who specializes in masonry restoration under the supervision of an experienced heritage consultant. Sandblasting of brick is not an approved cleaning method as may result in permanent damage to historic masonry.

Painting or otherwise sealing of masonry surfaces can cause permanent damage by trapping moisture in the wall. Our winter freeze/thaw cycles then cause the brick to 'spall' and lose its surface layer.

The application of synthetic siding over brick or frame dwellings can similarly trap moisture leading to deterioration within the wall

5.3.4 Windows

Protect and maintain original window openings, including their distinguishing features such as material, frame, sash, muntin bars, surrounds glazing and shutters

Energy efficiency can be improved with traditional exterior wood storms or interior magnetic storms.

Avoid removing or blocking up windows that are important to the architectural character of the building.

Changing the glazing pattern of windows by cutting new openings, removing muntins, installing 'snap-in' muntins or obscuring window trim with metal should be discouraged.

New window openings should be created on rear or other inconspicuous elevations where possible.

New window design that is compatible with the overall character is to be encouraged but it should not duplicate the historical fenestration pattern.

5.3.5 Entrances

Protect and maintain entrances and porches especially on principle elevations where they are key character defining elements.

Conserve glazing, doors, steps, historic lighting fixtures and entablatures and avoid removal of porches and other related architectural features.

The design and construction of a new entrance and/or porch is encouraged to be compatible with the character of the building.

Reconstruction of a previously known porch should be based on combination of historical, pictorial and physical documentation

New entrances are encouraged to be installed on secondary elevations rather than the principle façade.

Where external stairs are provided they should be located at the rear of a building.

5.3.6 Features and Space Around the Buildings

Attempt to preserve and maintain driveways, fences, walkways and walls that contribute to the special character of the space immediately adjacent a heritage building.

Design and locate new parking spaces so that they are as unobtrusive as possible, ensuring that front lawns and trees plantings are retained.

Minimize soil disturbance around buildings in order to protect and reduce the possibility of damage to unknown archaeological remains.

Maintain proper site drainage to ensure water does not damage foundation walls by draining toward the building.

5.4 Alterations to Heritage Buildings and Sites

The need to undertake construction of an addition can arise for a number of reasons:

- To expand living space for a growing family
- An addition may be economically more practical than relocation
- The need to update mechanical services.

Additions, even more than alterations, can have a profound influence on the aesthetic architectural quality of a heritage building. A key objective in the design of an addition is to ensure that the completed structure adds to or enhances the history of the building without devaluing it. A balance is to be sought between old and new, or more specifically, a relationship of harmony. Quality in design and craftsmanship is important to overall success of any project.

New additions should be constructed in a way that:

- Clearly differentiates them from the original historic fabric
- Ensures continued protection of the character defining elements of the building and does not radically alter, damage, obscure or detract from such elements.

5.4.1 Location

Wherever possible, exterior additions, including garages are encouraged to be located at the rear or on an inconspicuous side of a building.

Additions should be limited in size scale and height so as to complement the existing building.

Multi storey exterior additions should be set back from the plane of the existing front wall in order to be as unobtrusive as possible in the streetscape.

Additions to structures with symmetrical facades should respect the symmetrical design and appearance of the original building and avoid creating imbalance in building form.

5.4.2 Design

New additions should be designed in a manner that distinguishes between old and new. Avoid duplicating the exact style of the heritage building or imitating a particular architectural style or period.

Contemporary design of additions or design that references design motifs of earlier style in a contemporary manner should be encouraged. Successful and compatible additions will be those that are complementary in terms of mass, material, ratio of solid to void (wall to window) and colour.

5.5 Constructions of New Buildings

The introduction of new buildings into Churchville must be seen as part of the continuing changes that are experienced within any community. New construction within the district may be anticipated occurring through the process of infilling in accord with Official Plan policies or through the demolition and reconstruction on the newly created vacant lot.

Building demolition will be actively discouraged within the district. New development if permitted by the Official Plan and Zoning By-Law, will be required to be compatible with the character of the adjoining property and the streetscape. Property owners are encouraged to work with existing buildings, altering and adding to them in a sympathetic manner rather than building anew.

The following guidelines for new construction are intended for use as a framework for providing minimum standards of appropriateness. They are not intended to be a detailed prescription for each new building. This is to enable property owners and/or their architects to design creatively within a general context of future built form. Contemporary design is encouraged but with a view to utilizing traditional building forms.

5.5.1 Building Height and Floor Area

The district is typified by low profile development with a predominance of 1 to 1 ½ storey buildings. It is important that this low profile form of development be encouraged.

Building height of new structures should maintain the building height of adjacent structures and the immediate streetscape and should be neither significantly taller nor lower. Any new infill development, should be lower in profile than

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existing recent construction on Churchville Road and Creditview Road, which has resulted in excessive building height. The Zoning By-law limits building height to 28'-7" (8.75 m).

Floor areas (excluding basements and garages) for new residential construction are limited by the Zoning By-law to a maximum gross floor area of 2750 square feet (255 m²)

5.5.2 Building Location

Within the district are a variety of building types in various configurations. Note the differences in village core and along Martin's Boulevard, Creditview Road South and Churchville Road North. There is no one predominant building line or setback that distinguishes the district. The varied topography, road alignments and landscape features argue for the consideration of each individual development on its own merits but with particular attention being given to the following:

- New residential infill should maintain the existing setbacks of adjacent properties. Appropriate variances to the zoning by-law should be sought where the minimum requirement for front yards does not permit this. Where there are areas of significant variation in setback new residential infill should generally respect the existing required setback of 24'-6" (7.5 m).
- New buildings should be sited with their front façade parallel to the roadway except where a building line has been established to the contrary as it is along portions of the west side of Churchville Road and portions of the east side of Creditview Road south.
- Buildings should be located with the bulk of the building accommodated within the width of the lot, rather than the depth, in keeping with a side gable structure. Where floor space requirements are such that this cannot be achieved rear extension in the form of a traditional tail or "T" shape should also be encouraged.
- Ancillary buildings should be located towards the rear of the lot. Garages in particular should not form part of the front façade of a new building and are best located towards the rear of the building or, preferably, detached.

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5.5.3 Roofs

The predominant roof form in the district is the side gable. In earlier buildings the roof is at a low or shallow pitch and in later building forms, such as those from the 1930s or 1940s, the roof is of medium pitch. Hipped roofs of medium pitch are also found especially in those larger residences of the 1890s to the early 1900s. The Ranch style of the 1950s and 1960s also utilizes a low pitch hipped roof.

Every effort should be made to respect the predominant roof type within the district – the side gable. Regard should be given to the following particular guidelines:

- The use of the side gabled roof at low to medium pitch should be encouraged in all new development.
- Cross-gabled, flat or mono pitched roofs should generally be discouraged on all new building.
- Steeply pitched roofs should be discouraged.
- Asphalt and cedar shingles are appropriate roofing materials within the district, but concrete or clay tile should be discouraged.
- Locate new roof vents, solar panels, skylights, dormers and satellite dishes away from public view in inconspicuous locations.

5.5.4 Windows and Entrances

Traditionally within the district, most buildings featured simple vertical rectangular windows, taller than they are wide, usually placed one on either side of a centrally located door, accounting for the configuration of three bays. An exception is “Whitehall” (7825 Churchville Road) which features five bays. Every attempt should be made to reflect traditional proportions and symmetrical façades.

- Window designs are encouraged that generally reflect vertical and rectangular dimensions, taller than they are wide, and are either single pane or true divided lites. “Snap-in” muntin bars are to be discouraged.
- On façades that face the street, windows and doors should maintain the existing proportion found prevailing in the district and should not be excessive in relation to the façade. Large, full-length, multi-storey or picture windows and entrances are to be discouraged.

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- If decorative (or functional) shutters are to be used on building façades, they should appear to be correctly sized to cover the respective window when closed.
- Other decorative or architectural elements such as bull's-eye windows, neo-classical porticos, imitation stones, lintels and keystones should be discouraged as they are not a traditional feature of Churchville's buildings.

5.5.5 Wall Materials

Traditional frame buildings in the village offer a variety in the type and appearance of material used in cladding. Stucco, clapboard, board and batten and brick are all possible. The replacement of these materials with synthetic sidings in the second half of the last century has created special problems, not only in conservation, and has ramifications for contemporary buildings. These contemporary common synthetic materials can detract from the distinctive character of the historic district.

Exterior wall materials for new buildings should reflect traditional materials and their respective colours and textures as found within the district. These materials are stucco (in light shades), clapboard and red brick. Colours should, where possible, be selected from the historic palettes available from most paint manufacturers.

The use of decorative detailing, as has become common in new subdivisions, such as quoins, keystones, vaulted entrances and pattern polychromatic brickwork, should be discouraged as they were generally never part of the fabric of Churchville.

5.5.5 Outbuildings

Outbuildings, whether developed as part of an existing complex of structures or as part of a new construction should attempt to be lower in profile than the principal structure. They should be located to the rear, or at the side towards the rear, of the principal structure.

5.6 Public Works

Public works within the district, including road reconstruction, flood works, buried service installation, etc, have the potential to cause considerable disruption to the rich variety of heritage resources both above and below ground. Every effort should be made in both day to day operations and longer term planning to

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minimize adverse effects to the heritage conservation district and its constituent parts.

CHURCHVILLE HERITAGE CONSERVATION DISTRICT

BRAMPTON, ONTARIO

PREFERRED



The historic fabric of heritage building should be preserved (see notes on conservation). These mid-nineteenth century six over six vertical sliding windows should be restored. Energy efficiency can be increased with either traditional exterior wood storm windows or the interior magnetic type.



Two over two sash like these likely date from the last quarter of the nineteenth century. Nineteenth century windows were taller than they were wide and tended to be vertical sliding type, either single or double hung.



Unique window surrounds should be conserved.

NOT RECOMMENDED



Contemporary windows with horizontal sliding sash under larger fixed glass may be inexpensive replacements but are not recommended.



Horizontal sliding windows that are wider than they are tall should be discouraged.



Semi-circular, and other contemporary forms, should be discouraged.

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WINDOWS

GEORGE ROBB ARCHITECT

201-4800 DUNDAS ST. WEST • TORONTO, ON • M9A 1B1
p: 416-596-8301 • f: 416-596-1508



CHURCHVILLE HERITAGE CONSERVATION DISTRICT

BRAMPTON, ONTARIO

PREFERRED



Historic fabric of heritage buildings shall be preserved (see notes on conservation).



Transoms, where they exist, should be maintained.



Sidelights, where they exist, should be maintained.

NOT RECOMMENDED



Contemporary storm doors that detract from or obscure original doors should be avoided.



Avoid removing or blocking transom windows above doors.

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DOORS

GEORGE ROBB ARCHITECT
201-4800 DUNDAS ST. WEST • TORONTO, ON • M9A 1B1
p: 416-596-8301 • f: 416-596-1508



CHURCHVILLE HERITAGE CONSERVATION DISTRICT

BRAMPTON, ONTARIO

PREFERRED



Stucco



Wood



Brick

NOT RECOMMENDED



Vinyl Siding



Vertical Siding



Unauthentic materials

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MATERIALS

GEORGE ROBB ARCHITECT
201-4800 DUNDAS ST. WEST • TORONTO, ON • M9A 1R1
p: 416-596-8301 • f: 416-596-1506



CHURCHVILLE HERITAGE CONSERVATION DISTRICT

BRAMPTON, ONTARIO

PREFERRED



There are a number of enclosed porches in the district.



Open porch.



Open porch.

NOT RECOMMENDED



Unsympathetic vestibule addition.



Unsympathetic porch addition.



Avoid fencing materials for porches.

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PORCHES

GEORGE ROBB ARCHITECT
201-480 DUNDAS ST. WEST • TORONTO, ON • M5A 1B1
p: 416-596-8301 • f: 416-596-1508



CHURCHVILLE HERITAGE CONSERVATION DISTRICT

BRAMPTON, ONTARIO

PREFERRED



Martin's Boulevard houses demonstrate a variety of front yard setback conditions that add to the character of the district.

NOT RECOMMENDED



Setting any replacement dwelling at 7.5 m setback creates odd relationship to existing neighbours.

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SETBACKS

GEORGE ROBB ARCHITECT
201-4800 DUNDAS ST. WEST • TORONTO, ON • M9A 1B1
P: 416-596-8301 • F: 416-596-1806



CHURCHVILLE HERITAGE CONSERVATION DISTRICT

BRAMPTON, ONTARIO

PREFERRED



The building style found in Churchville is typical of rural Ontario vernacular architecture. Its distinctive feature is characterized by cohesiveness of scale, mass decorative detailing and building materials.

NOT RECOMMENDED



Steeply pitched roofs are to be avoided. The use of decorative detailing, as has become common in new subdivisions, such as quoins, keystones, vaulted entrances and polychromatic brick, should be discouraged.



New development will be required to be compatible with the character (height, mass, scale) of the adjoining properties and the streetscape.

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CONSTRUCTION STYLES

GEORGE ROBB ARCHITECT
201-4800 DUNDAS ST. WEST • TORONTO, ON • M9A 1B1
D: 416-596-8301 • F: 416-596-1506



6. LANDSCAPE CONSERVATION AND ENHANCEMENT

6.1 General Landscape Enhancement

The diversity of the landscape of the district has been described in detail in the Background Report. The protection and preservation of this diversity is the responsibility of the municipality and other "public" agencies such as the Credit Valley Conservation Authority (C.V.C.A) and Brampton Hydro, as well as the individual property owner. The contrasts in the area between the open fields and the dense river woods, the orderly orchards and the wild vegetation in the flood plain, the small front lawn and foundation plantings and the tree-canopied community park - all contribute to a remarkable rural scenic quality. Individual trees and landscape features are important contributors to this character.

Any continuing improvements which are undertaken by the municipality that are intended to create uniform standards of services and facilities such as street lighting and road width should be assessed to ensure that the special character of Churchville compared to other areas of Brampton is not lost.

Similarly, improvements by the C.V.C.A for flood works and erosion control should respect the scenic and historic features of the district. The individual property owner has an important role to play in maintaining the rural character of the area. Property line fencing and hedgerows and specimen tree planting are all visible to the public and create an impression of a picturesque setting. Any loss of tree lines or woods detracts from this impression.

6.2 General Landscape Enhancement: Vegetation, Streets and Open Space

Unlike the built environment, the landscape undergoes constant change. This occurs seasonally, as well as over several years as trees mature and die. This constant change means that recommendations for landscape preservation must take into account the natural evolution of the landscape. Preservation of a tree line may involve several techniques. Watering, fertilizing and removal of dead and diseased branches from individual trees to insure healthy growing conditions may be undertaken. Infilling by planting of individual trees in the line may be possible if growing conditions remain unchanged. Planting a second line of identical species parallel to and close to the original line may be another alternative. Whenever other new planting is undertaken, a variety of species should be used in order to ensure the continuing diversity in the landscape. This involves replanting not only native trees but also many introduced species such

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as Norway spruce and lilac that have been part of the rural landscape of Southern Ontario since the 1800's.

Improvements to streets are generally undertaken to better accommodate increased traffic loads to ensure public safety. Changes to the road alignments and widths in the district should be carefully assessed to ensure that the "scenic road" quality is not lost while still maintaining public safety. The rural cross sections found throughout the district are one of its most important defining features. Changes to these cross sections are not recommended.

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6.3 Landscape Unit A: Village Core

The cultural heritage landscape features which positively contribute to the 'rural village' atmosphere of the Village Core should be preserved and therefore the following is suggested:

- The existing street layout and width should be retained in order to prevent further encroachment on the narrow yards of the adjacent buildings. Curbs, gutters and sidewalks should not be installed in this area in order to maintain the present rural appearance of the streetscape.
- Grassed ditches and narrow shoulders along Victoria and Church Streets should be retained to reinforce the rural character and intimate scale of the street.
- The community mailboxes should be relocated to the north side of the fire hall in order to reduce the shoulder width at the present location.
- The undeveloped road allowance identified as Bennett Street on the historic survey which is currently grass and defined by fencing and hedgerows should be preserved as a remnant of the original street pattern in Churchville.
- The property line hedgerows and post and wire fencing along Victoria and Church Street should be retained and repaired as necessary. Chain link fencing should be replaced with post and wire fencing or low ornamental wood fencing. Alternatively, chain link fencing may be planted with vines such as Virginia creeper, grapes or hops, similar to the east side of Victoria Street, in order to reduce its impact on the landscape.
- Planting at the bridge approaches should not restrict views up and down the river corridor. Signage interpreting the history of the river, the bridge, the village, and the flood works could be located in this area.

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- Within the Churchville district, there is a wide variety of tree species including native trees such as black willow, silver and red maple, walnut, oak, beech, birch and ash as well as introduced species such as linden, Norway spruce, Austrian and Scots pine, and mountain ash. Many of these non-native species have been cultivated since the mid-nineteenth century and are now a common feature in the rural landscape. For example, the Norway spruce was first cultivated in the 1870's and was frequently used to line the farm laneway. (The farmsteads at the south edge of the village exhibit this landscape feature.) Replanting of species from this list whether undertaken either by the private property owner or the municipality is recommended.

6.4 Landscape Unit B: River Corridor

This area contains a linear corridor of residential development, open views and the historic cemetery. Vegetation is concentrated at the Steeles Avenue end of the corridor with the remaining properties containing a mix of mature specimen trees and foundation plantings at the end of long front yards.

- Improvements to the cemetery perimeter plantings and fencing should be undertaken and guided by historic plans and photos that may be available. The open space surrounding the cemetery provides significant green backdrop and separation from the adjacent subdivision. This buffer of open space should be retained.
- Pavement widths and ditches should be retained to maintain the scenic quality of the road.
- Residences on Churchville Road are encouraged to establish hedges or install low ornamental wood fencing along the front yard property line to better define the edge of semi-private and public space.
- The tree-filtered view of the river valley from Churchville Road should be retained and enhanced with minor thinning of the understory shrubs along the shoulder at the curve. The native vegetation along the ridge should be preserved and replanted to ensure stability of the slope and to maintain the diversity of vegetation in the district.
- Any archaeological remnants of the mill complex should be preserved. The installation of interpretive signage is recommended at the entrance to the former mill road at the bottom of the hill on Churchville Road to describe the history of the village for the resident and visitor. Additional signage

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interpreting the history of the village and the river valley may be located on Creditview Road near the intersection of Steeles Avenue.

6.5 Landscape Unit C: Residential Cul-de-Sac

The cohesive visual quality of this residential cul-de-sac is established by the uniformity in the landscape details – well – tended lawns, foundation plantings, mature trees, and central open space which serves as a neighbourhood park. The strongest recommendation for this area is to preserve and maintain the existing landscape treatment of both the private and public areas.

- Pavement width, shoulders and ditches should be retained.
- Minor improvements of the central open space such as the provision of additional tree planting could be undertaken.
- Overhead wires should be relocated to a less visually prominent location or incorporated into a landscaped area which reduces the impact of the pull-off area.
- The municipality should prepare a Master Plan for the community park to ensure that the residents' future recreation needs can be accommodated in the park without detracting from the overall passive quality of the park. A consolidation of the parking lots and vehicular access points should also be undertaken to reduce the amount of hard surfacing in the park.

6.6 Landscape Unit D: Linear Residential Development

The area includes a portion of Creditview Road South which has undergone upgrading to suburban standards. Continued changes to the street should be undertaken to recreate some of the original qualities of a scenic route.

- Existing vegetation including trees, understory shrubs, and wetland grasses, should be retained and replanted throughout the entire unit. Flood and erosion control measures should accommodate the retention of existing vegetation where possible. Pruning of trees such as the mature black willows along Creditview Road should be undertaken with care in order to maintain an aesthetic natural appearance and still provide public safety. Infilling of additional trees along Creditview Road should be undertaken to ensure the continuation of the roadside treeline.
- The line of mature trees in the river valley south of Steeles Avenue, which indicate the location of a former road, should be maintained.

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- The native vegetation on the valley slope should be protected since it frames the view throughout the river corridor and river flats. Where trees have been removed new planting of native species should be made.
- Define with hedging an area around the Churchville Church memorial to create a more 'public' space for the viewer and an appropriate setting for the marker.

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6.7 Landscape Unit E: Linear Estate Development

- Residences are encouraged to plant informal shrub borders and specimen trees close to the street property line to define the edge of the public space.
- Retain the pavement width, shoulders and ditches of Creditview Road. Maintain hedgerows and property line fencing close to the road in order to enhance the scenic quality.

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6.8 Landscape Unit F: Rural Agricultural Development

This unit contains a diverse mix of landscape features including tree lines of white birch and Norway spruce, orchards close to the edge of the road and open fields extending to the east along the hydro transmission corridor. The addition of the 407 Hwy has encroached on features to the south. The existing vegetation on the east and south side of the fence should be retained and augmented with new planting. It is recommended that replanting along the fence be undertaken to block the views of the 407 Hwy to the south.

Generally the existing pavement width and ditches should be retained in order to reinforce the rural quality of this scenic route.

ILLUSTRATED CULTURAL LANDSCAPE RECOMMENDATIONS

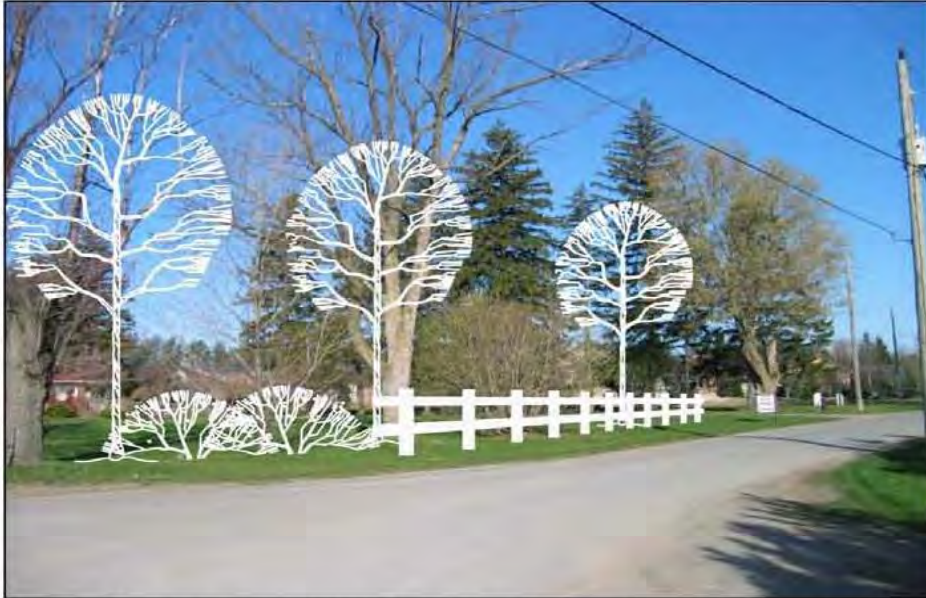


Figure 1. Low ornamental fencing shrubs and trees in the front yards provide definition to the edge of the road. Replanting of trees as they mature and require replacement is recommended.



Figure 2. Low ornamental fencing, shrubs and trees in the front yards provide definition to the edge of the road.

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Figure 3. The open green space in the centre of the residential cul-de-sac is a significant landscape feature. Randomly planted shade trees may be added to restore the historic appearance.



Figure 4. Historic aerial photo of the residential cul-de-sac and the randomly planted trees within the green open space.

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Figure 10. The rural road cross section consists of highly textured pavement (tar and chip) gravel shoulders and turf boulevards. Fencing or shrub borders may be added to define the edge of the front yard.



Figure 11. A new sign with informal plantings of heritage shrubs such as pasture rose, forsythia with lilac as a backdrop may be added on the east side of Churchville Road facing Steeles and on Creditview Road facing Steeles Ave.

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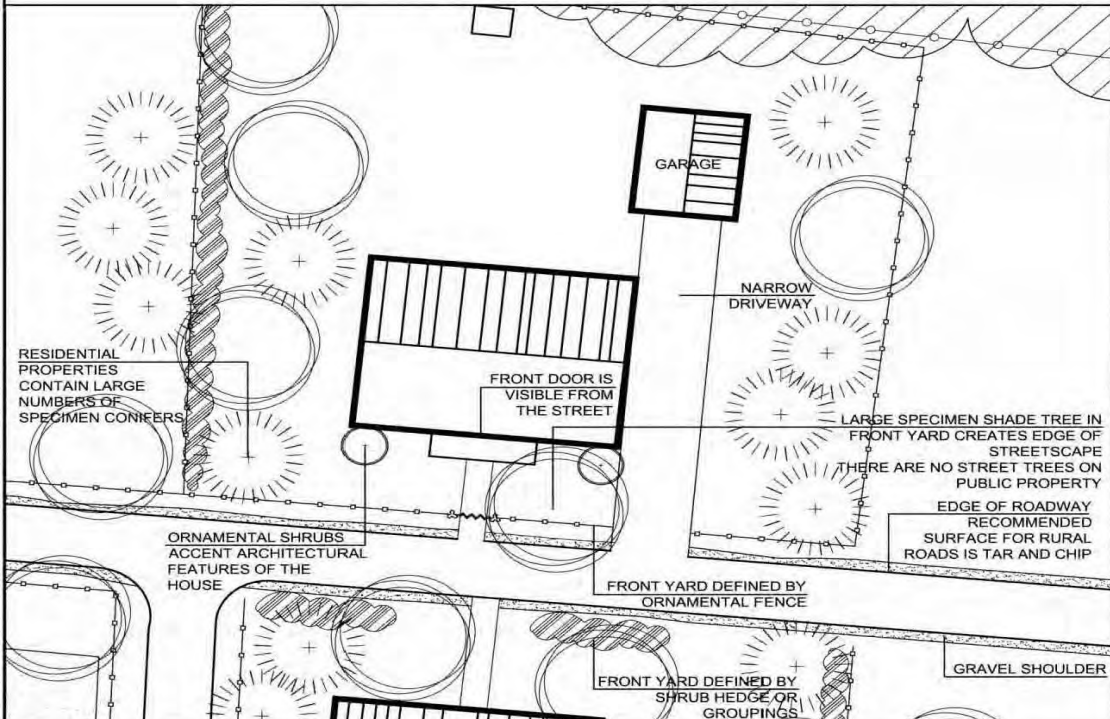


Figure 12. The open view over the river flats should be maintained.

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CHURCHVILLE HERITAGE CONSERVATION DISTRICT

CITY OF BRAMPTON



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TRADITIONAL RESIDENTIAL LANDSCAPE DESIGN

FRONT YARD

Cultural Heritage Landscape
Recommendations

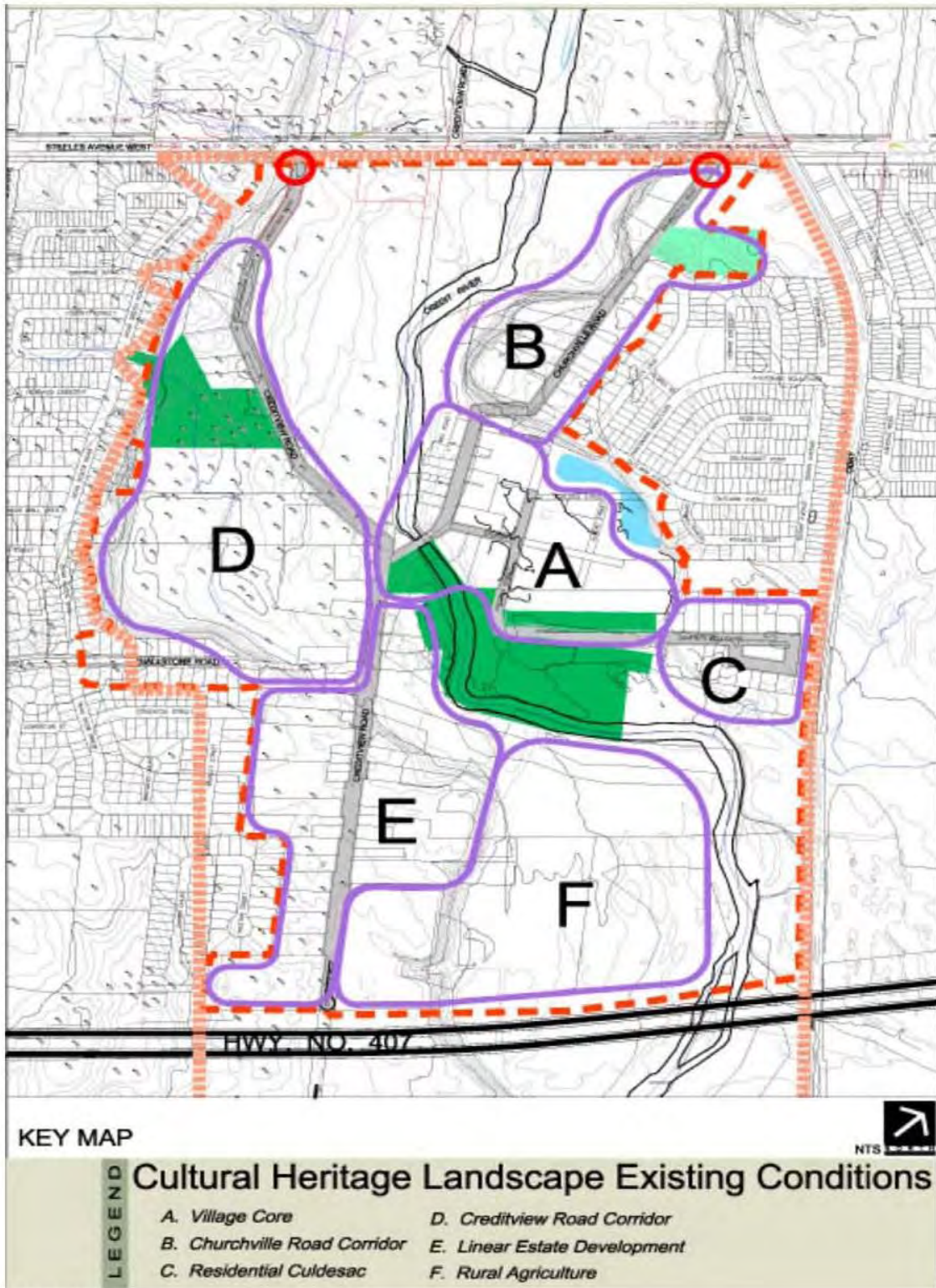
KEY FEATURES OF THE RESIDENTIAL LANDSCAPE

- A COLLECTION OF LARGE DECIDUOUS SHADE TREES WITH A HIGH PERCENTAGE OF LARGE SPRUCE AND PINE TREES CONTRIBUTE TO THE OVERALL CHARACTER OF THE VILLAGE AND ARE VISIBLE FROM A DISTANCE.
- LOW ORNAMENTAL FENCING, PRIMARILY PAINTED WOOD, IS LOCATED ALONG THE FRONT PROPERTY LINE.
- SIDE PROPERTY LINES ARE DEFINED BY DECIDUOUS SHRUBS WITH OR WITHOUT FENCING.
- LARGE DECIDUOUS SHADE TREES ARE PLANTED AS INDIVIDUAL SPECIMENS IN THE FRONT YARD. THESE CONTRIBUTE SIGNIFICANTLY TO THE STREETScape SINCE THERE ARE NO PUBLIC STREET TREES.
- WIDE GRASS BOULEVARDS, INFORMAL GRAVEL SHOULDERS LINE THE EDGE OF THE HIGHLY TEXTURED PAVEMENT.
- SIDE AND REAR YARDS ARE ACCESSED BY NARROW DRIVEWAYS FREQUENTLY GRAVEL. PARKING IS GENERALLY LOCATED BEHIND THE FRONT WALL OF THE HOUSE.

WENDY SHEARER
LANDSCAPE ARCHITECTURE

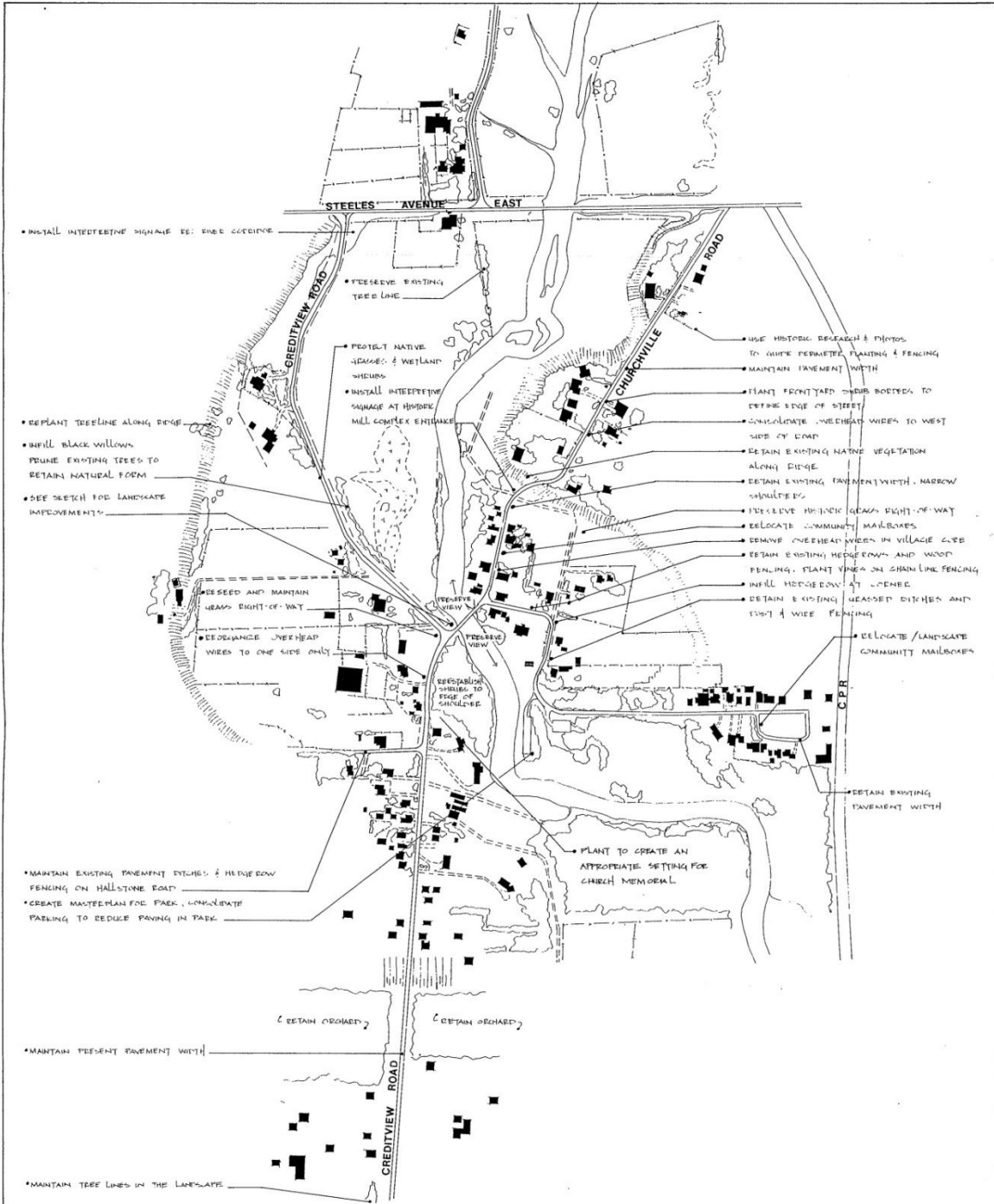
FEBRUARY 2007

Figure 13.

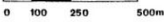


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Figure 14.



Landscape Improvements



Village of Churchville
Heritage Conservation District Study

David Cuming and Associates
Unterman McPhail Heritage Resource Consultants
Wendy Shearer Landscape Architect Limited

PART III : PLANNING, DEVELOPMENT AND IMPLEMENTATION

7. PLANNING POLICIES

7.1 Background

The successful maintenance and protection of a heritage district relies to some extent in ensuring that provincial or local planning policies and initiatives support or provide a suitable framework for realistic conservation measures.

Several planning documents capable of influencing the effectiveness of the proposed heritage district, including the draft Regional Official Plan, the Brampton Official Plan and Zoning By-law, were reviewed in the Background Report. Generally all documents were supportive in the protection of the rural character of Churchville. In order to refine and more purposefully direct the conservation and development of Churchville a number of matters were identified which required changes or modifications to existing and proposed planning policies. These are addressed in the following sections.

7.2 Draft Regional Official Plan

The draft Regional Official Plan identified the village of Churchville within the Long Term Urban Area. (This has been subsequently noted as a drafting error.) Given the rural character of the conservation district it is more appropriate to place this settlement and its rural setting within an appropriate designation. In this way any ambiguity about Churchville's function and role in the regional and local context will be properly addressed.

7.2.1 Long term urban boundary

Recommendation 4

It is recommended that Churchville should be located outside of the long term urban area boundary.

7.3 City of Brampton Official Plan

The local official plan provides guidance for the long term development of the municipality and addresses a number of matters respecting physical change and growth.

Policies respecting the growth of Churchville by infilling are sympathetic to protecting its character but other policies describing required road widths and classification may be at variance with conservation initiatives. Additionally the

heritage conservation policies of the plan give very little direction as to the attributes of prospective conservation districts and how the areas are planned after designation. The following sections recommend policies for inclusion into the official plan when next reviewed and amended.

7.3.1 Heritage conservation policies

Policy 1.7.1.1 of the official plan is the sole heritage policy of the municipality and it makes provisions regarding the acquisition of freehold rights, easements and covenants. Amendments to this policy are recommended below and are intended to provide a comprehensive approach to the conservation of heritage properties primarily within designated districts.

Recommendation 5

It is recommended that the following policies are incorporated into the City of Brampton Official Plan:

“1.7.1.1

Council will consult with the Brampton Heritage Board in matters relating to the conservation of heritage properties within Brampton. The Heritage Board may identify and/or inventory buildings of architectural and historical significance and advise Council on those considered worthy of designation under Part IV of the Ontario Heritage Act.

1.7.1.2

The City in consultation with the Heritage Board may also designate heritage conservation districts under Part V of the Ontario Heritage Act where it has been determined that any district possesses one or more of the following attributes:

- i) the area contains a group of buildings or features that reflect an aspect of local history, through association with a person, group or activity;
- ii) the area is characterized by buildings and structures that are of architectural value or interest;
- iii) the area contains other important physical and aesthetic characteristics that alone would not be sufficient to warrant designation but provide an important context for built heritage features or associations with the district including such matters as landscape features or archaeological sites.

1.7.1.3

Prior to designating a heritage conservation district the City will:

- i. by by-law define and examine an area for future designation:
- ii. prepare and adopt a conservation district plan containing policies, guidelines and relevant information respecting the protection and enhancement of the district;
- iii. establish for each district a "district committee" that will advise Council on matters pertaining to the designated district.

1.7.1.4

Within a designated district it is the intent of Council to conserve and enhance the unique heritage character of the area. Council in consultation with the appropriate district committee will encourage property owners to maintain and repair heritage buildings and seek government grants and loans for eligible conservation work.

1.7.1.5

In reviewing proposals for the construction, demolition or removal of buildings and structures or the alteration of existing buildings the City will be guided by the applicable heritage conservation district plan and the following general principles:

- i. heritage buildings and archaeological sites including their surroundings should be protected from any adverse effects of the development;
- ii. original building fabric and architectural features such as doors, windows moulding, verge boards, walling materials and roofs should be retained and repaired;
- iii. new additions and features should generally be no higher than the existing building and wherever possible be placed to the rear of the building or set-back substantially from the principal facade .
- iv. new construction and/or infilling should fit the immediate physical context and streetscape by: being generally of the same height, width and orientation as adjacent buildings; be of similar setback: of like materials and colours: and using similarly proportioned windows, doors and roof shape .

1.7.1.6

Public works and landscaping within a designated district should ensure that existing road and streetscapes are maintained or enhanced and that proposed changes respect and are complementary to the identified heritage character of the district.

1.7.1.7

Required road rights-of-way, daylighting triangles and corner roundings indicated elsewhere in the Official Plan will be required in designated districts but every effort shall be made to ensure that existing pavement widths especially where they are major contributors to the character of the streetscape will be retained.

1.7.1.8

The City may acquire the freehold rights to acquire easements on or impose covenants on real property designated a heritage conservation district site or structure.

Aside from the specific foregoing policies which describe those general matters that are to be addressed in conserving heritage features it is also important that the status of a district plan and the general process of conservation district planning and implementation be described in the official plan. This appears to be in keeping with the tone and intent of other planning procedures described in the plan.

Chapter 7. Implementation, of the official plan describes in section 7.12 those measures that the City will utilize with respect to heritage conservation. The proposed additions to section 12 recommended below are intended to provide a clear indication of the status of a heritage conservation district plan and how it may be implemented.

Recommendation 6

It is recommended that the following policies are incorporated into the City of Brampton Official Plan:

7.12.2

Where Council has designated heritage conservation districts in accordance with the policies of the Official Plan it is intended that the

general policies of section 1.7. 1 pertaining to districts will be refined and amplified to apply to individual designated districts and their particular attributes and features by means of heritage conservation district plans.

Generally a heritage conservation district plan will;

- i. be prepared prior to the designation of a district and will prescribe policies: conservation and design guidelines; and other pertinent material relating to the sound and prudent management of the district's unique character.
- ii. be adopted by Council by-law after consultation with property owners and other interested agencies as considered appropriate.
- iii. be implemented by municipal review of permit applications for changes within the district. Additionally the City will initiate public improvements within the district and encourage property owners to seek grants for conservation work through a variety of government funding programs.
- iv. not be considered as a secondary plan and will not be incorporated into the Official Plan by way of amendment. Where, however, Official Plan policies and/or land use designations are considered to be unsympathetic to the protection of a particular heritage conservation district the City may amend the Plan to better reflect the appropriate planning and conservation of that area.

7.12.3

Designated heritage conservation districts will be indicated on the applicable schedule to the Official Plan at the time of a comprehensive review or by way of amendment according to 7.1 2.2.iv)"

The preceding amendments to the Official Plan are anticipated to allow greater comprehensive planning for heritage conservation districts. At the present time the Ministry of Culture and Communications is undertaking a review of heritage policy generally in Ontario and it is anticipated that proposals regarding new provincial legislation may be forthcoming in the near future.

Any changes revisions or amendments to the Official Plan should be cognizant of any new initiatives that arise from the policy review especially regarding municipal responsibilities.

7.3.2 Churchville heritage conservation district policies

The Ontario Heritage Act makes provisions in Subsection 40(1) for the preparation of official plan provisions after an examination has been completed of a prospective conservation district. The Act is silent on what these provisions should constitute but it may be construed that they have something to do with the conservation and planning of the district and its character.

The Act does not anticipate that such provisions are essential for the successful implementation of a heritage district for they are not referenced again in Part V of the Act.

Clearly however any successful district initiative must rely to some extent on a clear enunciation of the general context and thrust of conservation policies for any such area. (Typically, detailed guidelines especially on matters relating to specific building design or architectural features are absent from most official plans.)

Recommendation 7

Accordingly it is recommended that the following policies be included in Section 2.1.2 Rural Settlements of the Official Plan at the time of the next comprehensive renew:

“2.1.2.5

OBJECTIVE:

The maintenance, protection and enhancement of the Churchville Heritage Conservation District

Policies

2.1.2.5.1

The rural character of the district shall be maintained by encouraging the preservation of the river valley and its vegetated slopes, existing tree stands, tree lined roads, agricultural lands and accessory farm buildings.

Churchville Heritage Conservation District Plan

2.1.2.5.2

Within the designated district of Churchville existing heritage buildings, structures and properties should be conserved.

2.1.2.5.3

The design of new development, either as freestanding structures, or as alterations or additions to existing buildings, should be low in height and generally respect the prevailing rural residential character of the area.

2.1.2.5.4

Public works should ensure minimal impact on the character of Churchville particularly its narrow tree lined roads and broad valley lands.

2.1.2.5.5

Regard shall be had at all times in the conservation and planning of the area to the guidelines and intent of the Churchville Heritage Conservation District Plan. "

Other detailed policies may also be included at the time of a comprehensive review of the Official Plan especially where conditions may have changed or new issues come to the fore.

7.3.3 Transportation

Chapter 4, Transportation, of the Official Plan details policies concerning an efficient transportation system. Included are policies describing required road rights-of-way and particular design standards. It is not the intent of this district plan to recommend the reclassification of roads within the conservation district although the City at some future time may wish to monitor the situation as the urban areas of Brampton and Mississauga continue to grow.

It is more important to the immediate future of Churchville that the roads and streets traversing the village are sensitively managed. As a prelude to sympathetic management it is vital that the characteristics of these travelled roadways are formally recognized as having particular merit.

The Brampton Official Plan makes provisions in section 4.2.1.19 such that:

Council may designate certain roads or sections of roads which have attractive natural or man-made scenic vistas as Scenic Drives.

As noted in the Background Report there is no mechanism by which such Scenic Drives might also be protected from alterations or changes that might detract from the visual qualities of these designated roads.

Recommendation 8

It is recommended that the Official Plan provisions noted above be suitably amended to offer some kind of guidance to the sensitive planning, engineering and management of these roads as follows:

"4.2.1.19

Council may designate by by-law certain roads or sections of roads which have attractive natural or man-made scenic vistas as Scenic Drives. Roads so designated are intended to be maintained in their existing state or enhanced wherever feasible provided that they do not jeopardize the safety of the travelling public. Scenic Drives may also be plaqued or otherwise signed along their routes in order to identify them to the travelling public and visitor.

In particular the City will endeavour to retain and protect:

- i. existing paved road widths where they contribute to the scenic character of the designated Drive;
- ii. existing trees and tree lines within the road right-of-way;
- iii. other vegetation, plantings and features such as boulevards, hedgerows, ditches, grassed areas and fence lines; and,
- iv. transportation related heritage features, such as bridges where they contribute to the special character of the road.

Within the Churchville heritage district are a number of roads that warrant designation as Scenic Drives since they afford a variety of vistas down tree lined rural roads and across the scenic river valley of the Credit.

Recommendation 9

Accordingly it is recommended that Hailstone, Creditview and Churchville Roads be designated as Scenic Drives throughout the heritage conservation district. If considered desirable this designation may also be considered for that portion of Hailstone Road outside of the district west to Mississauga Road, and those portions of Churchville and Creditview to their intersection north of Steeles Avenue. Appropriate signage of these Scenic Drives may be considered by Council.

In many instances of widening, existing roads are radically transformed and nowhere more readily apparent than in rural areas. Typically consisting of a narrow paved surface with narrow grassed shoulders, ditches, and treelines, many rural roads classified as collectors may be widened to accepted design standards. In the process many, if not all, of their scenic qualities are lost to be replaced by wider paved surfaces and shoulders.

In designated conservation districts it is important that there be a presumption in favour of retaining existing road characteristics over road widening except where there is a demonstrated hazard which may pose a threat to public safety.

Recommendation 10

Accordingly, it is recommended that the following policy be included in the Official Plan:

4.2.1.20

Within designated heritage conservation districts council will conserve existing streetscapes wherever feasible and shall attempt to retain existing road characteristics and associated landscape features."

7.4 Zoning By-law

Existing zoning provisions respecting the use of land within the district are generally considered satisfactory as they recognize the existing predominant uses in Churchville. Only in two instances are the provisions of the zoning by-law considered inappropriate. namely the height and floor space requirements of the Residential Hamlet 'RH' zone, and the provisions of the Floodplain 'F' zone.

7.4.1 Residential Hamlet

The RH zone requires a minimum lot size of 1350 square metres (14,531 square feet): 30 metres (98 ft.) in width and 45 metres (147 ft.) in depth.

The resulting building envelope after accounting for minimum front side and rear yards amounts to 382.5 square metres (4,117 square feet): 15 metres (49 ft.) in width and 25.5 metres (84 ft.) in depth.

Coupled with a maximum building height of 10.5 metres (34 ft.), i.e. approximately three stories assuming a flat roof; the resulting maximum floor area permitted by the by-law would be 1,147.5 square metres (12,352 square feet). The resulting floor space index, i.e. the ratio of gross floor area of a building to the area of the lot on which the building is situated; is 0.854 or a ratio of 1:1 . 17.

The range of building form and size constructed according to these requirements could vary widely.

The minimum gross floor area permitted in the zone is 100 square metres (1,076 square feet). approximately a single storey building of dimensions 12 metres (39 feet) by 8 metres (27 feet). Such a low profile building would be in keeping with the predominant residential character of Churchville.

As discussed in section 5 of this plan new buildings should try and complement the existing heritage character of a district. This can be achieved not by slavishly imitating previous architectural detailing but by respecting the existing basic building form, especially with respect to height, width, scale and orientation. The key to success in this area is providing enough flexibility for property owners to pursue particular building forms that not only satisfy their space requirements but also fit well into the village context.

In this regard the provisions of the zoning by-law could be amended in several ways by providing building dimensions or space requirements that reflect prevailing form as follows: restrict building height:

- restrict building width: or, adopt a floor space index.

Anyone of these measures could be used singly or in combination to produce various building form and massing. Restrictions on building height may result in low profile development but be land extensive using the entire permitted building envelope.

Restrictions in building width may produce elongated structures extending towards the rear of the lot. while a floor space index may be too restrictive or too generous.

Results of the building inventory in the Background Report and the proposed design guidelines in section 5 suggest that the typical building form in Churchville is characterized by residences of one to one-and-one half stories in height, three to five bays wide with side gables and low pitched roofs.

In order to accommodate contemporary floor space requirements it may be necessary to encourage new residential buildings that have a horizontal emphasis in width across the lot but with some form of stepped-in rear tail addition, such as a "T" or even "H" plan.

Any zoning by-law can provide basic minimum and/or maximum dimensions for building space but it cannot legislate good design. Hence the caution that the amendments to the zoning by-law proposed in the following must be considered in conjunction with the review of development applications under Part V of the Ontario Heritage Act.

Recommendation 11

The following are recommended as amendments to the Residential Hamlet RH zone in Churchville. listed in priority and considered to be maximum limits to building form:

Maximum building height of 8.75 metres (28.7 feet).

(This is intended to limit development to a maximum of two stories with a low pitched roof. Note that this would not prevent a single storey building with a steeply pitched roof being constructed e. g. a chalet style dwelling; which might be out of keeping in Churchville.)

- *Maximum building width of 12.25 metres (40 feet).*

(Although this is approximately 3 metres less than presently allowed in the building envelope of 15 metres it better reflects existing building frontage as well as providing flexibility for contemporary needs. "Building width" means the width of a residential building measured on the principal façade adjacent to the front lot line.) *A floor space index of 0.17 or a ratio of approximately 1: 6.*

(On a minimum lot size provided for in the existing zoning by-law of 1350 square metres this results in a floor space of 229.5 square metres. approximately 2500 square feet. This floor space limit applies to aboveground living space and excludes basement and/or garage floor space. Without a maximum floor space noted above large lots could witness the construction of large residences that are unsympathetic to the village character.)

7.4.2 Floodplain

The floodplain zone contains a number of heritage features including the former schoolhouse, road alignments, pony truss bridge, and possible subsurface archaeological remains. Restrictions on the uses in this zone are such that:

45.1.2

No person shall, within any floodplain zone, erect, alter or use any building or structure for any purpose except that of flood or erosion control.

Recommendation 12

Accordingly it is suggested that this be amended 10 read:

45.1.2

(a) No person shall within any floodplain zone, erect, alter or use any building or structure for any purpose except that of flood or erosion control.

(b) Notwithstanding the foregoing where such structures are of heritage interest or value buildings may be altered or adaptively re-used in a manner in keeping with their distinguishing features and with regard for public safety.

7.5 Tree preservation by-law

The village of Churchville is graced by a number of trees in a variety of configurations on private and public property. Many contribute to the scenic and visual interest of the area.

District designation under Part V of the Ontario Heritage Act does not extend protection to these important landscape features. Provisions in the Municipal Act however, do provide for the conservation and protection of trees.

Section 313 (4) of the Act states that:

The council of every municipality may pass by-laws ...

(c) for preserving trees;

(d) for prohibiting the injuring or destroying of trees;

Given the importance of these features in the landscape protection should be extended to these important elements.

Recommendation 13

It is recommended that a tree preservation by-law be adopted by Council which applies only to publicly owned property within the designated district and prohibits the jelling, uprooting, willful damage or destruction of trees without the consent of City council 011 the advice of the district committee.

At some later date the district committee in conjunction with local residents may wish to consider application of these provisions to private property.

7.6 Site plan control

In some heritage conservation districts it has become a standard practice to use site plan control provisions from the Planning Act to complement the development review mechanisms of the Ontario Heritage Act. Site plan control allows the municipality to require facilities or improvements to the subject site and in particular address matters such as landscaping in the development of property.

While in many respects complementary to conservation initiatives the dual processes and differing time spans for processing applications may be considered too cumbersome.

Accordingly it is not recommended at this time but if in the review of this district plan or development activities are in some way prejudicing the character of the area the application of site plan control should be re-evaluated.

7.7 Other planning and development issues

The Background Report identified two issues considered to be of some concern in the community: the future of Creditview Road to the south of the village in relationship to future development in the City of Mississauga, and development of table lands to the east of Churchville Road.

7.7.1 Creditview Road

The southern portion of Creditview Road is a scenic entrance to the village of Churchville and is characterized by a narrow, tree lined pavement.

Increased traffic volumes in the future may well bring pressure to widen the existing road. The loss of this rural road and its scenic attributes would be considered detrimental to the overall character and setting of Churchville.

It is important to advise on the disposition of this road in order to ensure that its intrinsic qualities are not lost.

Recommendation 14

Accordingly it is recommended that Creditview Road not be widened under any circumstances and every effort should be made TO retain the existing roadway and its vertical and horizontal alignment. Should there be a choice between widening and The closure of The road it is further recommended that the road be closed in the vicinity of the proposed Highway 407 alignment in order 10 conserve and protect its special characteristics.

Widening the road and then at a later date proceeding with closure is considered to be imprudent conservation planning.

7.7.2 Tablelands

Tablelands to the east of Churchville Road comprise fields in agricultural use and bordered by the CP tracks. A development proposal has previously been refused by Council in this area on the basis that it would affect the character of Churchville. Certainly the maintenance of these lands in their present state would continue to enhance this entranceway into the village and retain the rural character of the landscape .

In the event that these lands are developed in the future it is important that every effort be made to retain essential attributes and where necessary mitigate any adverse impacts.

Recommendation 15

It is recommended that if these lands are developed that the following be undertaken: an archaeological assessment of the property with suitable mitigation measures proposed in the light of significant findings;

- suitable landscaping measures be adopted with particular attention to Churchville Road as a major entrance into the Village;
- protection of the slopes in the southern portion of the site such that they are not physically or visually breached by any form of development;
- the promotion of a mix of contemporary), residential building types, low in profile with simple roof forms', executed in wood or stucco wherever feasible, with any required larger homes being suitably buffered or located in less visual)' sensitive areas; and,
- regard be given to those specific measures identified in the landscape conservation and enhancement section of this plan as it pertains both generally and specifically to the subject lands.

8. FUNDING

8.1 Introduction

Through the City of Brampton Heritage Fund funding maybe available for:

- The conservation of architectural elements or features that are being restored or repaired based on documentary evidence. Residents are strongly encouraged to apply for such funding if undertaking eligible projects.

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8.2 Ontario Heritage Bridge Program (OHBP)

The OHBP is administered by the Ministry of Culture and Communications and the Ministry of Transportation. The program's intent is to encourage the conservation of heritage road bridges through a process of formal evaluation and listing.

Every effort is made to ensure that those bridges listed are protected (see section 4. 13). The Ministry of Culture and Communications and the Ontario Heritage Foundation recognize that the renovation of listed bridges is an activity eligible for financial aid under their respective grants program.

Ontario Heritage Bridge program still exists and could be used to save bridge from change.

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8.3 Cultural Facilities Improvement Program (CFIP)

CFIP is administered by the Ministry of Culture and Communications and enables a municipality, local service board , conservation authority or incorporated non-profit organization to avail themselves of grants towards the conservation and restoration of owned or leased designated property. A CFIP grant will not exceed one-third of the total eligible project costs or \$1 ,000,000 whichever is less.

8.4 Architectural Conservancy of Ontario (ACO)

The ACO has established a Heritage Fund under the Ministry's Community Heritage Fund program (no longer existing). The ACO, a non-profit conservation organization, may make available to eligible owners low interest loans or small grants towards the conservation of heritage property.

9. IMPLEMENTATION

9.1 Introduction

Successful implementation of district conservation relies on a variety of complementary initiatives. Key amongst these is the enthusiasm and cooperation of individual property owners in protecting and maintaining the heritage building stock of Churchville. The availability of funding through grants or loans may also add additional incentives and impetus to sensitive and respectful conservation. The guidelines in various sections of this plan are also important in acquainting owners with some of the issues inherent in conservation practice as well as providing advice on how best to proceed with protecting the special character of the area. The following describes those actions and procedures which will also assist in implementing the district plan over the coming years.

As with other sections of the plan situations or occasions may occur where it may be prudent to review the effectiveness of a particular procedure or requirement. Appropriate action should be taken to address these issues as they arise and amend procedures accordingly.

9.2 Permit Application Process

The City of Brampton will consider adoption by by-law of the Parks Canada “Standards and Guidelines for the Conservation of Historic Places in Canada” along with the Village of Churchville Heritage Conservation Plan Guidelines. Council will also delegate authority for approval of certain heritage permit project types to Planning staff as outlined in the Table X (to be produced after public meeting presentation). Where the heritage permit application does not comply with Table X a committee of Heritage Brampton should review the application and Council approval shall continue to be required

9.3 Property Owner’s Guide to the Heritage Permit Process

9.3.1 Why Is A Heritage Permit Required?

Heritage designation puts in place a simple and quick mechanism, through the heritage permit process, to encourage preservation properties designated under Part IV or Part V of the Ontario Heritage Act (Sections 29 & 41).

The heritage permit process is designed to ensure that the "heritage attributes", as described in the designation by-law, are not obscured, damaged or destroyed

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unnecessarily by alterations and other forms of intervention. Heritage attributes are the elements that lend a property or district its cultural heritage value.

Any works likely to result in the loss, damage, alteration or removal of one or more heritage attributes requires sign off from City Council before the work can begin. This rule applies mostly to major exterior renovations, additions and other works subject to a building permit or demolition permit.

The heritage permit process was not designed to prevent alterations to heritage buildings. Its purpose is to guide alterations in a reasonable and balanced manner – never losing sight of the pragmatic considerations that often trigger the call for change in the first place.

The heritage permit process is also not intended to prevent the introduction of modern conveniences such as central air conditioning, wheel chair ramps, new windows, swimming pools, satellite dishes, garages, parking spaces, and modern interior design treatments.

Again, the permit process is, in most cases, simply used to guide such changes so that the new feature or replacement feature does not diminish the heritage value of the property.

The process is generally not about “if” such changes can be made to a property – it’s about “how” or “how best” within the budget constraints and objectives of the property owner – factoring in the significance of the heritage attributes that might be impacted. It should be stressed that in most instances, the heritage permit process is surprisingly routine.

9.3.2 Legal Basis for Heritage Permit - Ontario Heritage Act

To maintain consistency with provincial legislation and Brampton's new Official Plan, extending the heritage permit process Citywide, is recommended.

Section 33 of the Ontario Heritage Act states that Council must provide its 'consent in writing' before any alterations can proceed that are likely to affect heritage attributes on properties designated under Part IV of the Act. The wording in the Act is as follows:

"No owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the property's heritage attributes ... unless the owner applies to the council of the

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municipality in which the property is situated and receives consent in writing to the alteration."

Section 42 of the Ontario Heritage Act applies to properties designated under Part V of the Heritage Act (districts). It states:

"The owner of property situated in a designated heritage conservation district may apply to the municipality for a permit to alter any part of the property other than the interior of a building or structure on the property or to erect, demolish or remove a building or structure on the property. 2005, c. 6, s. 32 (1)."

Most municipalities have adopted a heritage permit system to manage the review and approval process as prescribed under sections 33 and 42 of the Ontario Heritage Act.

Despite the fact that section 33 of the Heritage Act only refers to "consent in writing" from Council, and does not specifically refer to a 'permit', it is industry practice to seek Council's consent in writing, as the act requires, and to call that consent a 'permit'.

9.3.3 What Are Heritage Attributes?

In general terms heritage attributes are the materials, details, forms, spatial configurations, uses, historical and cultural associations and character defining elements that collectively contribute to the cultural heritage value of the designated property.

A heritage designation by-law identifies and describes these heritage attributes so that everyone knows what features should be given special consideration when an alteration is proposed.

In specific terms, these attributes can be architectural, contextual, natural and/or historical. The heritage permit focuses on the architectural and contextual elements:

Architectural heritage attributes often include: windows, chimneys, verandahs, porches, doors, exterior cladding materials, decorative millwork and detailing, shutters, trim, stonework and any other structural features that are obviously old or original to the building.

- Contextual and natural heritage attributes can also be significant - particularly with regard to the designation of streetscapes, farms, cemeteries and

districts. They include: visual and aesthetic qualities, historical landscaping features, mature trees and hedgerows, fences, laneways, vistas, barns and other features found on the property.

- Historical heritage attributes relate to past ownership, history, events and associations with broader themes and subjects.

Rarity, age, landmark status, construction methods, symbolic value and other factors are also taken into consideration, depending on the type of property being designated.

9.3.4 When Is A Heritage Permit Required?

In the most general sense, as outlined in the Heritage Act, a heritage permit is required prior to any alteration likely to result in the loss, removal, obstruction, replacement, damage or destruction of one or more heritage attributes on a property designated under Part IV of the Ontario Heritage Act or contained within a Heritage Conservation District designated under Part V of the Ontario Heritage Act.

As a rule of thumb, a heritage permit is always required for any large-scale exterior renovations and additions; essentially any works that would also require a building permit, demolition permit or other formal approvals by the City, conservation authorities and/or other agencies and other levels of government.

A heritage permit may also be required for some smaller scale projects (e.g. replacing a front door, removing a verandah railing, etc), if that project would impact existing heritage attributes and features as found.

The heritage permit process applies to the entire property and all exterior elevations - not just to the front facade.

Whether a heritage permit is required or not, you must still comply with the requirements of the Zoning By-law and Building Code.

Heritage permits should always be secured before seeking any other approvals, such as minor variances from the Committee of Adjustment, approvals from conservation authorities, site plan approvals and so on.

Site Specific
Appeal to
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9.3.5 Typical Projects That Do Require a Heritage Permit

- **New Construction:** such as new additions, introducing new exterior architectural detailing and finishes, along with new garages, fences, barns, outbuildings, porches, verandahs, steps and decks;
- **Major Structural Alterations and Rehabilitation Projects:** such as replacement, removal and changes to existing porches, verandahs, windows and window openings, doors and door openings, chimneys, awnings, existing millwork, decorative elements, detailing and finishes, foundations, barns, outbuildings and the like;
- **Major Changes to Exterior Walls and Cladding** such as introduction or removal of metal soffits, fascia, vinyl siding, stucco finishes; painting previously unpainted masonry walls or removing paint from painted masonry walls; repointing masonry, replacing bricks, repairing or replacing stone finishes, parging foundation walls, removing key wall features such as lintels, sills, parapets, chimneys, quoins, voussoirs, removing insulbrick, and the like;
- **Major Landscaping:** such as removal of mature trees, removal or significant alterations to period gardens and hedgerows, installation of new landscaping plans, patios, paths and laneways, altering or removing original or vintage pergolas, fences, garages, outbuildings and the like;
- **New Signage;**
- **Historical Restoration Projects:** such as restoration or replication of original or vintage period elements including verandahs, millwork, finishes and the like;
- **Any Other Larger Scale Exterior Alterations or Structural Repairs** that are likely to affect existing heritage attributes anywhere on the property.

Site Specific
Appeal to
OMB by Soor

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9.3.6 Typical Projects That Do Not Require A Heritage Permit

If works are not likely to affect existing designated heritage attributes, a heritage permit is not required. If in doubt, contact the City for confirmation. A property owner does not require a heritage permit for regular or routine maintenance and other day-to-day activities or functions required to use, maintain and enjoy a property.

Routine care, maintenance and minor repairs do not require a heritage permit.

Examples of such work include:

- Minor repairs to windows, doors, eaves troughs, fences, foundations, roofing, railings, steps, chimneys, etc;
- Weather-stripping, insulating, etc;
- Interior work such as plumbing and electrical upgrades, interior painting, interior renovations and other works, provided interior spaces, detailing and finishes and are not included in the scope of heritage designation; (other City permits may be required however). Interior alterations of properties designated under Part V are excluded from the permit process.
- New roof shingles;
- All forms of exterior painting (suitable heritage colour schemes are encouraged but are not required);
- Construction of backyard patios, tool sheds, other small outbuildings if they are to be located at the rear of the property and/or if not readily visible from the street or other public areas;
- Gardening and minor landscaping;

9.3.7 How Long Does the Permit Review Process Take

The Ontario Heritage Act is very specific on this point. Once a complete permit application is received, the City is to "cause a notice of receipt to be served on the applicant". Council must then make its decision regarding the merits of an application within 90 days. If mutually agreed upon, an extension can be granted.

If the applicant does not hear back after the 90-day period expires the council shall be deemed to have consented to the application. Although the standard procedure would be for the City to notify the applicant of Council's decision.

9.3.8 Role of the Property Owner / Applicant:

The property owner must evaluate the proposed scope of work and determine if that work is likely to affect the heritage attributes as designated. If in doubt, they should contact the City Heritage Coordinator for confirmation.

If a heritage permit is required, the applicant should work with the Heritage Coordinator. Together they can review the heritage considerations and fill out the application form.

When ready, the applicant must submit the completed heritage permit application form, along with any supporting information as required, to the Heritage Coordinator.

Applicants and/or their agents are encouraged to come before the Heritage Board as a delegation to briefly outline the scope of their heritage permit application and to answer questions. Arrangements can be made with the Heritage Coordinator.

9.3.9 Role of the Heritage Coordinator

Heritage permit applications are available from the Heritage Coordinator the Planning Design and Development Department (3rd Floor, City Hall).

The completed application form, along with the required plans, is to be submitted to the Heritage Coordinator. The Heritage Coordinator will review the application and provide comments and recommendations.

Prior to submitting a Heritage permit application, applicants are encouraged to discuss their proposal with the Heritage Coordinator.

The Heritage Coordinator will assist the property owner at every step of the way with application process.

The Heritage Coordinator will also circulate the application to other departments as required for review and comment.

Finally, the Heritage Coordinator will take the heritage permit application to the Brampton Heritage Board for review and endorsement.

9.3.10 Role of the Brampton Heritage Board

The Brampton Heritage Board (BHB) reviews all heritage permit applications. The Board, and its sub-committee, make recommendations: to approve, approve with terms and conditions or to refuse. These recommendations are then submitted to the Planning Design and Development Committee (PDD) and then City Council.

The BHB comments and recommendations are forwarded to PDD and City Council – either through a motion in the minutes or in a follow-up staff report.

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9.3.11 Role of Planning, Design and Development Committee and City Council

The Planning Design and Development Committee (PDD) and City Council will consider the permit application on its merits factoring in the comments and recommendations of staff and the Brampton Heritage Board.

PDD and City Council will then:

- 1) Approve the permit without conditions;
- 2) Approve the permit with certain terms and conditions;
- 3) Refuse the permit.

Assuming City Council approves the permit, the City Clerk's Department issues correspondence and the heritage permit is then prepared by the Heritage Coordinator and mailed to the applicant. A copy of the permit is circulated to the Building Division.

9.3.12 Appeal Process

All applicants have the right to appeal if a heritage permit application is refused by City Council or if the applicant does not support any terms and conditions. It is rare for City Council to refuse a heritage permit application.

1. Role of Conservation Review Board – Part IV (individual) Properties

Applicants can apply to Council for a hearing before the Conservation Review Board (Review Board). The Council will refer the matter to the Board. A hearing will be held and the Review Board will prepare a report for Council. Council will review the Review Board report and will either reaffirm its original decision or revise it accordingly. Council's decision is final.

The Conservation Review Board (CRB) was established in 1975 with the passage of the Ontario Heritage Act, as a Schedule I Agency whose mandate is to conduct hearings and make non-binding recommendations dealing with objections under Parts IV of the Ontario Heritage Act.

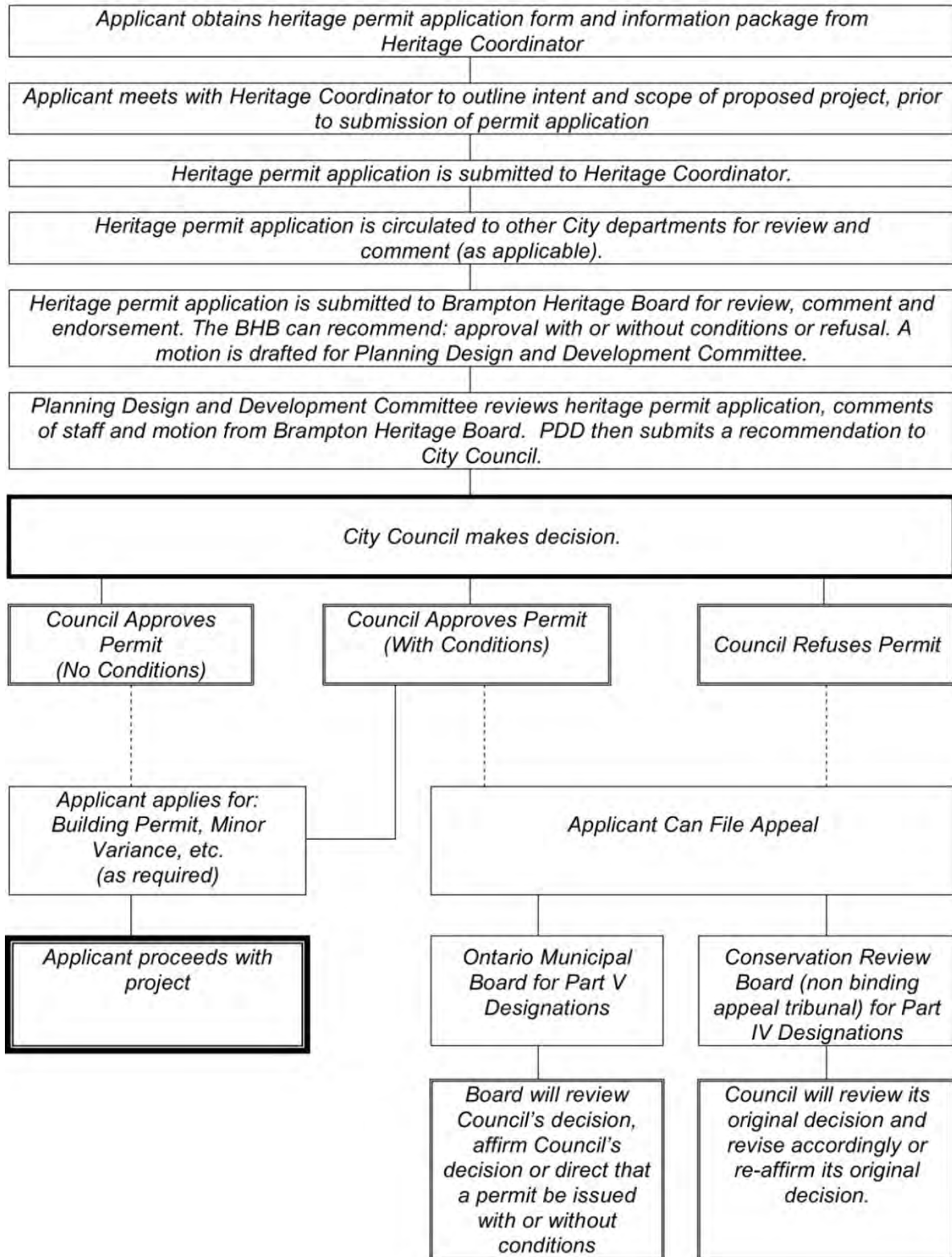
2. Role of Ontario Municipal Board – Part V (Heritage Conservation District) Properties

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Applicants can apply to the Ontario Municipal Board (Board) within 30 days after receiving notice that council is refusing and application or issuing a permit with terms and conditions attached. The Board may dismiss the appeal or direct that a permit be issued with or without terms and conditions.

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HERITAGE PERMIT APPLICATIONS - PART IV & PART V DESIGNATIONS - PROCESS FLOW



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9.3.13 Supporting Documentation

In order to describe the intent and scope of a proposed project certain documents and supporting materials should be included with a heritage permit application. Applicants may be required to submit some or all of the following supporting documentation:

Drawings / Plans should be folded to 8.5 x 11" paper size, if possible, and should be measured in metric scale.

Photographs – May be colour or black and white and labelled. A general view of the street showing the building and adjacent properties (streetscape), as well as a frontal view of the existing building and a photograph of each elevation are recommended.

Registered Survey should be up to date with no construction since time of survey. The survey should be a copy of the original survey that has been prepared by an Ontario Land Surveyor. All existing easements and right-of-ways should be shown.

Site Plans – Showing existing and proposed structure(s)/addition(s) on the lot, setbacks from front, rear and side lot lines, demolition of existing site features, and location of proposed site features such as parking spaces, driveways, walls, gates, fences, trees, hydro poles, retaining walls, fire hydrants, and accessory buildings.

Floor Plans – Depicting the arrangement of interior spaces, including the existing and proposed location of walls, windows and doors. All rooms should be labelled as to use, with dimensions on each floor plan in metric scale.

Building Elevations – Showing all elevations of the proposed addition/alteration. Suggested details to include consist of: building height, existing/proposed grade, finished floor elevations, window and door openings, roof slopes, building materials, location and type of outdoor lighting fixtures, railings, design/location of signage, down spouts, porches, landings, stairs and balconies.

Outline Material Specifications – Samples, brochures, etc. of all exterior materials, finishes and colours will assist the Committee, Board and City staff in making their recommendations.

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9.3.14 Summary of Supporting Documents Required According to Type of Project:

In some cases a few photographs may be sufficient to support a permit application.

If a larger project is proposed, more supporting material is required. The following list outlines what supporting documentation is generally required by type of project:

Major Repair, Upgrade or Larger-scale Maintenance Projects (e.g. replacement of windows)

- i) Photographs.
- ii) Outline and samples of materials or products to be used.
- iii) Brief description of work specifications and techniques to be applied.

Additions and Construction of New Buildings

- i) Photographs
- ii) Site plan
- iii) Plans and elevations of existing structure - "as built".
- iv) Plans and elevations of proposed work.
- v) Outline and samples of materials to be used.
- vi) Description of construction specifications.

Major Alterations

- i) Photographs.
- ii) Outline and samples of materials or products to be used.
- iii) Description of work specifications and techniques to be applied.
- iv) Outline and samples of materials to be used.

Exterior and Interior Restorations (i.e. replicating or revealing lost heritage elements)

- v) Detail photographs of all features and attributes to be restored
- vi) Brief description of restoration techniques to be applied
- vii) Outline and samples of materials to be used (e.g. mortar mixes)
- viii) Copies of historical photographs or references used to document features being restored

- ix) Description of construction specifications

Relocation of an Existing Structure

- i) Photographs
- ii) Current registered survey
- iii) Site plan
- iv) Plans and elevations documenting existing structure

Land Division

- i) Photographs
- ii) Current registered survey
- iii) Site plan and subdivision

New Signage

- i) Photographs – (streetscape and property)
- ii) Site Plan
- iii) Elevations affected by signage
- iv) Design of sign, including dimensions, materials list and colour scheme

Demolitions

- i) Photographs of structures proposed for demolition
- ii) Current registered survey
- iii) Plans and elevations documenting existing structure
- iv) Material salvage plan as necessary

9.3.15 Standards Used to Evaluate Heritage Permit Applications

The following guiding principles are based on the Ontario Ministry of Culture principles of conservation for heritage properties. These principles are based on international charters, which have been established over several decades.

1. RESPECT FOR DOCUMENTARY EVIDENCE:

Do not base restorations solely on conjecture. Conservation work should be based on historic documentation and/or historical precedents using archival photographs, drawings, physical evidence and historical references.

2. RESPECT FOR THE ORIGINAL LOCATION:

Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Change in site diminishes heritage value considerably.

3. RESPECT FOR HISTORIC MATERIAL:

Repair and Conserve existing materials and finishes rather than replacing them - except where absolutely necessary. Minimal intervention maintains the historical integrity and true character of the resource and is often less expensive!

4. RESPECT FOR ORIGINAL FABRIC:

Repair with like material whenever possible. Repair to return the resource to its prior condition, without altering its integrity.

5. RESPECT FOR THE BUILDING'S HISTORY:

Do not restore to one period at the expense of another period. Do not destroy later additions to a house solely to restore to a single time period. Removal of later additions is valid only when a later addition is uncomplimentary or inappropriate historically.

Also, ensure that the massing and height of new additions do not overshadow the heritage portions of the building. Additions should appear smaller and subordinate to the original or early portions of the building. Ideally, they should be located to the rear of the heritage portion of the building.

6. REVERSIBILITY:

Whenever possible, alterations should be executed in such that they could be reversed later and returned to original conditions. This conserves earlier building design and technique. e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

7. LEGIBILITY:

New work should be distinguishable from old. Building additions and new construction should be recognized as products of their own time, and new additions should not blur the distinction between old and new by slavishly

attempting to duplicate. Strive for complimentary additions not replicas of the existing building.

8. MAINTENANCE:

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

9.3.16 10 Ways to Ruin an Old Building

1. Hiring consultants, architects and/or contractors who do not specialize or who have not had experience working with heritage buildings.
2. Neglecting the building by avoiding routine maintenance and regular upkeep. Costs add up and work becomes more complicated.
3. Using Portland cement instead of softer lime mortar for old brick and stone repairs.
4. Painting or coating surfaces that were originally left unpainted/uncoated such as brick walls and stone. Repair individual brick and stone instead. Avoid covering masonry walls with stucco-like coatings. They can destroy the brick underneath and greatly diminishes heritage value.
5. Enlarging or altering the building in a manner that conflicts with its architectural style, form or time period.
6. Introducing "period" details that were never intended for the building or removing vintage details that may not be "original".
7. Replacing original or vintage details unnecessarily and/or with modern materials that do not match (e.g. replacing wood sash windows with plate glass panels or vinyl casement windows).
8. Locating modern services and equipment (e.g. satellite dishes) in obvious, indiscrete locations (e.g. front of the house).
9. Using cleaning methods that damage original surfaces (e.g. sandblasting or caustic cleaners). Remember, old brick is supposed to look old!
10. Not recognizing and embracing the value of natural age, character and patina found in old buildings."

By-law
243-2007

9.4 Planning and development applications

In many instances building or district permits may be preceded by applications for a variety of planning approvals. It is important that the district committee be aware of impending change and development within the district.

Recommendation 19

Accordingly it is recommended that where any application or proposal for one of the following is located within or partially within the designated district the Heritage Brampton Committee shall be circulated for comments:

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By-law 243-2007

- a variance or a consent:
- a plan of subdivision:
- zoning amendment;
- road closure;
- road widening:
- slope or bank stabilization: and,
- all activities of the CVCA.

9.5 Highway 407

The Ontario Heritage Act does not bind the Crown therefore designation of these lands does not restrict or otherwise interfere with provincial planning and construction activities.

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By-law 243-2007

It is hoped however, that the province will take into account the objectives of the designated district and mitigate any adverse impacts to affected heritage features e.g. archaeological sites, buildings of architectural interest and tree lines.