

APPENDIX

H

CULTURAL
HERITAGE
ASSESSMENT
REPORT

**Cultural Heritage Assessment Report: Existing
Conditions and Preliminary Impact Assessment**

Arterial Roads (Parts B) Within Hwy 427 Industrial Secondary
Plan Area, City of Brampton

Project: TP115086

Prepared for:

City of Brampton

8850 McLaughlin Road Unit 2 Brampton, ON, L6Y 5T1

26-Oct-21



Cultural Heritage Assessment Report: Existing Conditions and Preliminary Impact Assessment

Arterial Roads (Parts B) Within Hwy 427 Industrial Secondary Plan Area, City of Brampton, ON

Project: TP115086.1.3000

Prepared for:

City of Brampton
8850 McLaughlin Road Unit 2 Brampton, ON, L6Y 5T1

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26-Oct-21

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Executive Summary

Wood Environment & Infrastructure Solutions (“Wood”) was retained by the City of Brampton (“City”) in 2016 to complete a Cultural Heritage Assessment Report (“CHAR”) in support of the ‘Schedule C’ Municipal Class Environmental Assessment (“EA”) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario. The Study Area for the proposed Arterial Roads network consists of two parts: Part A (Regional Roads) and Part B (Municipal Roads). The following report pertains to Part B of the proposed Arterial Roads network. A CHAR for the Part A Roads has been prepared by Wood under a separate cover. The Study Area is comprised the following:

- Part B:
 - Countryside Drive – an existing roadway which will be widened to four lanes and be upgraded to include curb and gutter and multi-use pathways.
 - Clarkway Drive – an existing roadway which will have portions widened to four lanes and upgraded to include storm sewers, sidewalks and cycle lanes.
 - East-West Arterial – a new four lane roadway connecting The Gore Road to Arterial A2.

Amec Foster Wheeler (“Amec”) completed a draft CHER for the Study Area (Parts A and B) in 2016. The draft report was not finalized or submitted to the Ministry of Heritage, Sport, Tourism and Culture Industries (“MHSTCI”) for review.

Following the completion of background research, information gathering, and a field review, two (2) built heritage resources and 10 cultural heritage landscape resources were identified within, or adjacent to, the Study Area. Two properties, 10955 Clarkway Drive (CHR 2) and 10300 The Gore Road (CHR 9) are designated under Part IV of the *Ontario Heritage Act*. Seven properties (CHR 1 and CHR 3-CHR 8) are listed on the City of Brampton Municipal Register of Cultural Heritage Resources, and three resources (CHR 10-CHR 12) were identified during the original field review in 2016.

The impact assessment for the Part B Roadways determined that direct impacts are anticipated to six properties: CHR 1 (5556 Countryside Drive), CHR 2 (10955 Clarkway Drive), CHR 4 (10307 Clarkway Drive), CHR 6 (10089 Clarkway Drive), CHR 10 Countryside Drive), and CHR 11 (Clarkway Drive) since the proposed road widening will result in the removal/disturbance of various heritage attributes and the permanent alteration of historical rural roadscapes.

Based on the above, the following recommendations are made:

- 1) The locations of built heritage resources and cultural heritage landscapes should be identified on construction mapping so that project personnel are aware of the presence of heritage properties within, and adjacent to, the proposed work.
- 2) Direct impacts are anticipated to one protected heritage property: CHR 2 (10955 Clarkway Drive) since the proposed work will result in the removal/disturbance of various known heritage attributes (mature trees, split rail fence and tributary) on the property. This property is designated under Part IV of the *Ontario Heritage Act* (By-Law 161-2016). Therefore, impacts to this property should be evaluated in an HIA and where impacts are anticipated, a conservation strategy and mitigation measures should be prepared. The HIA should be completed at the outset of the detailed design phase of the project. The HIA once completed, will require presentation to the Brampton Heritage Board.
- 3) Direct impacts are anticipated to five potential heritage properties: CHR 1 (5556 Countryside Drive), CHR 4 (10307 Clarkway Drive), CHR 5 (10089 Clarkway Drive), CHR 10 (Countryside Drive), and CHR 11 (Clarkway Drive) due to proposed road construction and widenings that will permanently alter the historical character of these resources. HIAs should be completed for all five potential heritage resources. Each HIA must contain an O. Reg. 9/06 evaluation to determine the presence of absence of CHVI. Where CHVI is present, then an impact assessment should be completed and mitigation measures prepared. The HIAs should be completed at the outset of the detailed design phase of the project. The HIAs once completed, will require presentation to the Brampton Heritage Board. Standalone HIAs must be completed for CHR 1 (5556 Countryside Drive), CHR 4 (10307 Clarkway Drive), CHR 6 (10089 Clarkway Drive), and one (1) combined HIA may be completed for CHR 10 (Countryside Drive) and CHR 11 (Clarkway Drive)
- 4) This report should be submitted to the City of Brampton, the Region of Peel, and MHSTCI for review and comment.

The above recommendations were prepared using drawings of the proposed work contained in Appendix B. Should the proposed work be updated or changed, then the impact assessment should be revised to confirm impacts and recommended mitigation measures. It should be noted that the above recommendations pertain only to Part B of the Arterial Roads network. Impacts related to the Part A Roadway component of the project are addressed under a separate cover prepared by Wood.

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Abbreviations

CHER	Cultural Heritage Evaluation Report
CHSR	Cultural Heritage Screening Report
CHVI	Cultural Heritage Value or Interest
HIA	Heritage Impact Assessment
MHSTCI	Ministry of Heritage, Sport, Tourism and Culture Industries
OHA	Ontario Heritage Act
PHP	Provincial Heritage Property
PPS	Provincial Policy Statement
SCHV	Statement of Cultural Heritage Value



Glossary

Adjacent lands	Those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (PPS 2020).
Built Heritage Resource:	Means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the <i>Ontario Heritage Act</i> , or that may be included on local, provincial, federal and/or international registers (PPS 2020).
Conserved:	Means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (PPS 2020).
Cultural Heritage Landscape:	Means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the <i>Ontario Heritage Act</i> , or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (PPS 2020).

Glossary

- Heritage Attributes:** Means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property) (PPS 2020).
- Protected Heritage Property:** Means property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the *Standards and Guidelines for Conservation of Provincial Heritage Properties*; property protected under federal legislation, and UNESCO World Heritage Sites (PPS 2020).
- Significant:** In regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act* (PPS 2020).



1.0 Introduction

1.1 Project Context

Wood Environment & Infrastructure Solutions (“Wood”) was retained by the City of Brampton (“City”) in 2016 to complete a Cultural Heritage Assessment Report (“CHAR”) in support of the ‘Schedule C’ Municipal Class Environmental Assessment (“EA”) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario. The Study Area for the proposed Arterial Roads network consists of two parts: Part A (Regional Roads) and Part B (Municipal Roads). A CHAR for the Part A Roads has been prepared by Wood under a separate cover. The following report pertains to Part B of the proposed Arterial Roads network. (Figure 1 and Figure 2).

The Study Area is comprised the following:

- Part B:
 - Countryside Drive – an existing roadway which will be widened to four lanes and be upgraded to include curb and gutter and multi-use pathways.
 - Clarkway Drive – an existing roadway which will have portions widened to four lanes and upgraded to include storm sewers, sidewalks and cycle lanes.
 - East-West Arterial – a new four lane roadway connecting The Gore Road to Arterial A2.

1.2 Development Context

The City of Brampton continues to grow and develop into a more urban municipality. To accommodate future growth in north-east Brampton, a Council approved Secondary Plan for Area 47, which is bounded by Mayfield Road to the north, Castlemore Road to the south, Regional Road 50 (RR50) to the east, and The Gore Road to the west. To service this growth, new infrastructure must be provided that recognizes the capacity needs of planned growth and the objectives of protecting established communities and businesses.

The City of Brampton has identified through its Transportation and Transit Master Plan (TTMP) 2009, the need for additional capacity in the road network up to the planning horizon year of 2031. As part of the TTMP, road network improvements within Secondary Plan Area 47 include a new north-south major arterial road (Arterial A2), a new east-west minor arterial road (E-W Arterial) and widening of Countryside Drive, Coleraine Drive and Clarkway Drive.

The Region of Peel, the City of Brampton and the Town of Caledon jointly completed the Peel-Highway 427 Extension Area Transportation Master Plan study to confirm the road network requirements in the Region of Peel in proximity to the future extension of Highway 427 including

Secondary Plan Area 47. The study recommended a number of road network improvements in the area that includes a combination of road widening and the provision for a new arterial road (Arterial A2) from Major Mackenzie Drive at RR 50 to Mayfield Road east of Clarkway Drive. Recommendations of this study were endorsed by the Region of Peel, City of Brampton and the Town of Caledon in 2009. The Highway 427 Industrial Secondary Plan (Area 47) Transportation Master Plan Study has supplemented the Transportation and Transit Master Plan (TTMP) and the Peel-Highway 427 Extension Area Transportation Master Plan and recommended an arterial road network within Secondary Plan Area 47 as follows:

- A new six-lane north-south major arterial road (Arterial A2) from Mayfield Road east of Clarkway Drive to Major Mackenzie Drive/RR50;
- A new four-lane east-west minor arterial road from The Gore Road to Arterial A2 (E-W arterial);
- Widening of Coleraine Drive from Arterial A2 to Mayfield Road including realignment at Arterial A2 west of RR50;
- Widening of Clarkway Drive from Castlemore Road to E-W Arterial to four lanes and urbanizing Clarkway Drive between E-W arterial and Mayfield Road with potential continuous centre turn lane; and,
- Widening of Countryside Drive to four lanes from Clarkway Drive to RR 50 including realignment at RR50.

The Highway 427 Industrial Secondary Plan (Area 47) Transportation Master Plan has satisfactorily completed Phases 1 and 2 of the MCEA process for the above-mentioned road corridors and recommends commencement of Phases 3 and 4 of the EA process. This addresses Phases 3 and 4 of the MCEA requirements for the above five arterial roads. The broader Study Area is bounded by north of Mayfield Road, east of RR 50, south of Castlemore Road and west of The Gore Road.

1.3 Cultural Heritage Context

Amec Foster Wheeler (“Amec”) completed a draft CHER for the Study Area (Parts A and B) in 2016. The draft report was not finalized or submitted to the Ministry of Heritage, Sport, Tourism and Culture Industries (“MHSTCI”) for review. Following the preparation of the original CHER, the preliminary preferred design for Part A of the Study Areas was updated and finalized in January 2020. The location and alignment of the proposed arterial roads in Part A of the Study Area included lands that were not assessed as part of the 2016 CHER. To address this issue, this report presents the results of the original 2016 CHER, confirms the existing conditions of previously identified built heritage resources and cultural heritage landscapes, and presents an updated impact assessment and mitigation measures. Linda Axford, Cultural Heritage Specialist at Wood

(now retired), completed the 2016 draft of this report and Heidi Schopf, Senior Cultural Heritage Specialist at Wood, completed the update in 2020.

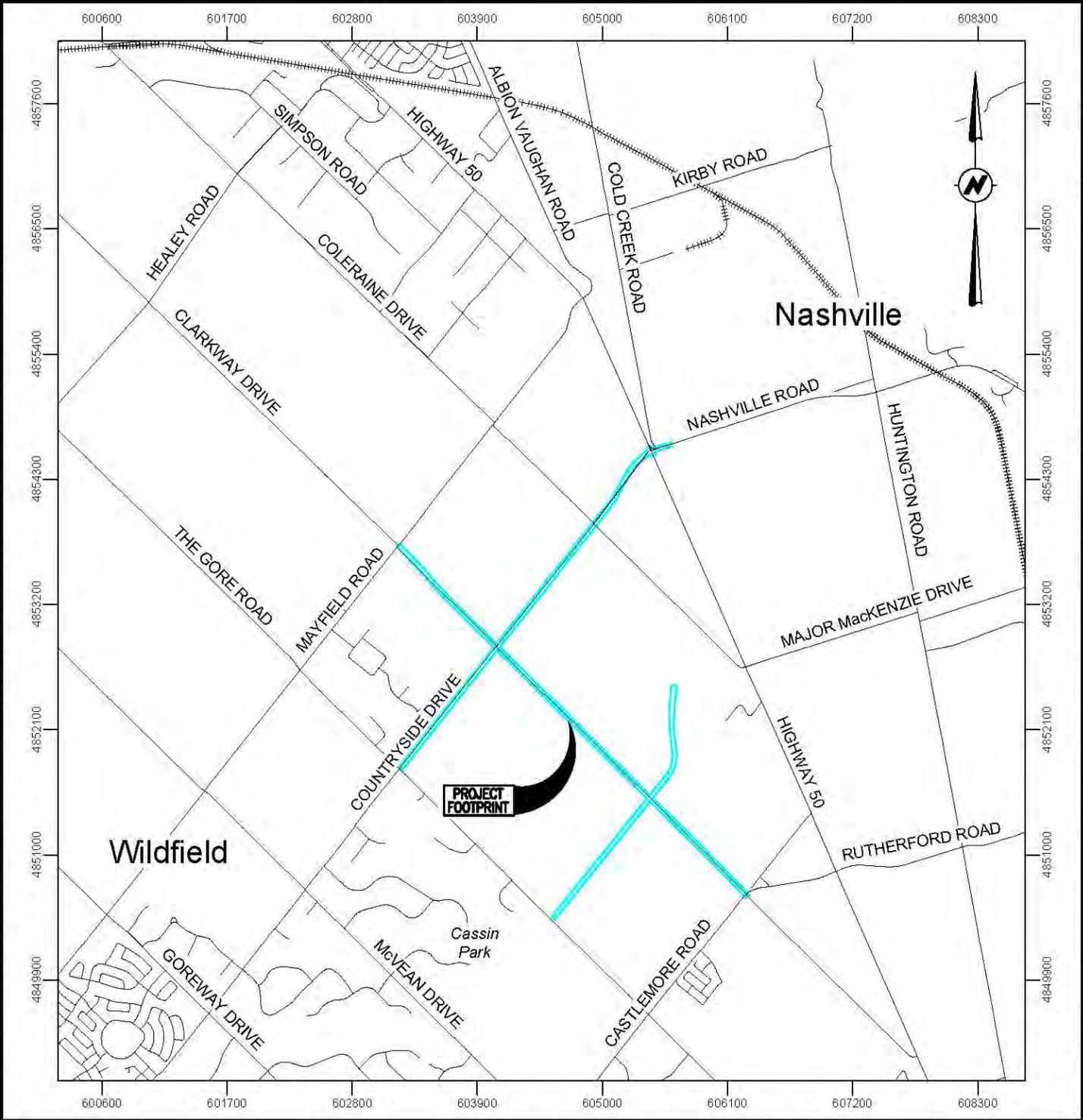
In addition to the 2016 draft of this report, a Cultural Heritage Study Report was prepared in July 2010 by Archaeological Services Inc. ("ASI") as part of the Secondary Plan Area 47 planning process. This report summarizes the key findings of ASI's 2010 assessment.

1.4 Objectives

The objectives of this CHAR include:

- Background historic research, including consultation of primary and secondary literature and historic mapping in order to elucidate the evolution of built environments and cultural heritage landscapes within and adjacent to the Study Area;
- Review of previous cultural heritage studies completed in the Study Area, including the Cultural Heritage Study Report prepared by ASI in 2010 and the draft CHER completed by Amec in 2016;
- Data collection to obtain listings of cultural heritage structures/objects and cultural heritage landscape on current National, Provincial and Municipal heritage lists (easements and designations);
- Conduct an on-site survey to confirm existing conditions and heritage resources within the Study Area, including photographic documentation and confirmation or updating of the data collected from secondary sources;
- Consult library, municipal and archival sources for historical information pertinent to the surrounding cultural heritage;
- Review existing cultural information. Complete background historical research to confirm settlement history. Complete historical mapping and aerial photography research;
- Contact the area municipality regarding community interest, and municipally inventoried or designated properties in the Study Area; and,
- Prepare a report that identifies all affected cultural heritage resources, addresses each of the criteria in Ontario Regulation (O. Reg.) 9/06 and makes appropriate recommendations concerning any mitigation measures that may be required.

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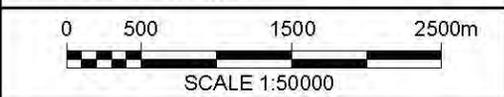


PROJECT: CULTURAL HERITAGE ASSESSMENT (PART 'B')
 ARTERIAL ROADS WITHIN HIGHWAY 427 INDUSTRIAL SECONDARY PLAN AREA
 LOTS 13 AND 17, CONCESSION 11, LOT 17, CONCESSION 12
 FORMER TOWNSHIP OF TORONTO GORE, COUNTY OF PEEL
 AND LOTS 25 AND 26, CONCESSION 10
 FORMER TOWNSHIP OF VAUGHAN, COUNTY OF YORK
 REGIONAL MUNICIPALITY OF PEEL
 NOW THE CITY OF BRAMPTON, ONTARIO

TITLE:
 LOCATION OF THE STUDY AREA

LEGEND:
 PART 'B' PROJECT FOOTPRINT

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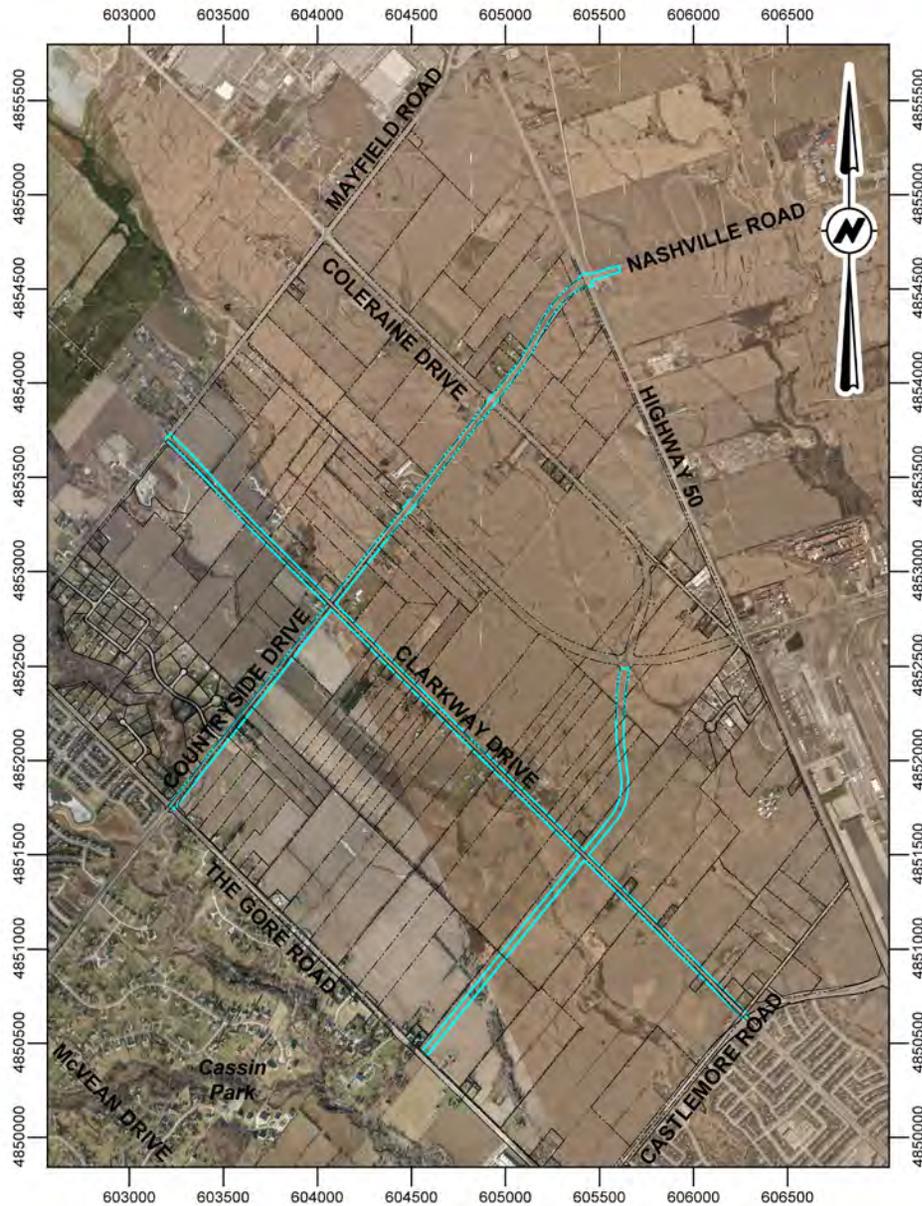


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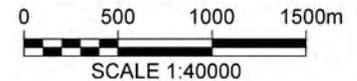


PROJECT: CULTURAL HERITAGE ASSESSMENT (PART 'B')
 ARTERIAL ROADS WITHIN HIGHWAY 427 INDUSTRIAL SECONDARY PLAN AREA
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 AND LOTS 25 AND 26, CONCESSION 10
 FORMER TOWNSHIP OF VAUGHAN, COUNTY OF YORK
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REFERENCES:
 2019 AERIAL PHOTOGRAPHS BY THE REGION OF YORK,
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DATUM: NAD83	PROJECTION: UTM Zone 17	PROJECT No: TP115086.1.7000
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2.0 Methodology

2.1 Regulatory Requirements

The requirements to consider cultural heritage under the Environmental Assessment (EA) process are found in the Provincial Policy Statement (PPS) 2020 (Government of Ontario 2020) and the *Environmental Assessment Act* R.S.O. 1990, c. E.18 (EA Act). Requirements specific to cultural heritage resources are found in the *Ontario Heritage Act*, R.S.O. 1990, c. O.18 (Government of Ontario 1990a).

2.1.1 Provincial Policy Statement

The PPS provides policy direction on matters of provincial interest related to land use planning and development (Government of Ontario 2020:1). The PPS is applicable to the entire Province of Ontario. Section 2.6 of the PPS gives direction on the consideration of cultural heritage and archaeology (Government of Ontario 2020:31). Specifically, the following direction is given regarding built heritage resources, cultural heritage landscapes, and protected heritage properties:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

(Government of Ontario 2020)

2.1.2 Environmental Assessment Act

The *Environmental Assessment Act* (EA) Act sets out planning and decision-making processes so that potential environmental effects are considered before a project begins (Government of Ontario 1990b). The EA Act applies to provincial ministries and agencies, municipalities, and public bodies. Under the EA Act, there are two types of assessments: Individual EAs and Streamlined EAs. Individual EAs are large-scale, complex projects with the potential for significant environmental effects. Streamlined EAs are routine projects that have predictable and manageable environmental effects. This project, the Arterial Roads EA, falls under the Streamlined EA process as a 'Schedule C' MCEA.

The requirement to consider cultural heritage in Class EAs is discussed in the MCEA Manual (2015) where the cultural environment is identified as one of the key considerations in the MCEA process (MEA 2015: B.1.1). Under Section B of the MCEA Manual, the cultural environment includes

archaeological resources, areas of archaeological potential, built heritage resources, cultural heritage landscapes, and cultural heritage resources [MEA 2015: B.1.1(4)]. Further, the MCEA Manual [2015: B1.1(4)] gives the following direction regarding the cultural environment:

Significant cultural heritage and archaeological resources features should be avoided where possible. Where they cannot be avoided, then effects should be minimized where possible, and every effort made to mitigate adverse impacts, in accordance with provincial and municipal policies and procedures. Cultural heritage features should be identified early in the process in order to determine significant features and potential impacts.

2.1.3 Ontario Heritage Act

The *Ontario Heritage Act*, R.S.O. 1990, c. O18, provides a framework for the protection of cultural heritage resources in the Province. It gives municipalities and the provincial government powers to protect heritage properties and archaeological sites. The *Ontario Heritage Act* includes two regulations for determining Cultural Heritage Value or Interest ("CHVI"): *Ontario Regulation* (O. Reg.) 9/06 and O. Reg. 10/06. O. Reg. 9/06 provides criteria to determine the CHVI of a property at a local level while O. Reg. 10/06 provides criteria to determine if a property has CHVI of provincial significance. The criteria for determining CHVI under O. Reg. 9/06 include:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or

iii. is a landmark. (Government of Ontario 2006a)

2.2 Guidance Documents

The Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) is responsible for the administration of the *Ontario Heritage Act* and has developed checklists, information bulletins, standards and guidelines, and policies to support the conservation of Ontario's cultural heritage resources, including built heritage resources, cultural heritage landscapes, and archaeological sites.

The MHSTCI *Ontario Heritage Toolkit* gives guidance and information on the heritage conservation process in Ontario (MHSTCI 2017). Specifically, the information sheets contained in the *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005* were used to guide the general preparation of this report (MHSTCI 2006). *InfoSheet#5: Heritage Impact Assessment and Conservation Plans* was used to guide the assessment of potential impacts resulting from the proposed work.

The results of the impact assessment are presented in Section 5.0 of this report.

2.3 Background Research

Background research was carried out during the preparation of this CHAR to gain a thorough understanding of the historical context of the Study Area. Primary sources, secondary sources, historical maps, and aerial photographs were consulted, as appropriate, to identify historical themes relevant to the Study Area. Specifically, research regarding the physiography, survey and settlement, 19th century land use, and 20th century land use of the Study Area was completed. A review of historical mapping and aerial photographs was also conducted to identify settlements, structures, and landscape features within, and adjacent to, the Study Area. Historical maps from 1859, and 1877 were reviewed. In addition, recent aerial photographs and Google Earth imagery were reviewed to identify changes within, and adjacent to, the Study Area.

The results of the background research are presented in Section 3.0 of this report.

2.4 Information Gathering

The City of Brampton, Ontario Heritage Trust, and MHSTCI were contacted directly via email to gather information of protected and potential built heritage resources and cultural heritage landscapes within, and adjacent to, the Study Area. The results of these information activities are presented in Section 4.1 of this report and records of responses received are provided in Appendix A

2.5 Field Review

A field review of the Study Area was completed in both 2016 and 2020 to identify protected and potential built heritage resources and cultural heritage landscapes. During the field review, the 40-year 'rule of thumb' was used to identify properties with the potential to have CHVI. The 40-year rule is generally accepted by federal and provincial agencies as a preliminary screening measure for CHVI. It should be noted, however, that the 40-year threshold is a guide only and does not imply that all properties of 40 years of age have CHVI. Nor does it exclude properties that are less than 40 years of age and exhibit CHVI. The professional judgement of Wood's Cultural Heritage Specialist was used during the field review to apply the 40-year rule and identify properties with potential CHVI.

The results of the field review are presented in 4.2 of this report.

2.6 Inventory of Built Heritage Resources and Cultural Heritage Landscapes

Following the completion of the background research, information gathering, and field review, an inventory of built heritage resources and cultural heritage landscapes was created. The inventory includes both protected and potential heritage properties. For the purpose of the inventory, potential heritage properties must meet the 40-year threshold and have the potential to satisfy at least one criterion for determining CHVI under O. Reg. 9/06.

The inventory of built heritage resources and cultural heritage landscapes is presented in Section 4.3 of this report.

2.7 Preliminary Impact Assessment

A preliminary impact assessment was completed to determine impacts—direct or indirect—to identified cultural heritage resources by the proposed work. The preliminary impact assessment for this CHAR was prepared using MHSTCI *InfoSheet #5: Heritage Impact Assessment and Conservation Plans* (InfoSheet #5) (2006). The following impacts to cultural heritage resources were considered:

- Destruction of any, or part of any, significant heritage attributes or features
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;

- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and,
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect and archaeological resource.

It should be noted that the consideration of archaeological resources are beyond the scope of this CHAR. Potential impacts to archaeological resources resulting from land disturbance requires assessment by a licensed professional archaeologist with the MHSTCI. An archaeological assessment for this project has been prepared under a separate cover.

In addition, mitigation measures outlined in MHSTCI InfoSheet#5 were used to guide the preparation of considered alternatives, mitigation and conservation methods. These include methods of minimizing or avoiding a negative impact to cultural heritage resources, such as:

- Alternative development approaches;
- Isolating development and site alteration from significant built and natural features and vistas;
- Design guidelines that harmonize mass, setbacks, settings, and materials;
- Limiting height and density;
- Allowing only compatible infill and additions;
- Reversible alterations; and,
- Buffer zones, site plan control, and other planning mechanisms.

The results of the impact assessment and recommended mitigation measures are contained in Section 5.0 of this report.

3.0 Background Research

3.1 Introduction

In order to gain a thorough understanding of the history of the Study Area, a review of its physiography, survey and settlement, 19th-century land use, and 20th-century land use was completed. A review of historical mapping and aerial photographs was also conducted to identify settlements, structures, and landscape features within, and adjacent to, the Study Area. Historically, the Study Area is located within Lots 12-13, Concession 9, Lots 10-17 Concession 10-11, Lots 15-16 Concession 12 in the Former Township of Toronto Gore, County of Peel, and Lots 25-26, Concession 10 Lot 16 Concession 11 in the Former Township of Vaughan, County of York.

3.2 Physiography

The Study Area is situated within the Peel Plain physiographic region of Ontario (Chapman and Putnam 1984:113). This physiographic region consists of approximately 777 square km (300 square miles) of clay soils that cover the central portion of the Regional Municipality of York, Peel and Halton (Chapman and Putnam 1984:174). The underlying geological material consists of shale and limestone. According to Chapman and Putman (1984), this area would have been covered by hardwood forests (Chapman and Putnam 1984:175). The Peel Plain was settled during the early part of the 19th century for its fertile clay soils (Chapman and Putnam 1984:176). Until the 1940s, the land was used for agricultural purposes, beginning with the growing of wheat, hay and alfalfa. In addition, various racehorse farms and small fruit, vegetable and poultry farms were established. According to Chapman and Putman (1984:176), most of the farms were 100 acres in size and had the following configuration: the majority of the land was used for field crops, a small portion of it for pasture and about 6-7% remained as woodlots. Since the 1960s, the villages and towns have grown rapidly. The closest town to the study area is Milton.

The dominant surface soil type within the study area is Lacustrine over heavy till clay (OMAFRA 2006). This soil is characterized as having imperfect drainage and smooth and gently sloping topography.

According to the "Ministry of Northern Development and Mines Quaternary Geology", map 2556, this immediate area includes Halton Till (Ontario-Erie lobe) deposits which are predominantly silt to silty clay matrix, high in matrix carbonate content and clast poor.

The Study Area is located within the West Humber River watershed and a number of tributaries traverse the Study Area. The Humber River was designated as a Canadian Heritage River in 1999 for cultural heritage and recreational reasons (Canadian Heritage Rivers System 2020).

3.3 Historical Background

3.3.1 Township Survey and Settlement

Historically, the Study Area is located within Lots 12-13, Concession 9, Lots 10-17 Concession 10-11, Lots 15-16 Concession 12 in the Former Township of Toronto Gore, County of Peel, and Lots 25-26, Concession 10 Lot 16 Concession 11 in the Former Township of Vaughan, County of York.

3.3.1.1 The County of Peel

By 1788, the County of Peel formed a part of the extensive district known as the “Nassau District”, afterwards called the “Home District” (Walker and Miles 1877:58). By the late 1800s, the County of Peel was comprised of the Townships of Toronto, Toronto Gore, Chinguacousy, Caledon and Albion, the incorporated Town of Brampton and the incorporated Villages of Streetsville and Bolton.

The majority of the county was settled by the year 1819, with the first settlers coming from New Brunswick, the United States and other parts of Upper Canada. They settled in Toronto Township, known as the “Old Survey” in about 1808 or 1810. The greater part of the new survey was settled by a colony of Irish from the City of New York in 1819. Chinguacousy was chiefly settled by United Empire Loyalists and their descendants, and others from elsewhere in Upper Canada, while the other townships were mostly settled by British immigrants (Walker and Miles 1877:61).

In 1877, Pope noted that the County of Peel, although one of the smallest counties in the Province, was not inferior in wealth or population. It consisted of 118,694.3 ha of land and was 59.5 km in length, with an average width of about 24.1 km. The roads of the county were generally good, with Dundas Street, one of the leading roads in the province, partly gravelled and macadamized in 1836. The leading road through the length of the county was Hurontario, with the Sixth Line, which extended from Dundas Street, also being well travelled (Walker and Miles 1877:59).

3.3.1.2 Township of Toronto Gore

Toronto Gore split from the Chinguacousy Township in 1831 and later in 1867 it became a part of Peel County when the county split from York County. Its name is derived from its particular boundary shape, as it resembles a wedge introduced between the adjacent townships of Chinguacousy, Toronto, Vaughan, and Etobicoke.

The area that would eventually comprise the Township of Toronto Gore was formally surveyed in 1818, and the first “legal” settlers took up their lands later in the same year. The extant survey diaries indicated that the original timber stands within the township included oak, ash, maple, beech, elm, basswood, hemlock and pine. The first landowners in the township were composed of settlers from New Brunswick the United States, and also some United Empire Loyalists and their children (Walker and Miles 1877:65).

There are several historic settlements located within the Toronto Gore, including Castlemore, Coleraine, Toremore and several others. The three listed above are adjacent to the Study Area. The report produced by Archaeological Services Inc. (ASI) entitled: *Highway 427 Industrial Secondary Plan (Area 47) Lots 11 to 17, Concessions 10 to 11 and Lots 13 to 17, Concession 12, Former Township of Toronto Gore, County of Peel, City of Brampton, Regional Municipality of Peel, Ontario* (2010) outlines a brief history for all three of the historic settlements. Also the *Illustrated Historical Atlas of Peel County* (Walker & Miles 1877) also outlines a brief history of each township.

3.3.1.3 Castlemore Settlement

Castlemore is a small village that is located along Gore road, approximately 16 km from Brampton on a tributary of the West Humber River part Lots 10 and 11, Concessions 9 and 10, Toronto Gore Township. There was a post office, shoe store, blacksmith, hotel, a church and a good school house. In 1877 the population was approximately 100 (Walker & Miles 1877).

3.3.1.4 Coleraine Settlement

The Village of Coleraine was located on part Lots 12 and 13, Concession 12, along the Township line of Toronto Gore and Vaughan along Highway 50 and Major Mackenzie Drive. It is said to have been named after two of the leading families in the area, those of Cole and Raine. This town also had a post office, store, blacksmith a wagon shop, hotel and a Temperance House. In 1877 the population was approximately 100 (Walker & Miles 1877).

3.3.1.5 Toremore Settlement

The settlement of Toremore was situated at the intersection of Mayfield Road and Highway 50, on part Lot 17 Concession 12, Toronto Gore Township and part Lot 1 Concession 7, Albion Township. The settlement had a store, post office (established in 1861), a blacksmith, a Temperance House and a school (Walker & Miles 1877).

3.3.1.6 County of York

The County of York may have first been visited by Euro-Canadians in 1615–1616 when Étienne Brûlé ventured into the area. Before Euro-Canadians arrived, the county area was referred to as Toronto by the Indigenous inhabitants (Miles & Co. 1878). In the early eighteenth century a fort was established by the French at the mouth of the Humber River, although French occupation was relatively short lived. In the late 1700s Deputy Surveyor John Collins made the first British maps of the area under the direction of Lieutenant-Governor of Upper Canada, John Graves Simcoe who had dubbed it the County of York. The Town of York, located southwest of the Study Area, was named the capital of Upper Canada in 1793 (Miles and Co. 1878: i–x). Early development of York was focused around the shore area of Lake Ontario where historical parliament, defensive positions, and trade were centred. Yonge Street was laid out on a north-south access, becoming a front for concessions. Many of the original roads in the county were situated along pre-existing

trails used by Indigenous peoples. Some of the early infrastructure received names by practical means, such as Don Mills Road, which facilitated access to many of the mills located along the Don River. A large section of the southernmost portion of the county between the Don and Humber Rivers was first known as Toronto, then as York in 1793, and as Toronto once again in 1834 (Miles & Co. 1878: i-x; Williamson 2008).

3.3.1.7 Township of Vaughan

The survey of the Township of Vaughan was begun as early as 1795 by John Iredell but was not completed until 1851 (Mika and Mika 1983: 574). The township was named after Benjamin Vaughan, one of two representatives sent by Lord Melbourne to negotiate peace terms with the Americans in 1783. The first settlers came to the township as early as 1778 and took up residence in the southeast corner of the township. Most of the early settlers were predominantly British, many of whom worked as farm labourers (Mika and Mika 1983: 575). Both religion and education were important to the early settlers, and by 1825, 20 schools had been established. Sixteen churches, of various denominations, were also built (Miles & Co. 1880: 574-575).

3.4 Review of Historical Mapping

3.4.1 19th-Century Land Use

Historical records and mapping were examined to gain an understanding of 19th-century land use in the Study Area. A summary of these historical records is presented below in Table 1. Historical maps reviewed are provided at the end of this report section (Figure 3 and Figure 4).

Table 1: Review of Historical Maps					
Location		1859 Tremaine's Map (Peel County)		1877 Historical Atlas (Peel County)	
Conc.	Lot	Owner(s)	Features	Owner(s)	Features
10	10	William Carefoot (N ½)	Historic Tributary, town of Castlemore in NW corner	John Myers (N ½)	Castlemore community in W corner
	11	William Carefoot (S ½) John Carefoot (N ½)	Historic Tributary, town of Castlemore in SW corner	G.D. (SW 1/16) John Carefoot (N ½) William Burton (S ½)	Inn Orchard and Residence Orchard and Residence
	12	Thomas Parr (NW ¼) John Murphy (remaining portion)	Historic Tributary	Martin Byrne (S ½) Thomas Parr (NW ¼) William Kersey (NE ¼)	Residence Residence Residence
	13	John Adams (W ½) Henry Parr (E ½)	Historic Tributary	James M. Adams (W ½) James Parr (E ½)	Residence Residence
	14	John O'Donald (W ½)	Historic Tributary	John O'Donald (W ½)	Residence

Table 1: Review of Historical Maps					
Location		1859 Tremaine's Map (Peel County)		1877 Historical Atlas (Peel County)	
Conc.	Lot	Owner(s)	Features	Owner(s)	Features
		Thomas Stratton (NE ¼) Henry Parr (SE ¼)		Matthew Harrison (NE ¼) Joseph Parr (SE ¼)	Residence
	15	James Burnes (W ½) James Grant (NE ¼) Edward Kelley (SE ¼)	Historic Tributary	Matthew Harrison (SE ¼) Mrs. M Kelly (NE ¼) Thomas Byrne (W ½)	Residence Residence
	16	Samuel Beamish (N ½) James Maw (SE ¼) Thomas Beamish (SW ¼)	Historic Tributary	James Maw (SE ¼) John Splan (N ½)	Residence
	17	Reverend Eugene O'Reily	Historic Tributary	Robert Kennedy (E ½)	Historic Tributary
11	10	Martin Burn	Historic Tributary	M. Byrne	Orchard and Residence
	11	James and John Johnson (N ½) David Johnston (S ½)	Historic Tributary	David Johnson (S ½) James Johnson (N ½)	Orchard and Residence, Historic Tributary
	12	Joseph Parr (W ½) James St. John (SE ¼) J. Parr (NE 1/8) George Neighton (NE 7/8)	Historic Tributary, NE portion of Lot is corner of Coleraine Township	Thomas Montgomery (W ½) Estate of William Kersey (SE ¼) George Leighton (NE 7/8) John St. John (NE 1/8)	Residence Residence Residence Residence
	13	Edward Kelley (NW ¼) Joseph Parr (SW ¼) Samuel Ackroid (E ½)	Historic Tributary	Thomas Webster (E ½) William Kersey (N ¼) Thomas Montgomery (SW ¼)	Residence Residence
	14	M. A. Stonehouse (W ½) Thomas Cole (E ½)	Historic Tributary	Thomas Cole (E ½) Isaac Devins (W ½)	Residence
	15	Richard Clark (W ½) Edward Pierson (E ½)	Historic Tributary	Richard Clark (W ½) John Splan (E ½)	Residence Residence
	16	James Craven (N ½) Heirs of J. Craven (SW ¼) Rachel Craven (SE ¼)	Two residential buildings Blacksmith shops	Mrs. Rachel Craven (SE ¼) James Craven (remaining portion of Lot)	Residence Residence
17	Richard St. John (NW ¼) Robert Barbour (SW ¼) Andrew McCourt (E ½)	Historic Tributary	John Splan (E ¼) James Craven (Central ¼) Nathaniel Beamish (SW ¼) John Gilmore (NW ¼)	Residence Residence	
12	15	Robert Woodill		John Cameron	Residence
	16	John Splan (W ½) Ronald Tibb (E ½)	School House	John Splan (W 1/3) Walter Watson (E 2/3)	Residence Residence



Table 1: Review of Historical Maps					
Location		1859 Tremaine’s Map (Peel County)		1877 Historical Atlas (Peel County)	
Conc.	Lot	Owner(s)	Features	Owner(s)	Features
Location		1860 Tremaine’s Map (York County)		1877 Historical Atlas (York County)	
Conc.	Lot	Owner(s)	Features	Owner(s)	Features
10	25	Scott Jonathan	Schoolhouse	Scott Jonathan	Residence
	26	John Dalziel	Historic Tributary	John Dalziel (W ½) James Dalziel (E ½)	Orchard and Residence (E ½ and W½) Historic Tributary
11	26	Peckett		James Dalziel	

3.4.2 20th-Century Land Use

The Study Area is located in what is known today as the City of Brampton. The City of Brampton saw new industries to the town at the beginning of the 20th century concentrated primarily along the rail line. In 1910 Brampton’s population reached 4,000. While population growth in Brampton slowed during the first half of the 20th century, Brampton underwent a dramatic population post World War Two and saw a boom as suburban development exploded during the 1950s. As a result of the population boom new subdivisions were constructed. In 1948, the Etobicoke River flooded the City of Brampton and following the devastation the construction of a concrete diversion channel began in June 1950 and was completed in July 1952. In 1974, the Region of Peel was created, and Brampton became a city. In the 1980s and 1990s, large subdivision were developed on lands that were formally used for farming (Region of Peel Archives 2020).

3.4.3 21st-Century Land Use

The City of Brampton continues to grow and develop into a more urban municipality. To service this growth, new infrastructure is being implemented to address the capacity needs of planned growth and the objectives of protecting established communities and businesses. To assess the degree of new development in the Study Area, available online aerial imagery between 2002 and 2018 was examined. Overall, land use in the Study Area appears to be very stable and few changes were noted.

3.5 Previous Cultural Heritage Studies

One previous cultural heritage study has been completed over the footprint of the current Study Area. This study was completed by ASI in 2010 and its titled: *Cultural Heritage Study: Highway 427 Industrial Secondary Plan (Area 47), Lots 11 to 17, concessions 10 to 11 and Lots 13 to 17, Concession 12, Former Township of Toronto Gore, County of Peel, City of Brampton, Regional Municipality of Peel, Ontario*. This report indicated the following:

1. Fourteen cultural heritage resources were identified as strong candidates for conservation and integration into future land use developments in the secondary plan area.
2. Two cultural heritage resources were identified as retaining historical, architectural, or contextual values.
3. Six cultural heritage resources were identified as exhibiting potential for or retaining architectural, historical, or contextual values and were recommended for preparation of a heritage impact assessment during the Block Plan stage.
4. Three cultural heritage resources were identified as historic roadscapes that continue to retain elements that are evocative of their 19th century origins and function as original concession roads.
5. Should resources recommended for conservation and for preparation of future heritage impact assessments during the Block Plan stage become vacant or are currently vacant, the property should be secured in accordance with the *City of Brampton's Guidelines for Securing Vacant Built Heritage Resources* (2010).
6. To ensure the protection and conservation of cultural heritage resources in the secondary plan area, the City of Brampton shall consider use of the following means including: designation under the *Ontario Heritage Act*; securing of a heritage easement agreement on the property; listing of the property on the municipal heritage register; designating areas within the secondary plan area as 'Areas with Cultural Heritage Character' where appropriate and developing heritage conservation objectives for that area and carrying out Cultural Heritage Area Impact Assessments were required; development of a satisfactory financial or other agreement to fully restore or reconstruct heritage structures or attributes damaged or demolished as a result of future land uses; and/or site plan approval conditions.
7. Land use development in the secondary plan area should be planned to integrate the conservation of cultural heritage resources with conservation strategies of natural heritage features and environmentally-sensitive areas.
8. Urban design and built form guidelines for the secondary plan area should be planned to ensure appropriate relationships between new residential buildings and residential cultural heritage resources.
9. New development adjacent to or incorporating a cultural heritage resource should be respectful of the resource, having regard for scale, massing, setbacks, building materials, and design features.
10. Significant views and focal points should be established in the secondary plan area to provide views and vistas of prominently located cultural heritage resources.



11. Opportunities for interpretative strategies within the secondary plan should be identified and implemented.

The built heritage resources and cultural heritage landscapes identified by ASI in 2010 are listed below in Table 2. Amec completed a review of these properties in 2016 and provided an update on the existing conditions of these properties at the time. The results of Amec’s 2016 review are provided in Table 3.

Table 2: Built Heritage and Cultural Heritage Landscape Features (ASI 2010)				
Feature	Address	Type	Identification	Recommendations
CHR1	7905 Mayfield Road	Farmstead	Listed with a B rating	No further work required.
CHR 2	82211 Mayfield Road	Barn	Identified by ASI	An HIA should be conducted during the Block Plan stage.
CHR 3	Lot 17, Con. 12	Pre-1900 Barn	Identified by ASI	No further work required.
CHR 4	11970 Highway 50	Farmstead	Listed with a B rating	Strong candidate for conservation and potential adaptive re-use. An HIA should be conducted during the Block Plan stage.
CHR 5	Highway 50 Shiloh Cemetery	Cemetery	Listed with a rating	Strong candidate for conservation and potential adaptive re-use. An HIA should be conducted during the Block Plan stage.
CHR 6	11176 Highway 50	Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 7	5556 Countryside Drive	Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 8	Lot 16, Con. 11	Remnant Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 9	Countryside Drive and Clarkway intersection	Culvert	Identified by ASI	No further work required.
CHR 10	497 Countryside Drive	Barn/Outbuilding	Identified by ASI	No further work required.
CHR 11	10955 Clarkway Drive	Farm Complex	Listed with a B rating	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 12	10916 Coleraine Drive	Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.



Table 2: Built Heritage and Cultural Heritage Landscape Features (ASI 2010)

Feature	Address	Type	Identification	Recommendations
CHR 13	10980 Highway 50	Farm Complex	Listed with a B rating	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 14	10690 Highway 50	Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 15	10514 Coleraine Drive	Ruins; Relic Farm Complex	Identified by ASI	No further work required.
CHR 16	West side of Coleraine Drive	Drive Shed	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 17	10699 Clarkway Drive	Residence	Identified by ASI	No further work required.
CHR 18	10671 Clarkway Drive	Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 19	10644 Clarkway Drive	Residence	Identified by ASI	An HIA should be conducted during the Block Plan stage.
CHR 20	10484 Clarkway Drive	Residence	Identified by ASI	An HIA should be conducted during the Block Plan stage.
CHR 21	10411 Clarkway Drive	Residence	Identified by ASI	No further work required.
CHR 22	10307 Clarkway Drive	Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 23	10192A Highway 50	Farm Complex	Listed with an A rating	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 24	10089 Clarkway Drive	Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 25	10015 Clarkway Drive	Residence	Identified by ASI	No further work required.
CHR 26	4764 Castlemore Road (should be 4784 Castlemore Road)	Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 27	10159 The Gore Road	Farm Complex	Listed with a B rating	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 28	10263 The Gore Road	Farm Complex	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.



Table 2: Built Heritage and Cultural Heritage Landscape Features (ASI 2010)				
Feature	Address	Type	Identification	Recommendations
				This property is vacant and neglected with removal of some heritage attributes such as tree lines flanking the drive.
CHR 29	10365 The Gore Road	Farm Complex	Identified by ASI	An HIA should be conducted during the Block Plan stage.
CHR 30	10431 The Gore Road	Residence	Identified by ASI	Strong candidate for conservation. An HIA should be conducted during the Block Plan stage.
CHR 31	10691 The Gore Road	Remnant Agricultural Landscape	Identified by ASI	No further work required.
CHR 32	10947A The Gore Road	Barn	Identified by ASI	No further work required.
CHR 33	The Gore Road north of Castlemore Road	Bridge	Identified by ASI	No further work required.
CHR 34	10461 Highway 50	Residence	Identified by ASI	No further work required.
CHR 35	Clarkway Drive south of Countryside Drive	Culvert	Identified by ASI	No further work required.
CHR 36	Countryside Drive	Roadscape	Identified by ASI	The roadscape should be documented in advance of road improvements.
CHR 37	Clarkway Drive	Roadscape	Identified by ASI	The roadscape should be documented in advance of road improvements.
CHR 38	Coleraine Drive	Roadscape	Identified by ASI	The roadscape should be documented in advance of road improvements.

Table 3: Updated Built Heritage and Cultural Heritage Landscape Features (Amec 2016)			
Feature	Address	Feature Type	Notes on Updates
CHR 1	7905 Mayfield Road Listed as a Category B building on municipal heritage inventory.	Farmstead	Demolished due to poor condition and future road widening.
CHR 2	82211 Mayfield Road	Barn	Not listed Outside the Study Area
CHR 3	Lot 17, Con. 12	Pre-1900 Barn	Not listed
CHR 4	11970 Highway 50	Farmstead	Still listed with B rating Not affected by project
CHR 5	Highway 50 Shiloh Cemetery	Cemetery	Designated in 2010 Outside of Study Area
CHR 6	11176 Highway 50	Farm Complex	Listed, no rating Not affected by project
CHR 7	5556 Countryside Drive	Farm Complex	Listed, no rating
CHR 8	Lot 16, Con. 11	Remnant Farm Complex	Not listed



CHR 9	Countryside Drive and Clarkway intersection	Culvert	Not listed
CHR 10	4973 Countryside Drive	Barn/Outbuilding	Not listed
CHR 11	10955 Clarkway Drive	Farm Complex	Designated
CHR 12	10916 Coleraine Drive	Farm Complex	Approved for demolition in 2014
CHR 13	10980 Highway 50	Farm Complex	Still listed with B rating Not affected by project
CHR 14	10690 Highway 50	Farm Complex	Listed and relocated to 10900 Coleraine Drive Designation in progress
CHR 15	10514 Coleraine Drive	Ruins; Relic Farm Complex	Not listed
CHR 16	West side of Coleraine Drive	Drive Shed	Not listed
CHR 17	10699 Clarkway Drive	Residence	Not listed
CHR 18	10671 Clarkway Drive	Farm Complex	Listed, destroyed by fire in 2015
CHR 19	10644 Clarkway Drive	Residence	Not listed
CHR 20	10484 Clarkway Drive	Residence	Not listed
CHR 21	10411 Clarkway Drive	Residence	Not listed
CHR 22	10307 Clarkway Drive	Farm Complex	Listed, no rating
CHR 23	10192A Highway 50	Farm Complex	Still listed with A rating Not affected by project
CHR 24	10089 Clarkway Drive	Farm Complex	Listed, no rating
CHR 25	10015 Clarkway Drive	Residence	Not listed
CHR 26	4764 Castlemore Road (4784)	Farm Complex	Still listed with B rating Should be 4784 Castlemore Road
CHR 27	10159 The Gore Road	Farm Complex	Destroyed by fire in 2012
CHR 28	10263 The Gore Road	Farm Complex	Destroyed by fire in 2011
CHR 29	10365 The Gore Road	Farm Complex	Not listed
CHR 30	10431 The Gore Road	Residence	Listed, no rating
CHR 31	10691 The Gore Road	Remnant Agricultural Landscape	Not listed Not affected by project
CHR 32	10947A The Gore Road	Barn	Not listed
CHR 33	The Gore Road north of Castlemore Road	Bridge	Not listed
CHR 34	10461 Highway 50	Residence	Not listed Not affected by project
CHR 35	Clarkway Drive south of Countryside Drive	Culvert	Not listed
CHR 36	Countryside Drive	Roadscape	Not listed
CHR 37	Clarkway Drive	Roadscape	Not listed
CHR 38	Coleraine Drive	Roadscape	Not listed



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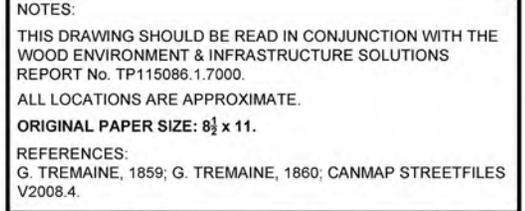


PROJECT: CULTURAL HERITAGE ASSESSMENT (PART 'B')
 ARTERIAL ROADS WITHIN HIGHWAY 427 INDUSTRIAL SECONDARY PLAN AREA
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 FORMER TOWNSHIP OF TORONTO GORE, COUNTY OF PEEL
 AND LOTS 25 AND 26, CONCESSION 10
 FORMER TOWNSHIP OF VAUGHAN, COUNTY OF YORK
 REGIONAL MUNICIPALITY OF PEEL
 NOW THE CITY OF BRAMPTON, ONTARIO

TITLE: 1859 TREMAINE'S MAP OF THE COUNTY OF PEEL AND 1860 TREMAINE'S MAP OF THE COUNTY OF YORK SHOWING THE LOCATION OF THE STUDY AREA

LEGEND:
 PART 'B' PROJECT FOOTPRINT

NOTES:
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REFERENCES:
 G. TREMAINE, 1859; G. TREMAINE, 1860; CANMAP STREETFILES V2008.4.



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 BRAMPTON, ONTARIO, L6Y 4R2

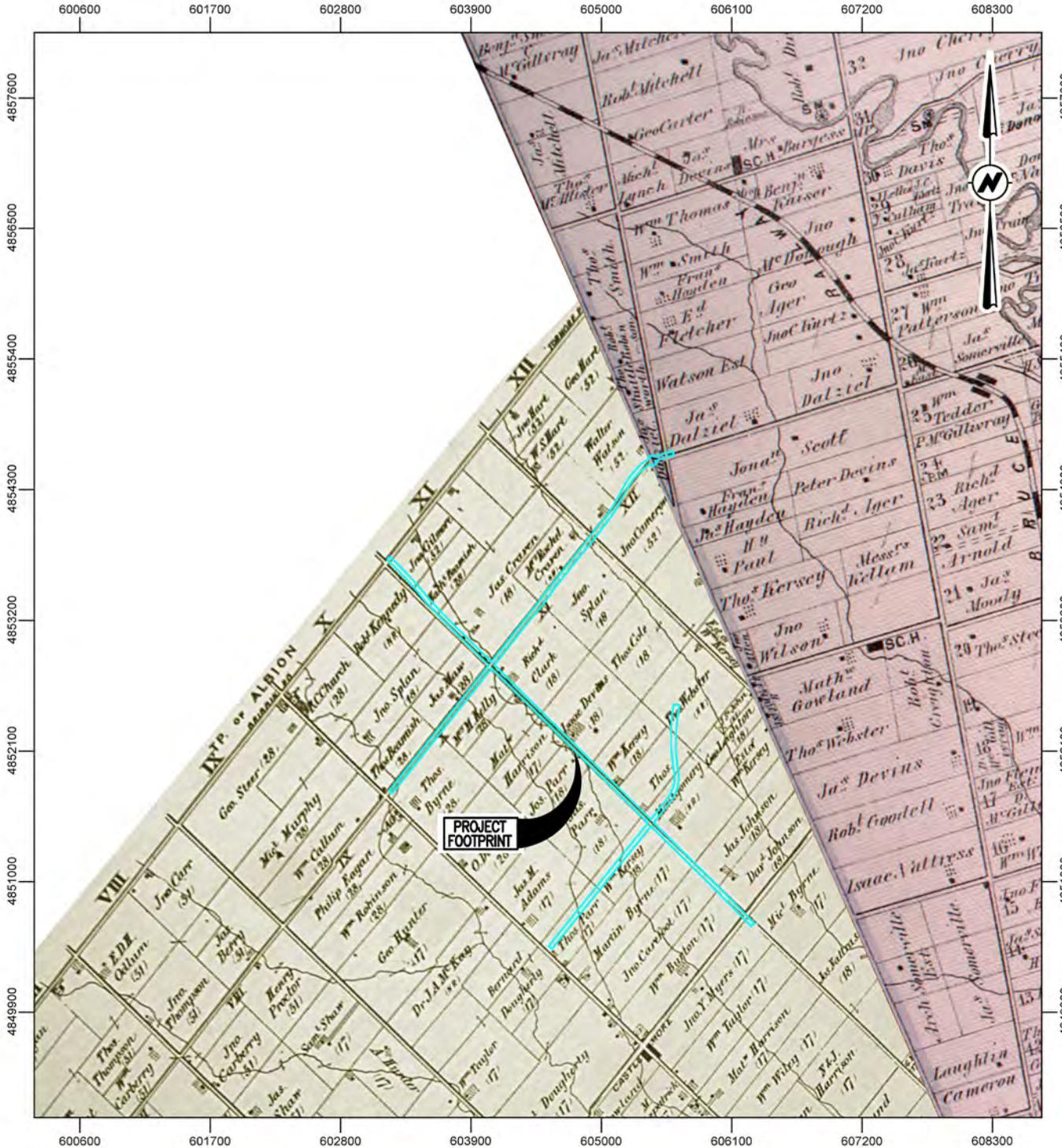


Wood
 Environment & Infrastructure Solutions
 3450 HARVESTER ROAD
 BURLINGTON, ONTARIO, L7N 3W5
 519-681-2400



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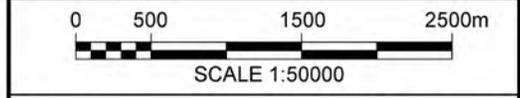


PROJECT: CULTURAL HERITAGE ASSESSMENT (PART 'B')
 ARTERIAL ROADS WITHIN HIGHWAY 427 INDUSTRIAL SECONDARY PLAN AREA
 LOTS 13 AND 17, CONCESSION 11, LOT 17, CONCESSION 12
 FORMER TOWNSHIP OF TORONTO GORE, COUNTY OF PEEL
 AND LOTS 25 AND 26, CONCESSION 10
 FORMER TOWNSHIP OF VAUGHAN, COUNTY OF YORK
 REGIONAL MUNICIPALITY OF PEEL
 NOW THE CITY OF BRAMPTON, ONTARIO

TITLE: 1877 ILLUSTRATED HISTORICAL ATLAS MAP
 OF PEEL TOWNSHIP AND 1878 ILLUSTRATED
 HISTORICAL ATLAS OF YORK COUNTY SHOWING
 THE LOCATION OF THE STUDY AREA

LEGEND:
 PART 'B' PROJECT FOOTPRINT

NOTES:
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE
 WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS
 REPORT No. TP115086.1.7000.
 ALL LOCATIONS ARE APPROXIMATE.
 ORIGINAL PAPER SIZE: 8½ x 11.
REFERENCES:
 WALKER & MILES, 1877; MILES & Co., 1878; CANMAP
 STREETFILES V2008.4.



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DWN BY:	CHK'D BY:	DATE:
SJL	HS	MAR. 11, 2021
DATUM:	PROJECTION:	PROJECT No:
NAD83	UTM Zone 17	TP115086.1.7000
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4.0 Results

4.1 Information Gathering Results

For the original draft of this CHAR, Linda Axford discussed the Study Area with Cassandra Jasinski, Heritage Planner at with the City of Brampton, on September 6, 2016. Based on this discussion, 12 known heritage properties were identified as being of relevance to this study. The 12 built heritage resources and cultural heritage landscapes identified in 2016, and confirmed to be still extant in 2020, are listed in Table 4.

Table 4: Built Heritage Resources and Cultural Heritage Landscape in the Study Area				
ASI Identifier (2010)	2020 Identifier	Address	Feature Type	Notes
CHR 7	CHR 1 (Part B)	5556 Countryside Drive	Farmstead	Listed on the City of Brampton <i>Municipal Register of Cultural Heritage Resources</i>
CHR 11	CHR 2 (Part B)	10955 Clarkway Drive	Farmstead	Designated under Part IV of the <i>Ontario Heritage Act</i>
CHR 13	CHR 3 (Part B)	10980 Highway 50	Farmstead	Listed on the City of Brampton <i>Municipal Register of Cultural Heritage Resources</i>
CHR 22	CHR 4 (Part B)	10307 Clarkway Drive	Residence	Listed on the City of Brampton <i>Municipal Register of Cultural Heritage Resources</i>
CHR 23	CHR 5 (Part B)	10192A Highway 50	Farmstead	Listed on the City of Brampton <i>Municipal Register of Cultural Heritage Resources</i>
CHR 24	CHR 6 (Part B)	10089 Clarkway Drive	Farmstead	Listed on the City of Brampton <i>Municipal Register of Cultural Heritage Resources</i>
CHR 26	CHR 7 (Part B)	4784 Castlemore Road	Farmstead	Listed on the City of Brampton <i>Municipal Register of Cultural Heritage Resources</i>
CHR 30	CHR 8 (Part B)	10431 The Gore Road	Residence	Listed on the City of Brampton <i>Municipal Register of Cultural Heritage Resources</i>
-	CHR 9 (Part B)	10300 The Gore Road	Residence, Former School	Designated under Part IV of the <i>Ontario Heritage Act</i>
CHR 36	CHR 10 (Part B)	Countryside Drive	Roadscape	Identified during field review
CHR 37	CHR 11 (Part B)	Clarkway Drive	Roadscape	Identified during field review

ASI Identifier (2010)	2020 Identifier	Address	Feature Type	Notes
CHR 38	CHR 12 (Part B)	Coleraine Drive	Roadscape	Identified during field review

The City of Brampton, Ontario Heritage Trust, and the MHSTCI were contacted to gather up-to-date information on known heritage properties within, and adjacent to, the Study Area. Copies of the information gathering emails are provided in Appendix A.

Karla Barboza, Acting Team Lead at the MHSCTI, reported that there are no properties designated by the Minister under the *Ontario Heritage Act* within, or adjacent to, the Study Area.

Kevin DeMille, Natural Heritage Coordinator at the Ontario Heritage Trust, reported that the Study Area does not contain any conservation easements or Ontario Heritage Trust-owned properties. Mr. DeMille also confirmed that there are no properties listed on the Ontario Heritage Trust’s register within the Study Area.

Cassandra Jasinski, Heritage Planner, City of Brampton, identified the Cole Farmhouse, formally located at 10690 Highway 50 and presently located at 10900 Coleraine Drive (CHR 6) as currently in the designation process.

Additional information concerning ‘Part B’ of the Study Area was requested on 21 September 2020. Ellen Molley, Intern Heritage Planner, City of Brampton recommended using the following resources for identifying protected heritage properties, or properties of interest, within or adjacent to the Study:

- City of Brampton Planning Viewer
- City of Brampton Open Data Library – Heritage Points
- The Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act
- Municipal Register of Cultural Heritage Resources

4.2 Field Review Results

The field review completed in 2016 by Linda Axford noted that the Study Area is comprised of mostly agricultural lands, with scattered residential properties. There were also a few industrial properties present. The Study Area is bounded by four historic roads: The Gore Road to the west, Mayfield Road to the north, Regional Road 50 to the east, and Castlemore Road to the south. These roads have been in use since the area was settled in the early 19th century but have undergone major changes including widening, grading, asphalt shoulders and culverts. Smaller thoroughfares such as Clarkway Drive and Coleraine Drive have undergone fewer improvements.

There are several creeks and tributaries in the Study Area which are part of the West Humber River watershed.

While the field review showed that the Study Area has retained much of its 19th-century character and agricultural uses, however, multiple changes in existing heritage resources have occurred since the 2010 Cultural Heritage Study undertaken by ASI.

A follow-up field review was completed by Heidi Schopf on August 12, 2020 to confirm the status of built heritage resources and cultural heritage landscapes identified by Amec in 2016. Overall, the Study Area appears to be relatively stable with little change noted since the 2016 field review. All built heritage resources and cultural heritage landscapes identified in 2016 remain in situ.



4.3 Inventory of Built Heritage Resources and Cultural Heritage Landscapes

Following the completion of the background research, consultation, and field review, an inventory of built heritage resources and cultural heritage landscapes within, and adjacent to, the Study Area was compiled. The inventory was compiled by Linda Axford in 2016 and the existing conditions of these properties was confirmed by Heidi Schopf in 2020. The inventory of built heritage resources and cultural heritage landscapes is presented in Table 5 and the locations of these properties are presented in Figure 5.

Table 5: Inventory of Built Heritage Resources and Cultural Heritage Landscapes					
CHR No.	Type	Location	Heritage Recognition	Description of Property	Photographs/Digital Image
CHR 1	-CHL -Farmstead	5556 Countryside Drive	Listed on the City of Brampton Municipal Register of Cultural Heritage	<p><u>Overview</u> Constructed late 19th century Gothic Revival farmhouse Known as the Andrew McCandless Plank House This Victorian Gothic farmhouse was built by 1877 (appears in historic mapping), and is considered to be representative of this style with gabled dormers, projecting gabled bay, stone foundations and use of buff brickwork to accent the red brick exterior. The 19th century barn and house are well built, well maintained and historically intact structures that exhibit good craftsmanship and design attributes. Associated with the Splan family, early settlers to the Coleraine area.</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical and historical/associative</p>	
CHR-2	-CHL -Farmstead	10955 Clarkway Drive	Designated under Part IV of the Ontario Heritage Act	<p>This property is designated through By-law 161-2016. A copy of the designation By-law is available online. The following description of property, statement of cultural heritage value or interest, and heritage attributes are taken directly from the designation By-law:</p> <p><u>Description of Property</u> The subject property is municipally known as 10955 Clarkway Drive and legally described as in Schedule A to this by-law. It is 10.42 acres in size and located at the southeast corner of Clarkway Drive and Countryside Drive. It contains a farmhouse, a series of outbuildings, landscaped terraces and agricultural fields. The concentration of cultural heritage value is found on the western half of the property fronting Clarkway Drive.</p> <p><u>Statement of Cultural Heritage Value or Interest</u> The Pinebrook Farmhouse was built circa 1880 in the Gothic Revival Style. Notable architectural features of the Pinebrook Farmhouse include dichromatic brickwork such as buff brick quoins, arched voussoirs and lozenges, two-over-two sash windows, Gothic arched window at front-gable, bay windows, stone foundation, front entrance with transom and sidelights, and large porch. The later addition of an Edwardian front porch with columns and balustrade further distinguishes the home. The portion of the house at the rear is believed to pre-date the large brick front portion. It appears to be an original Gothic Cottage that was eventually incorporated into the construction of a larger farmhouse. The property also contains several significant landscape features. A meandering gravel laneway, a tributary creek, mature trees, steep terraced landscape with stone steps, and split rail fencing help create a picturesque landscape.</p> <p>The cultural heritage value also lies in its association with early residents of the Toronto Gore Township, particularly with regards to four generations of the Clark family, for whom Clarkway Drive was named. The property is also directly associated with Brampton's rich agricultural history. Toronto Gore Township was noted for being prosperous since farms were usually in a high state of cultivation. In the late 19th century, the township experienced an economic boom much like its neighbouring township, Chinguacousy. At this time, the shift from log to brick farmhouses represented the agricultural prosperity that prevailed in Brampton. As a masonry farmhouse constructed in the mid-19th century, Pinebrook Farmhouse is an early token of an important phase in the growth of Toronto Gore. The contextual value of the property lies in its status as a landmark on the southeast corner of Clarkway Drive and Countryside Drive. As an aesthetically beautiful and relatively large farmhouse on a picturesque property, Pinebrook Farmhouse is considered a landmark in the Toronto Gore. The mature vegetation that characterized the landscape also establishes and supports the rural character of the intersection.</p> <p><u>Heritage Attributes</u> The heritage attributes comprise all facades, architectural detailing, construction materials and associated building techniques, as well as significant landscape elements and important vistas. The detailed heritage attributes/character defining elements include, but are not limited to: • Gothic Revival architectural influence • Gothic Cottage portion at rear • Masonry construction • 2 storey height • Buff brick detailing • Fieldstone foundation • Edwardian style front porch • Front entrance with transom • Asymmetrical front facade • 2-over-2 sash wood windows • Wood storm window • Pointed arch</p>	



Table 5: Inventory of Built Heritage Resources and Cultural Heritage Landscapes					
CHR No.	Type	Location	Heritage Recognition	Description of Property	Photographs/Digital Image
				<p>window in front gable • Voussoirs • Bay windows • Wood soffit and fascia • Intricate raised brick detailing below windows • Front doors and associated hardware • Meandering gravel driveway • Tributary adjacent to Clarkway Drive • Steeped terraced landscape with stone steps • Split rail fence • Mature vegetation • Landmark status • Unobstructed view to surrounding road of Coleraine Drive • Association with Clark family • Association with rich agricultural history of Toronto Gore township and the economic boom of the late 19th century</p>	
CHR-3	-CHL -Farmstead	10980 Highway 50	Listed on the City of Brampton Municipal Register of Cultural Heritage	<p><u>Overview</u> Known as the Cameron House Constructed circa 1880 Late Victorian redbrick farmhouse Representative of late Victorian red brick farmhouse. Associated with early settlers John Cameron and son John Black.</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical and historical/associative</p>	
CHR 4	-BHR -Residence	10307 Clarkway Drive	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	<p><u>Overview</u> Constructed in the late 19th century Italianate farmhouse A representative example of a late 19th century Italianate farmhouse, gambrel roof barn and various landscape features. The house has been compromised by unsympathetic additions to the front elevation Associated with J. Parr, who constructed the former Temperance Inn at Coleraine and is thus recognized for his contributions to the community Continues to contribute to the area's predominantly agricultural landscape and is associated with themes of early settlement and agricultural practice</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical and historical/associative</p>	
CHR 5	-CHL -Farmstead	10192A Highway 50	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	<p><u>Overview</u> Known as the Johnson Farm Constructed circa 1884 Example of late 19th century Italianate influenced masonry farmhouse Built by the Johnson family, an early Toronto Gore settlement family</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical and historical/associative</p>	

Table 5: Inventory of Built Heritage Resources and Cultural Heritage Landscapes					
CHR No.	Type	Location	Heritage Recognition	Description of Property	Photographs/Digital Image
CHR 6	-CHL -Farmstead	10089 Clarkway Drive	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	<p><u>Overview</u> Ontario Gothic farmhouse and asphalt gable roof barn Constructed circa 1932 The circa 1932 farmhouse is well maintained but recent additions and rehabilitations have altered the structure considerably. The barn is also well maintained and intact. The stone foundations and saltbox roof indicate 19th century construction The property has a long association with the Johnson family, and in particular David Johnson, who received the Crown Patent for this property and later became Magistrate for the Township Associations with the Johnson family, an early settlement family to the area; may yield further information to understanding settlement patterns and township development The existing farm complex is reportedly situated at the location of the original log cabin built on this property in the early 19th century. While the present house was built in the early 20th century, by a descendant of the original patentee, it maintains functional and historical links to the rural and agricultural surroundings</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical, historical/associative, and contextual value</p>	
CHR 7	-CHL -Farmstead	4784 Castlemore Road	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	<p><u>Overview</u> Rare semi-detached vernacular farmhouse Constructed circa 1880 The farmhouse is representative of a rural Victorian Gothic dwelling built in the second half of the 19th century, featuring dual front entrances to either side of the front elevation, cross-gabled roofline, rear saltbox extension, and wood decorative detailing along the front verandahs The farm complex is a good example of an intact, moderately maintained, rural property. Associated with the Carefoot family, early settlers to the township and part of the early history of the hamlet at Castlemore.</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical and historical/associative value</p>	
CHR 8	-CHL -Farmstead	10431 The Gore Road	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	<p><u>Overview</u> Early 20th century Craftsman style farmhouse Constructed circa 1925 A rare example of an early 20th century Craftsman style farmhouse in a rural context.</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical value</p>	



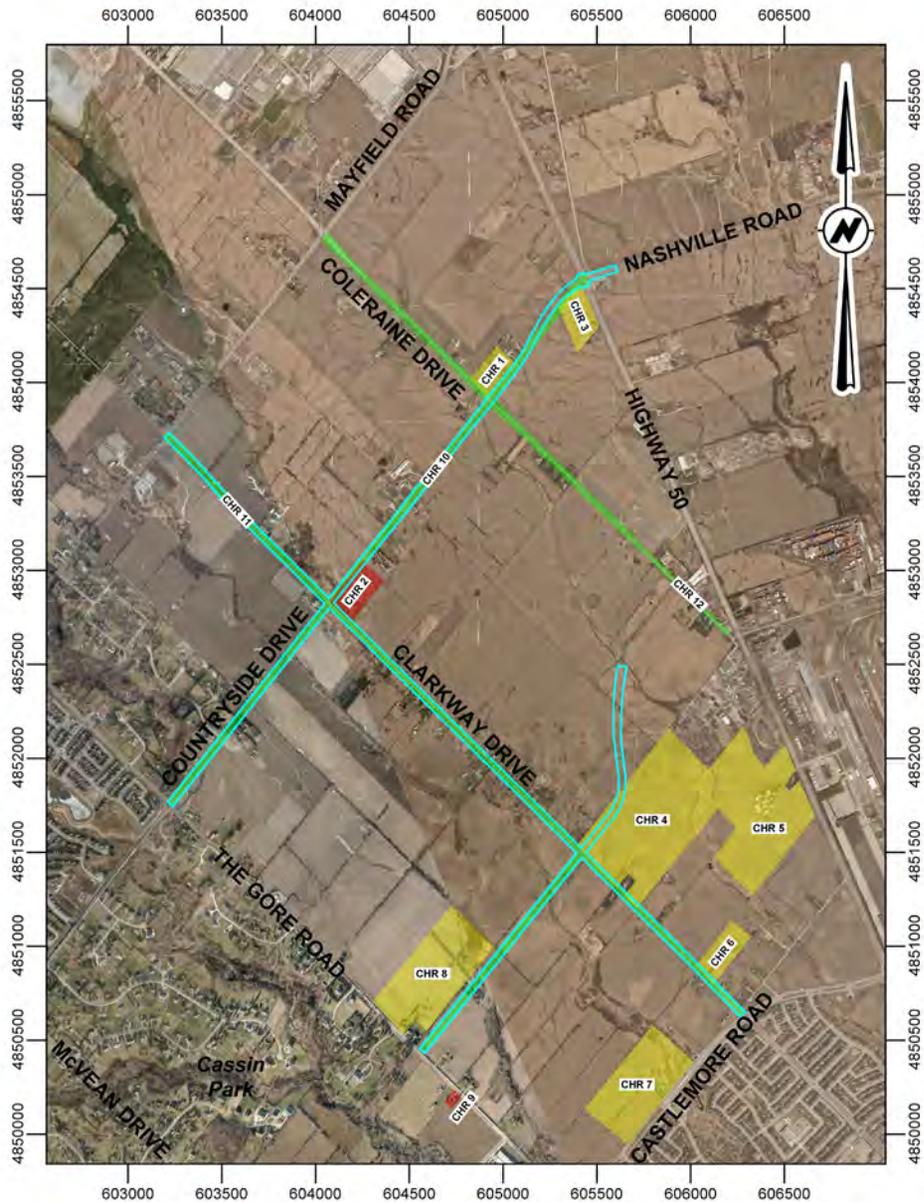
Table 5: Inventory of Built Heritage Resources and Cultural Heritage Landscapes

CHR No.	Type	Location	Heritage Recognition	Description of Property	Photographs/Digital Image
CHR 9	-BHR -Former Schoolhouse	10300 The Gore Road	Designated under Part IV of the Ontario Heritage Act	<p>This property is designated through By-law 233-2015. A copy of the designation By-law is available online. The following description of property, statement of cultural heritage value or interest, and heritage attributes are taken directly from the designation By-law:</p> <p><u>Statement of Cultural Heritage Value or Interest</u> The property at 10300 The Gore Road (former Castlemore School S.S.# 6) is worthy of designation under Part IV of the <i>Ontario Heritage Act</i> for its cultural heritage value. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value, historical value and contextual value.</p> <p><u>Design/Physical Value</u> The cultural heritage value of the former Castlemore Schoolhouse SS #6 at 10300 The Gore Road is related to its design or physical value, as it is a representative and good example of a vernacular one-room schoolhouse. The schoolhouse is well designed in a typical one-room schoolhouse style. It has a gable roof with a prominent tower on the east end. The bullseye window in the gable peak has replaced a circular wood label. The schoolhouse is constructed out of brick with common bonds and header rows every sixth row. A di-chrome brick pattern decorates the front frieze and around the bullseye window. The building also features buff brick quoins, and buff brick flat segmental arch with stone keystones over the windows and front door.</p> <p><u>Historical/Associative Value</u> The property also has historical value as it can be associated with both the village of Castlemore and the former one-room schoolhouses of Toronto Gore Township. It is also historically significant due to its previous use as Castlemore School S.S. #6 for 89 years. The village of Castlemore had a population of about 100 people in 1877. It was a small village on The Gore Road, ten miles from Brampton. The Peel County Atlas (1877) describes the village having a Post Office and store, a blacksmith shop, a hotel, an English Church, and a "good" schoolhouse. The first public school situated near Castlemore was of frame construction. It was located on the 9th concession, in the east half of lot 11, Toronto Gore. It was built on a small parcel sold to the school trustees by Patrick Doherty. It was replaced in 1873 by the present brick building on a new site containing one acre of land in the 9th concession in the east half of lot 12. The schoolhouse remains in its original location today. The one-room schoolhouse style illustrates the trend in the Ontario education system at the time. One-room schoolhouses were promoted by Dr. Edgerton Ryerson, the "father" of the Ontario Education system, and were the model of Ontario education for generations. There were two other one-room schools in Toronto Gore Township: - Union Section #4 Toronto Gore, #18 Chinguacousy, known as Tullamore, and; - Union Section #10 Toronto Gore, #23 Vaughan, or Ebenezer, School Section #6 Toronto Gore, or Castlemore, was the only school not in a union section with another township. Progressing along with the trend away from one-room schools and towards graded schools, it was decided that the three one-room schools in the Toronto Gore Township would be consolidated into one new school, Castlemore Public School on the Gore Road just south of Castlemore Road. The three schools in township, Castlemore, Ebenezer, and Tullamore, closed on June 19th, 1962.</p> <p><u>Contextual Value</u> The former Castlemore Schoolhouse SS #6 also holds contextual value as it is visually and historically linked to its surroundings. It also supports, reflects, and contributes to the rural character of the former Toronto Gore Township and the village of Castlemore. Although set back on the property, the school's tower can be seen along The Gore Road and from the intersection of Castlemore Road and The Gore Road. The schoolhouse is one of the last remnants of rural heritage in an area that is becoming urbanized.</p> <p><u>Heritage Attributes</u> The heritage attributes comprise all facades, architectural detailing, construction materials and associated building techniques, as well as significant landscape elements and important vistas. The detailed heritage attributes/character defining elements include, but are not limited to: Design/Physical Value: • One-and-a-half storey, one-room schoolhouse • Gable roof • Bullseye window • Bell tower • Dichrome brick patterning under front facade eaves • Corbel brick pattern under eaves • Quoining • Buff brick flat segmental arches With stone keystones over windows</p>	

Table 5: Inventory of Built Heritage Resources and Cultural Heritage Landscapes					
CHR No.	Type	Location	Heritage Recognition	Description of Property	Photographs/Digital Image
				<p>Historical/Associative Value: • Functioned as Castlemore Schoolhouse SS #6 for 89 years (1873-1962) • Illustrates the trend of one room schoolhouses • Associated with the rural schools of the Toronto Gore Township, one of a few still standing</p> <p>Contextual Value: • Visually marks the former rural community of Castlemore • Visible along The Gore Road</p>	
CHR 10	-CHL -Roadscape	Countryside Drive	Identified during field review	<p><u>Overview</u> Roadscape established in the 19th century Intact rural roadscape An important example of a rural road with grassy swales, tree canopies and tree lines, individual mature specimen trees, hedgerows, gently curving, narrow roadway, deep setbacks to most existing structures, rural character and scenic vistas There are many historical and geographical associations with the former Township of Toronto Gore</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical and historical/associative value</p>	
CHR 11	-CHL -Roadscape	Clarkway Drive	Identified during field review	<p><u>Overview</u> Roadscape established in the 19th century Intact rural roadscape An important example of a rural road with grassy swales, tree canopies and tree lines, individual mature specimen trees, hedgerows, gently curving, narrow roadway, deep setbacks to most existing structures, rural character and scenic vistas Associated with Richard Clarke, for whom Clarkway Drive is named after.</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical and historical/associative value</p>	

Table 5: Inventory of Built Heritage Resources and Cultural Heritage Landscapes					
CHR No.	Type	Location	Heritage Recognition	Description of Property	Photographs/Digital Image
CHR 12	-CHL -Roadscape	Coleraine Drive	Identified during field review	<p><u>Overview</u> Roadscape established in the 19th century Intact rural roadscape An important example of a rural road with grassy swales, tree canopies and tree lines, individual mature specimen trees, hedgerows, gently curving, narrow roadway, deep setbacks to most existing structures, rural character and scenic vistas Associated with the village of Coleraine</p> <p><u>High Level Opinion of CHVI</u> Potential design/physical and historical/associative value</p>	

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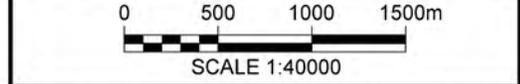


PROJECT: CULTURAL HERITAGE ASSESSMENT (PART 'B')
 ARTERIAL ROADS WITHIN HIGHWAY 427 INDUSTRIAL SECONDARY PLAN AREA
 LOTS 13 AND 17, CONCESSION 11, LOT 17, CONCESSION 12
 FORMER TOWNSHIP OF TORONTO GORE, COUNTY OF PEEL
 AND LOTS 25 AND 26, CONCESSION 10
 FORMER TOWNSHIP OF VAUGHAN, COUNTY OF YORK
 REGIONAL MUNICIPALITY OF PEEL
 NOW THE CITY OF BRAMPTON, ONTARIO

TITLE:
 INVENTORY OF BUILT HERITAGE RESOURCES
 AND CULTURAL HERITAGE LANDSCAPES

- LEGEND:**
- PART 'B' PROJECT FOOTPRINT
 - LISTED ON THE CITY OF BRAMPTON MUNICIPAL REGISTER OF CULTURAL HERITAGE RESOURCES
 - DESIGNATED UNDER PART IV OF THE ONTARIO HERITAGE ACT
 - IDENTIFIED DURING FIELD REVIEW

NOTES:
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DWN BY: SJL	CHK'D BY: HS	DATE: MAY 25, 2021
DATUM: NAD83	PROJECTION: UTM Zone 17	PROJECT No: TP115086.1.7000
REV No: 1		FIGURE No: 5

5.0 Impact Assessment

The MHSTCI InfoSheet #5 gives guidance on how to complete impact assessments for cultural heritage resources in the land use planning process. As discussed above, the purpose of a preliminary impact assessment is to determine if identified cultural heritage resources are impacted by the proposed work. This assessment considers two categories of impacts:

- **Direct Impact:** A permanent or irreversible negative affect on the CHVI of a property that results in the loss of a heritage attribute. Direct impacts include *destruction* or *alteration*.
- **Indirect Impact:** An impact that is the result of an activity on or near a cultural heritage resource that may adversely affect the CHVI and/or heritage attributes of a property. Indirect impacts include *shadows, isolation, direct or indirect obstruction of significant views or vistas, a change in land use, or land disturbances*.

It should be noted that land disturbances, as defined in MHSTCI InfoSheet #5, and described above, also apply to archaeological resources. An archaeological assessment is beyond the scope of this study since recommendations regarding archaeological resources must be made by a professional archaeologist licensed by the MHSCTI. An archaeological assessment for this project has been undertaken under separate cover.

5.1 Description of Proposed Work

The proposed work for the Arterial Roads project involves the following components:

- Part B:
 - Countryside Drive – an existing roadway which will be widened to four lanes and be upgraded to include curb and gutter and multi-use pathways.
 - Clarkway Drive – an existing roadway which will have portions widened to four lanes and upgraded to include storm sewers, sidewalks and cycle lanes.
 - East-West Arterial – a new four lane roadway connecting The Gore Road to Arterial A2.

5.2 Assessment of Potential Impacts

An impact assessment to evaluate the potential impacts of the proposed work on built heritage resources and cultural heritage landscapes in the Study Area is contained in Table 6 and the locations of these properties are presented in Figure 6.

The impact assessment for the Part B Roadways determined that direct impacts are anticipated to six properties: CHR 1 (5556 Countryside Drive), CHR 2 (10955 Clarkway Drive), CHR 4 (10307 Clarkway Drive), CHR 6 (10089 Clarkway Drive), CHR 10 Countryside Drive), and CHR 11 (Clarkway



Drive) since the proposed road widening will result in the removal/disturbance of various heritage attributes and the permanent alteration of historical rural roadscapes.

Table 6: Impact Assessment and Mitigation Measures						
CHR No.	Property Type	Location	Heritage Recognition	Project Component	Anticipated Impact ¹	Mitigation Measures
CHR 1	-CHL -Farmstead	5556 Countryside Drive	Listed on the City of Brampton Municipal Register of Cultural Heritage	Part A and Part B Roadways	<p><u>Part B:</u> <i>Anticipated Impacts:</i> Property acquisition of frontage along south and west property lines is proposed. However, no direct impacts or indirect impacts to buildings on the property are anticipated.</p> <p>The property contains mature trees along the south frontage and a tree lined driveway. The proposed work may result in removal of trees along the south property line.</p> <p><i>Type of Impact:</i> Direct (change in land use from residential to transportation route and land disturbance)</p> <p><u>Part A</u> <i>Impacts related to Part A addressed under a separate cover.</i></p>	<p><u>Part B:</u> <i>Preferred Option:</i> Avoidance of direct impacts to the property is the preferred option from a cultural heritage perspective. However, it is recognized that the proposed road construction will result in the permanent alteration to a portion of this property. Accordingly, alternative mitigation measures are warranted.</p> <p><i>Alternative Option:</i> Direct impacts to 5556 Countryside Drive are anticipated since the proposed work may result in removal of trees along the south property line. Therefore, an HIA should be completed for this property. As a potential heritage property, the HIA should contain an evaluation of this resource against O. Reg. 9/06 of the <i>Ontario Heritage Act</i> to determine the presence or absence of CHVI. Should the evaluation determine that the property has CHVI, then an impact assessment should be carried out. Where impacts are anticipated, a conservation strategy and mitigation measures should be prepared. The HIA should be completed at the outset of the detailed design phase of the project.</p> <p><u>Part A</u> <i>Mitigation Measures related to Part A addressed under a separate cover.</i></p>
CHR-2	-CHL -Farmstead	10955 Clarkway Drive	Designated under Part IV of the <i>Ontario Heritage Act</i>	Part B Roadways	<p><i>Anticipated Impacts:</i> Property acquisition of frontage along north and west property lines is proposed. Direct impacts to heritage features including the mature trees along the northern and western frontages, the split rail fence and the tributary adjacent to Clarkway Drive.</p> <p><i>Type of Impact:</i> Direct</p> <ul style="list-style-type: none"> The removal or demolition of all or part of any heritage attribute (mature trees, split rail fence) 	<p><i>Preferred Option:</i> Avoidance of direct impacts to the property is the preferred option from a cultural heritage perspective. Impacts to heritage features including the mature trees along the northern and western frontages, the split rail fence and the tributary adjacent to Clarkway Drive should be avoided where possible. However, it is recognized that the proposed road widening will result in the alteration of the features. Accordingly, alternative mitigation measures are warranted.</p> <p><i>Alternative Option:</i> Direct impacts to 10955 Clarkway Drive are anticipated since the proposed work will result in the removal/disturbance of various heritage attributes (mature trees, split rail fence and tributary) on the property. This property is designated under Part IV of the <i>Ontario Heritage Act</i> (By-Law 161-2016). Therefore, impacts to this property should be evaluated in a Heritage Impact Assessment (HIA) and where impacts are anticipated, a conservation strategy and mitigation measures should be prepared. The HIA should be completed at the outset of the detailed design phase of the project.</p>
CHR-3	-CHL -Farmstead	10980 Highway 50	Listed on the City of Brampton Municipal Register of Cultural Heritage	Part B Roadways	No anticipated impacts. Property acquisition of frontage along the north property line is proposed. However, no impacts to potential heritage attributes are anticipated and no direct or indirect impacts to buildings on the property will take place.	None

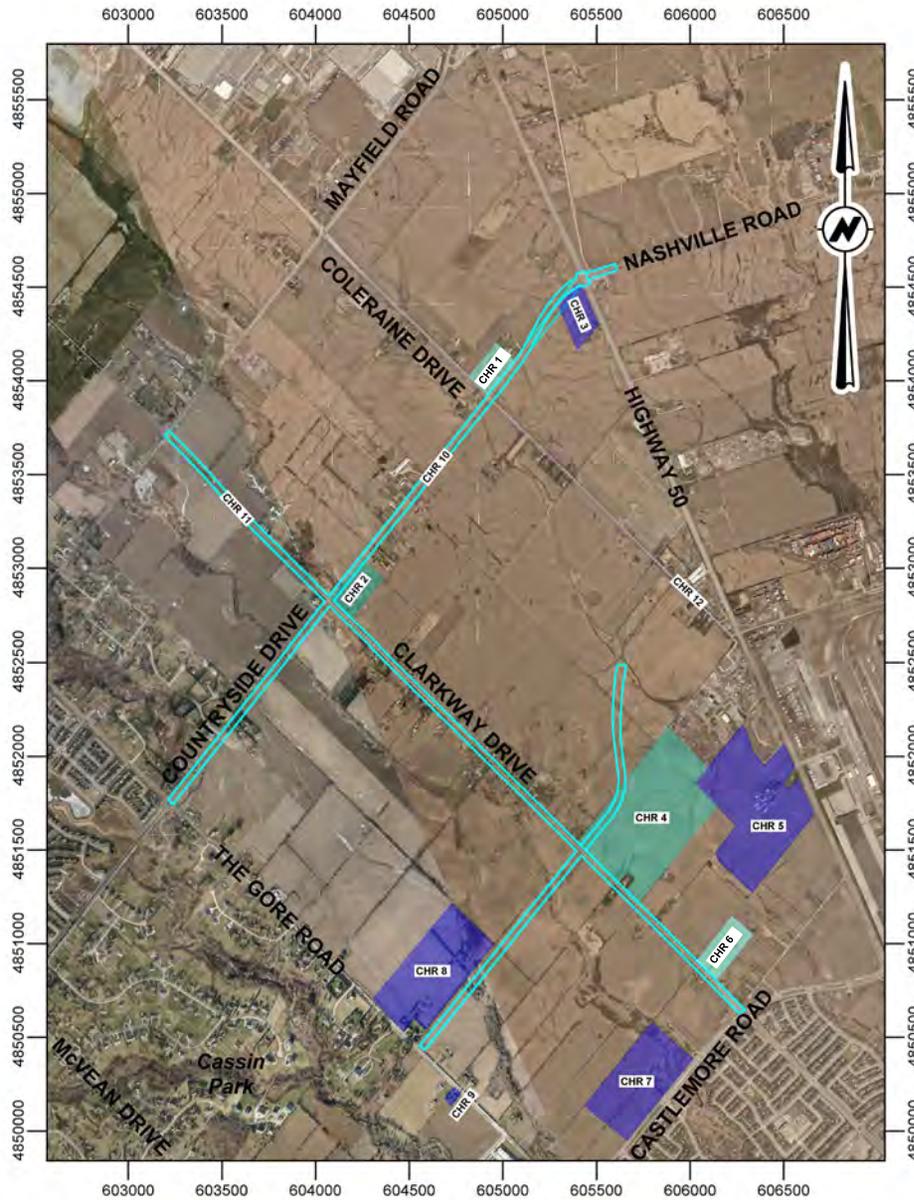
Table 6: Impact Assessment and Mitigation Measures						
CHR No.	Property Type	Location	Heritage Recognition	Project Component	Anticipated Impact ¹	Mitigation Measures
CHR 4	-BHR -Residence	10307 Clarkway Drive	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	Part B Roadways	<p><i>Anticipated Impacts:</i> Property acquisition is proposed to accommodate the construction of a new road with the property.</p> <p>Type of Impact: Direct (permanent alteration of the property)</p>	<p><i>Preferred Option:</i> Avoidance of direct impacts to the property is the preferred option from a cultural heritage perspective. However, it is recognized that the proposed road construction will result in the permanent alteration to a portion of this property. Accordingly, alternative mitigation measures are warranted.</p> <p><i>Alternative Option:</i> Direct impacts to 10307 Clarkway Drive are anticipated since the proposed work will result in the construction of a new road within this property. Therefore, an HIA should be completed for this property. As a potential heritage property, the HIA should contain an evaluation of this resource against O. Reg. 9/06 of the <i>Ontario Heritage Act</i> to determine the presence or absence of CHVI. Should the evaluation determine that the property has CHVI, then an impact assessment should be carried out. Where impacts are anticipated, a conservation strategy and mitigation measures should be prepared. The HIA should be completed at the outset of the detailed design phase of the project.</p>
CHR 5	-CHL -Farmstead	10192A Highway 50	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	Part B Roadways	No anticipated Impacts	None
CHR 6	-CHL -Farmstead	10089 Clarkway Drive	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	Part B Roadways	<p><i>Anticipated Impacts:</i> Property acquisition of frontage along the southern property lines is proposed. However, no direct impacts or indirect impacts to buildings on the property are anticipated.</p> <p>The property contains mature trees along the Clarkway Drive frontage and a tree lined driveway. The proposed work may result in removal of trees.</p> <p><i>Type of Impact:</i> Direct (change in land use from residential to transportation route and land disturbance)</p>	<p><i>Preferred Option:</i> Avoidance of direct impacts to the property is the preferred option from a cultural heritage perspective. However, it is recognized that the proposed road construction will result in the permanent alteration to a portion of this property. Accordingly, alternative mitigation measures are warranted.</p> <p><i>Alternative Option:</i> Direct impacts to 10089 Clarkway Drive are anticipated since the proposed work may result in removal of trees along the south property line. Therefore, an HIA should be completed for this property. As a potential heritage property, the HIA should contain an evaluation of this resource against O. Reg. 9/06 of the <i>Ontario Heritage Act</i> to determine the presence or absence of CHVI. Should the evaluation determine that the property has CHVI, then an impact assessment should be carried out. Where impacts are anticipated, a conservation strategy and mitigation measures should be prepared. The HIA should be completed at the outset of the detailed design phase of the project.</p>
CHR 7	-CHL -Farmstead	4784 Castlemore Road	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	Part B Roadways	No anticipated Impacts	None
CHR 8	-CHL -Farmstead	10431 The Gore Road	Listed on the City of Brampton Municipal Register of Cultural Heritage Resources	Part B Roadways	No anticipated Impacts	None
CHR 9	-BHR -Former Schoolhouse	10300 The Gore Road	Designated under Part IV of the Ontario Heritage Act	Part B Roadways	No anticipated Impacts	None

Table 6: Impact Assessment and Mitigation Measures						
CHR No.	Property Type	Location	Heritage Recognition	Project Component	Anticipated Impact ¹	Mitigation Measures
CHR 10	-CHL -Roadscape	Countryside Drive	Identified during field review	Part A and Part B Roadways	<p><u>Part B</u> <i>Anticipated Impact:</i> The proposed work involves the widening of Countryside Drive. This work will permanently alter the existing roadscape and will result in the loss of the relatively intact rural road profile that dates to the 19th century.</p> <p><i>Type of Impact:</i> Direct (permanent alteration)</p> <p><u>Part A</u> <i>Impacts related to Part A addressed under a separate cover.</i></p>	<p><u>Part B</u> <i>Preferred Option:</i> Avoidance of direct impacts to the roadscape is the preferred option from a cultural heritage perspective. Existing fences, mature trees, and mature tree lines should be retained where possible. However, it is recognized that the proposed road widening will result in the loss of numerous landscape elements along Countryside Drive. Accordingly, alternative mitigation measures are warranted.</p> <p><i>Alternative Option:</i> Direct impacts to Countryside Drive are anticipated since the proposed work will result in the permanent alteration of the existing rural character of the road. An HIA should be completed for this roadscape. As a potential heritage property, the HIA should contain an evaluation of this resource against O. Reg. 9/06 of the <i>Ontario Heritage Act</i> to determine the presence or absence of CHVI. Should the evaluation determine that the roadscape has CHVI, then an impact assessment should be carried out. Where impacts are anticipated, a conservation strategy and mitigation measures should be prepared. The HIA should be completed at the outset of the detailed design phase of the project.</p> <p>One (1) HIA may be completed for potential heritage roadscapes impacted by Part B Roadways of the Arterial Roads project.</p> <p><u>Part A</u> <i>Mitigation Measures related to Part A addressed under a separate cover.</i></p>
CHR 11	-CHL -Roadscape	Clarkway Drive	Identified during field review	Part B Roadways	<p><i>Anticipated Impact:</i> The proposed work involves the widening of Clarkway Drive. This work will permanently alter the existing roadscape and will result in the loss of the relatively intact rural road profile that dates to the 19th century.</p> <p><i>Type of Impact:</i> Direct (permanent alteration)</p>	<p><i>Preferred Option:</i> Avoidance of direct impacts to the roadscape is the preferred option from a cultural heritage perspective. Existing fences, mature trees, and mature tree lines should be retained where possible. However, it is recognized that the proposed road widening will result in the loss of numerous landscape elements along Clarkway Drive. Accordingly, alternative mitigation measures are warranted.</p> <p><i>Alternative Option:</i> Direct impacts to Clarkway Drive are anticipated since the proposed work will result in the permanent alteration of the existing rural character of the road. An HIA should be completed for this roadscape. As a potential heritage property, the HIA should contain an evaluation of this resource against O. Reg. 9/06 of the <i>Ontario Heritage Act</i> to determine the presence or absence of CHVI. Should the evaluation determine that the roadscape has CHVI, then an impact assessment should be carried out. Where impacts are anticipated, a conservation strategy and mitigation measures should be prepared. The HIA should be completed at the outset of the detailed design phase of the project.</p> <p>One (1) HIA may be completed for potential heritage roadscapes impacted by Part B Roadways of the Arterial Roads project.</p>

Table 6: Impact Assessment and Mitigation Measures						
CHR No.	Property Type	Location	Heritage Recognition	Project Component	Anticipated Impact ¹	Mitigation Measures
CHR 12	-CHL -Roadscape	Coleraine Drive	Identified during field review	Part A and Part B Roadways	<p><u>Part B</u> No anticipated impacts resulting from Part B proposed work</p> <p><u>Part A</u> <i>Impacts related to Part A addressed under a separate cover.</i></p>	<p><u>Part B</u> No anticipated impacts resulting from Part B proposed work.</p> <p><u>Part A</u> <i>Mitigation Measures related to Part A addressed under a separate cover.</i></p>



DATE PLOTTED: 6/4/2021 11:28:43 AM
 FILE LOCATION: P:\2020 Archeology\Projects\Other Offices\TP115086.1.7000 - Heritage Assessment, EA Roads within Hwy 27, Brampton\Drafting\AutoCAD files\TP115086.1.7000-RO2006.dwg



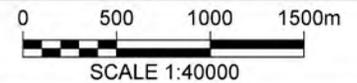
PROJECT: CULTURAL HERITAGE ASSESSMENT (PART 'B')
 ARTERIAL ROADS WITHIN HIGHWAY 427 INDUSTRIAL SECONDARY PLAN AREA
 LOTS 13 AND 17, CONCESSION 11, LOT 17, CONCESSION 12
 FORMER TOWNSHIP OF TORONTO GORE, COUNTY OF PEEL
 AND LOTS 25 AND 26, CONCESSION 10
 FORMER TOWNSHIP OF VAUGHAN, COUNTY OF YORK
 REGIONAL MUNICIPALITY OF PEEL
 NOW THE CITY OF BRAMPTON, ONTARIO

TITLE:
 HERITAGE IMPACT ASSESSMENT

LEGEND:

- PART 'B' PROJECT FOOTPRINT
- NO ANTICIPATED IMPACTS
- DIRECT IMPACTS

NOTES:
 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE
 WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS
 REPORT No. TP115086.1.7000.
 ALL LOCATIONS ARE APPROXIMATE.
ORIGINAL PAPER SIZE: 8½ x 11.
REFERENCES:
 2019 AERIAL PHOTOGRAPHS BY THE REGION OF YORK;
 CANMAP STREETFILES V2008.4.



The Corporation of the City of Brampton
 2 WELLINGTON STREET WEST
 BRAMPTON, ONTARIO, L6Y 4R2



Wood
 Environment & Infrastructure Solutions
 3450 HARVESTER ROAD
 BURLINGTON, ONTARIO, L7N 3W5
 519-681-2400



DWN BY:	CHK'D BY:	DATE:
SJL	HS	JUNE 4, 2021
DATUM:	PROJECTION:	PROJECT No:
NAD83	UTM Zone 17	TP115086.1.7000
REV No:		FIGURE No:
2		6

6.0 Recommendations

Wood Environment & Infrastructure Solutions (Wood) was retained by the City of Brampton in 2016 to complete a Cultural Heritage Assessment Report (CHAR) in support of the 'Schedule C' Municipal Class Environmental Assessment (EA) for the proposed Arterial Road network (Parts A and B) within Secondary Plan Area 47 in the City of Brampton, Ontario. This report pertains to Part B of the proposed Arterial Roads network. A CHAR for the Part A Roads has been prepared by Wood under a separate cover.

Following the completion of background research, information gathering, and a field review, two (2) built heritage resources and 10 cultural heritage landscape resources were identified within, or adjacent to, the Study Area. Two properties, 10955 Clarkway Drive (CHR 2) and 10300 The Gore Road (CHR 9) are designated under Part IV of the *Ontario Heritage Act*. Seven properties (CHR 1 and CHR 3-CHR 8) are listed on the City of Brampton Municipal Register of Cultural Heritage Resources, and three resources (CHR 10-CHR 12) were identified during the original field review in 2016.

The impact assessment for the Part B Roadways determined that direct impacts are anticipated to six properties: CHR 1 (5556 Countryside Drive), CHR 2 (10955 Clarkway Drive), CHR 4 (10307 Clarkway Drive), CHR 6 (10089 Clarkway Drive), CHR 10 Countryside Drive), and CHR 11 (Clarkway Drive) since the proposed road widening will result in the removal/disturbance of various heritage attributes and the permanent alteration of historical rural roadscapes.

Based on the above, the following recommendations are made:

- 1) The locations of built heritage resources and cultural heritage landscapes should be identified on construction mapping so that project personnel are aware of the presence of heritage properties within, and adjacent to, the proposed work.
- 2) Direct impacts are anticipated to one protected heritage property: CHR 2 (10955 Clarkway Drive) since the proposed work will result in the removal/disturbance of various known heritage attributes (mature trees, split rail fence and tributary) on the property. This property is designated under Part IV of the *Ontario Heritage Act* (By-Law 161-2016). Therefore, impacts to this property should be evaluated in an HIA and where impacts are anticipated, a conservation strategy and mitigation measures should be prepared. The HIA should be completed at the outset of the detailed design phase of the project. The HIA once completed, will require presentation to the Brampton Heritage Board.
- 3) Direct impacts are anticipated to five potential heritage properties: CHR 1 (5556 Countryside Drive), CHR 4 (10307 Clarkway Drive), CHR 5 (10089 Clarkway Drive), CHR 10 (Countryside Drive), and CHR 11 (Clarkway Drive) due to proposed road construction and



widenings that will permanently alter the historical character of these resources. HIAs should be completed for all five potential heritage resources. Each HIA must contain an O. Reg. 9/06 evaluation to determine the presence of absence of CHVI. Where CHVI is present, then an impact assessment should be completed and mitigation measures prepared. The HIAs should be completed at the outset of the detailed design phase of the project. The HIAs once completed, will require presentation to the Brampton Heritage Board. Standalone HIAs must be completed for CHR 1 (5556 Countryside Drive), CHR 4 (10307 Clarkway Drive), CHR 6 (10089 Clarkway Drive), and one (1) combined HIA may be completed for CHR 10 (Countryside Drive) and CHR 11 (Clarkway Drive)

- 4) This report should be submitted to the City of Brampton, the Region of Peel, and MHSTCI for review and comment.

The above recommendations were prepared using drawings of the proposed work contained in Appendix B. Should the proposed work be updated or changed, then the impact assessment should be revised to confirm impacts and recommended mitigation measures. It should be noted that the above recommendations pertain only to Part B of the Arterial Roads network. Impacts related to the Part A Roadway component of the project are addressed under a separate cover prepared by Wood.



7.0 Assessor Qualifications

This report was prepared and reviewed by the undersigned, employees of Wood. Wood is one of North America's leading engineering firms, with more than 50 years of experience in the earth and environmental consulting industry. The qualifications of the assessors involved in the preparation of this report are provided in Appendix D.

8.0 Closure

This report was prepared for the exclusive use of City of Brampton and the Region of Peel and provides a Cultural Heritage Assessment (Existing Conditions and Impact Assessment) of the Study Area. The Study Area for the proposed Arterial Roads network consists of two parts: Part A (Regional Roads) and Part B (Municipal Roads) located within the Secondary Plan Area 47 in the City of Brampton, Ontario. This report pertains to Part B of the proposed Arterial Roads network, the Part A Roadway component of the project will be addressed under a separate cover.

Any use which a third party makes of this report, or any reliance on or decisions to be made based on it, are the responsibility of the third party. Should additional parties require reliance on this report, written authorization from Wood will be required. With respect to third parties, Wood has no liability or responsibility for losses of any kind whatsoever, including direct or consequential financial effects on transactions or property values, or requirements for follow-up actions and costs.

The report is based on data and information collected during the cultural heritage assessment conducted by Wood. It is based solely a review of historical information, information gathering activities completed in 2016 and 2020, property reconnaissance conducted in 2016 and August 2020, data obtained by Wood as described in this report. Except as otherwise maybe specified, Wood disclaims any obligation to update this report for events taking place, or with respect to information that becomes available to Wood after the time during which Wood conducted the cultural heritage assessment. In evaluating the Study Area, Wood has relied in good faith on information provided by other individuals noted in this report. Wood has assumed that the information provided is factual and accurate. In addition, the findings in this report are based, to a large degree, upon information provided by the current owner/occupant. Wood accepts no responsibility for any deficiency, misstatement or inaccuracy contained in this report as a result of omissions, misinterpretations or fraudulent acts of persons interviewed or contacted.

Wood makes no other representations whatsoever, including those concerning the legal significance of its findings, or as to other legal matters touched on in this report, including, but not limited to, ownership of any property, or the application of any law to the facts set forth herein. With respect to regulatory compliance issues, regulatory statutes are subject to interpretation and change. Such interpretations and regulatory changes should be reviewed with legal counsel.

This report is also subject to the further Standard Limitations contained in Appendix D.



We trust that the information presented in this report meets your current requirements. Should you have any questions, or concerns, please do not hesitate to contact the undersigned.

Respectfully Submitted,

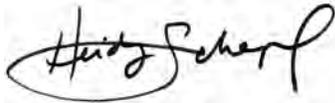
**Wood Environment & Infrastructure,
a Division of Wood Canada Limited**

Original report prepared by Linda Axford and reviewed by Shaun Austin in 2016. Both now retired from Wood.

2020 Update prepared by:

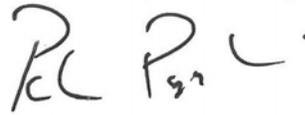


Chelsea Dickinson, B.A. (R1194)
Research Archaeologist



Heidy Schopf, MES, CAHP
Cultural Heritage Team Lead

2020 Update reviewed by:



Peter Popkin, Ph.D. (P362)
Associate Archaeologist

9.0 Sources

Archaeological Services Inc. (ASI)

- 2010 Cultural Heritage Study: Highway 427 Industrial Secondary Plan (Area 47), Lots 11 to 17, Concessions 10 to 11 and Lots 13 to 17, Concession 12, Former Township of Toronto Gore, County of Peel, City of Brampton, Regional Municipality of Peel, Ontario

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Appendix A: Information Gathering

LIST OF INFORMATION GATHERING DOCUMENTATION

SECTION 1: CORRESPONDENCE WITH THE MHSTCI

SECTION 2: CORRESPONDENCE WITH THE ONTARIO HERITAGE TRUST

SECTION 3: CORRESPONDENCE WITH THE CITY OF BRAMPTON

Correspondence with the MHSTCI

Email correspondence with the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) regarding Part A and Part B of the Study Area are provided on the following pages.

Cultural Heritage Report (Existing Conditions and Impact Assessment)
Arterial Roads (Part A and Part B) Cultural Heritage Assessment Report

From: [Barboza, Karla \(MHSTCI\)](#) on behalf of [Registrar \(MHSTCI\)](#)
To: [Schopf, Heidi](#)
Cc: [Registrar \(MHSTCI\)](#); [Dickinson, Chelsea](#); [Popkin, Peter](#); [Minkin, Dan \(MHSTCI\)](#)
Subject: FW: MHSTCI Response: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update
Date: Wednesday, September 23, 2020 10:14:27 AM
Attachments: [image001.png](#)
[TP115086.1.7000-R01001_25Aug2020 Figure 1-sjl.pdf](#)
[TP115086.1.7000-R01002_25Aug2020 Figure 2-sjl.pdf](#)

CAUTION: External email. Please do not click on links/attachments unless you know the content is genuine and safe.

Hi Heidi,

Hope this email finds you well.

At this time, MHSTCI is not aware of any provincial heritage properties within or adjacent to the Part B study area.

Regards,
Karla

From: Schopf, Heidi <heidy.schopf@woodplc.com>
Sent: September-21-20 1:50 PM
To: Registrar (MHSTCI) <Registrar@ontario.ca>; Dickinson, Chelsea <chelsea.dickinson@woodplc.com>
Cc: Popkin, Peter <peter.popkin@woodplc.com>; Minkin, Dan (MHSTCI) <Dan.Minkin@ontario.ca>
Subject: RE: MHSTCI Response: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.

Good afternoon,

The Arterial Roads CHAR will now consider the 'Part A' and 'Part B' Roads (see attached). Our initial information gathering email only included the 'Part A' Roads.

Are there any protected or potential heritage properties within or adjacent to the 'Part B' Roads?

Thank you for your input!
-Heidy

From: Barboza, Karla (MHSTCI) <Karla.Barboza@ontario.ca> **On Behalf Of** Registrar (MHSTCI)
Sent: Wednesday, August 26, 2020 6:24 PM
To: Dickinson, Chelsea <chelsea.dickinson@woodplc.com>
Cc: Registrar (MHSTCI) <Registrar@ontario.ca>; Popkin, Peter <peter.popkin@woodplc.com>;

Schopf, Heidi <heidy.schopf@woodplc.com>; Minkin, Dan (MHSTCI) <Dan.Minkin@ontario.ca>

Subject: MHSTCI Response: Information Request - CHAR: Existing Conditions and Impact Assessment
Arterial Road Cultural Heritage Assessment Report Update

CAUTION: External email. Please do not click on links/attachments unless you know the content is genuine and safe.

File 0004014 - Arterial Roads within Highway 427 Industrial Secondary Plan (Area 47)

Hi Chelsea,

Hope this email finds you well.

As you may know, the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) developed screening checklists to assist property owners, developers, consultants and others to identify known and potential cultural heritage resources:

- [Criteria for Evaluating Archaeological Potential](#)
- [Criteria for Evaluating Marine Archaeological Potential](#)
- [Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes](#)

I have used the document above (Built Heritage and Cultural Heritage Landscapes) in order to respond to your question:

- Question 3a. i. Is the property (or project area) identified, designated or otherwise protected under the Ontario Heritage Act as being of cultural heritage value e.g. a property that is designated by order of the Minister of Heritage, Sport, Tourism and Culture Industries as being of cultural heritage value or interest of provincial significance [s.34.5]?
MHSTCI Response: To date, no properties have been designated by the Minister.
- Question 3a.v. Is the property (or project area) identified, designated or otherwise protected under the Ontario Heritage Act as being of cultural heritage value included in the Ministry of Heritage, Sport, Tourism and Culture Industries' list of provincial heritage properties?
MHSTCI Response: At this time, MHSTCI is not aware of any provincial heritage properties within or adjacent to the study area.

Please note that if the subject lands or parts of the subject lands are owned or controlled by an Ontario Ministry or Prescribed Public Body (PPB) on behalf of the Crown (the list of PPBs is available as O. Reg. 157/10), a Ministry or PPB may have responsibilities under the [Standards and Guidelines for Conservation of Provincial Heritage Properties](#).

MHSTCI would appreciate if any technical cultural heritage studies (e.g. Cultural Heritage Assessment Report, Cultural Heritage Evaluation Report, Heritage Impact Assessment) be sent for MHSTCI review.

Regarding your request about other protected heritage properties within or adjacent to the study area, you should contact the Ontario Heritage Trust, Provincial Heritage Registrar at registrar@heritagetrust.on.ca or 416-212-7104 and the municipal heritage planner .

I noticed that the PDF document has been labelled 'Consultation Letter'. Please note that this does not constitute consultation for the purpose of an environmental assessment process. In our view, this step represents Information Gathering.

I hope this helps. Let me know if you have any questions.

Regards,
Karla

Karla Barboza MCIP, RPP, CAHP | (A) Team Lead, Heritage
Ministry of Heritage, Sport, Tourism and Culture Industries
Heritage, Tourism and Culture Division | Programs and Services Branch | Heritage Planning Unit
T. 416.314.7120 | Email: karla.barboza@ontario.ca

From: Dickinson, Chelsea <chelsea.dickinson@woodplc.com>
Sent: August-24-20 5:43 PM
To: Registrar (MHSTCI) <Registrar@ontario.ca>
Cc: Popkin, Peter <peter.popkin@woodplc.com>; Schopf, Heidi <heidy.schopf@woodplc.com>
Subject: FW: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.

Good Evening,

Please note, it has come to our attention that the letter issued on August 11, 2020 contained a small typo pertaining to Township/County.

Please find attached an updated a letter with study details for your consideration concerning the Cultural Heritage Assessment Report (CHAR) in support of the 'Schedule C' Municipal Class Environmental Assessment (MCEA) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario.

I apologize for any inconvenience this has cause.

Thanks,
Chelsea

From: Dickinson, Chelsea
Sent: Tuesday, August 11, 2020 1:01 PM
To: Registrar (MHSTCI) <Registrar@ontario.ca>
Cc: Heidi Schopf (heidy.schopf@woodplc.com) <heidy.schopf@woodplc.com>
Subject: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

Good Morning,

Wood was retained by the City of Brampton (City) to complete a Cultural Heritage Assessment Report (CHAR) in support of the 'Schedule C' Municipal Class Environmental Assessment (MCEA) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario. To complete the CHAR, Wood is looking to identify protected and potential cultural heritage resources within, and adjacent to, the Study Area. Please find attached a letter and map with study details for your consideration.

Any information you could provide would be greatly appreciated.

Sincerely,

Chelsea Dickinson, B.A.

Research Archaeologist

Environment and Infrastructure Solutions

Work: (226) 821-2497

chelsea.dickinson@woodplc.com

www.woodplc.com

The logo for Wood, featuring the word "wood." in a bold, lowercase, sans-serif font. The period is a solid black dot.

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Correspondence with the Ontario Heritage Trust

Email correspondence with the Ontario Heritage Trust (OHT) regarding Part A and Part B of the Study Area are provided on the following pages.



Cultural Heritage Report (Existing Conditions and Impact Assessment)
Arterial Roads (Part A and Part B) Cultural Heritage Assessment Report

From: [Kevin DeMille](#)
To: [Schopf, Heidi](#); [Dickinson, Chelsea](#)
Cc: [Popkin, Peter](#); [Barboza, Karla \(MHSTCI\)](#)
Subject: Re: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update
Date: Thursday, September 24, 2020 2:19:12 PM

CAUTION: External email. Please do not click on links/attachments unless you know the content is genuine and safe.

Good afternoon Chelsea,

Thank you for your information request regarding the Cultural Heritage Assessment Report (CHAR) in support of the 'Schedule C' Municipal Class Environmental Assessment (MCEA) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario. Your request to verify the presence of protected and potential properties with cultural heritage value or interest within/adjacent to the updated study area (to include Part B) has been processed. We reviewed the study area against our database of OHT easements and properties. We can confirm that the OHT does not have any conservation easements or Trust-owned properties within the study areas provided in your maps.

Kind regards,

Kevin De Mille

Kevin De Mille
Natural Heritage Coordinator
Telephone: 437-246-5854*NEW



From: Schopf, Heidi <heidy.schopf@woodplc.com>
Sent: September 21, 2020 1:50 PM
To: Kevin DeMille <Kevin.DeMille@heritagetrust.on.ca>; Dickinson, Chelsea <chelsea.dickinson@woodplc.com>
Cc: Popkin, Peter <peter.popkin@woodplc.com>; Barboza, Karla (MHSTCI) <Karla.Barboza@ontario.ca>
Subject: RE: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

CAUTION: External mail. Do not click on links or open attachments unless you recognize the sender and know the content.

Good afternoon,

The Arterial Roads CHAR will now consider the 'Part A' and 'Part B' Roads (see attached). Our initial information gathering email only included the 'Part A' Roads.

Are there any protected or potential heritage properties within or adjacent to the 'Part B' Roads?

Thank you for your input!

-Heidy

From: Kevin DeMille <Kevin.DeMille@heritagetrust.on.ca>

Sent: Thursday, August 27, 2020 1:02 PM

To: Dickinson, Chelsea <chelsea.dickinson@woodplc.com>

Cc: Schopf, Heidy <heidy.schopf@woodplc.com>; Popkin, Peter <peter.popkin@woodplc.com>; Barboza, Karla (MHSTCI) <Karla.Barboza@ontario.ca>

Subject: Re: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

CAUTION: External email. Please do not click on links/attachments unless you know the content is genuine and safe.

Good afternoon Chelsea,

Thank you for your information request regarding the Cultural Heritage Assessment Report (CHAR) in support of the 'Schedule C' Municipal Class Environmental Assessment (MCEA) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario. Your request to verify the presence of protected and potential properties with cultural heritage value or interest within/adjacent to the study area has been processed. We reviewed the study area against our database of OHT easements and properties. We can confirm that the OHT does not have any conservation easements or Trust-owned properties within the study areas provided in your map. We also completed a check of the OHA Register and can confirm there were no properties identified in the study area.

If you have not already done so, I recommend you check the Trust's Plaque Database (available online) <https://www.heritagetrust.on.ca/en/online-plaque-guide> to verify the presence of plaques. Additionally, I recommend you contact the local municipality to verify no local heritage properties are present within the identified study area.

As described in Section 23 of the Ontario Heritage Act, the Trust holds and maintains the provincial Ontario Heritage Act Register of properties that have been designated by municipalities under sections 29 and 41 of the Act as well as properties designated under the Act by the Minister. We rely on municipalities to send us information and it is advisable to check with the clerk's office to verify information.

Under Section 27 of the Act (OHA) the clerk of a municipality is required to maintain a local register of all designated properties. Section 27 also states that municipalities may keep a register of property that has not been designated, but that the municipality has determined to

be of cultural heritage value or interest. These are often referred to as "listed" properties. These non-designated heritage properties are not reflected in the OHA Register.

Karla Barboza (Cc'd) at the Ministry of Heritage, Sport, Tourism and Culture Industries can assist you with any questions you may have about any other provincially owned heritage properties within or adjacent to the study area.

Kind regards,

Kevin De Mille

Kevin De Mille
Natural Heritage Coordinator
Telephone: 437-246-5854*NEW



From: Dickinson, Chelsea <chelsea.dickinson@woodplc.com>

Sent: August 24, 2020 5:43 PM

To: registrar <registrar@heritagetrust.on.ca>

Cc: Schopf, Heidi <heidy.schopf@woodplc.com>; Popkin, Peter <peter.popkin@woodplc.com>

Subject: FW: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

CAUTION: External mail. Do not click on links or open attachments unless you recognize the sender and know the content.

Good Evening,

Please note, it has come to our attention that the letter issued on August 11, 2020 contained a small typo pertaining to Township/County.

Please find attached an updated a letter with study details for your consideration concerning the Cultural Heritage Assessment Report (CHAR) in support of the 'Schedule C' Municipal Class Environmental Assessment (MCEA) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario.

I apologize for any inconvenience this has cause.

Thanks,
Chelsea

From: Dickinson, Chelsea

Sent: Tuesday, August 11, 2020 1:00 PM

To: registrar@heritagetrust.on.ca

Cc: Heidi Schopf (heidy.schopf@woodplc.com) <heidy.schopf@woodplc.com>

Subject: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road
Cultural Heritage Assessment Report Update

Good Morning,

Wood was retained by the City of Brampton (City) to complete a Cultural Heritage Assessment Report (CHAR) in support of the 'Schedule C' Municipal Class Environmental Assessment (MCEA) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario. To complete the CHAR, Wood is looking to identify protected and potential cultural heritage resources within, and adjacent to, the Study Area. Please find attached a letter and map with study details for your consideration.

Any information you could provide would be greatly appreciated.

Sincerely,

Chelsea Dickinson, B.A.

Research Archaeologist

Environment and Infrastructure Solutions

Work: (226) 821-2497

chelsea.dickinson@woodplc.com

www.woodplc.com



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Correspondence with the City of Brampton

Email correspondence with the City of Brampton regarding Part A and Part B of the Study Area are provided on the following pages.

Cultural Heritage Report (Existing Conditions and Impact Assessment)
Arterial Roads (Part A and Part B) Cultural Heritage Assessment Report

From: [Schopf, Heidi](#)
To: [Dickinson, Chelsea](#)
Subject: FW: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update
Date: Monday, September 28, 2020 12:08:46 PM
Attachments: [Outlook-lse5eyin.png](#)
[Outlook-hvdhly23.png](#)
[TP115086.1.7000-R01001_25Aug2020_Figure_1-sjl.pdf](#)
[TP115086.1.7000-R01002_25Aug2020_Figure_2-sjl.pdf](#)

Updated response re: Part B Roads

From: Molloy, Ellen <Ellen.Molloy@brampton.ca>
Sent: Monday, September 21, 2020 4:21 PM
To: Schopf, Heidi <heidy.schopf@woodplc.com>
Cc: Jasinski, Cassandra <Cassandra.Jasinski@brampton.ca>
Subject: Re: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

CAUTION: External email. Please do not click on links/attachments unless you know the content is genuine and safe.

Good afternoon Heidi,

Thank you for the email.

The City of Brampton's [Planning Viewer](#) and [Open Data Library - Heritage Points](#) are great tools for an initial assessment of any protected heritage properties, or properties of interest, within or adjacent to your study area.

Further information concerning protected properties and properties of interest can be found on the City's "*Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act*" or the "*Municipal Register of Cultural Heritage Resources*".

If you require more in-depth information about a specific site, please let the Heritage Planning staff know.

Thank you again for your email.

Best,

Ellen Molloy

Intern - Heritage Planning

Planning, Building and Economic Development



City of Brampton

From: Schopf, Heidi <heidy.schopf@woodplc.com>
Sent: 2020/09/21 1:52 PM
To: Jasinski, Cassandra <Cassandra.Jasinski@brampton.ca>; Dickinson, Chelsea <chelsea.dickinson@woodplc.com>
Cc: Popkin, Peter <peter.popkin@woodplc.com>
Subject: RE: [EXTERNAL]FW: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

Good afternoon,

The Arterial Roads CHAR will now consider the 'Part A' and 'Part B' Roads (see attached). Our initial information gathering email only included the 'Part A' Roads.

Are there any protected or potential heritage properties within or adjacent to the 'Part B' Roads?

Thank you for your input!
-Heidy

From: Jasinski, Cassandra <Cassandra.Jasinski@brampton.ca>
Sent: Thursday, September 10, 2020 1:24 PM
To: Dickinson, Chelsea <chelsea.dickinson@woodplc.com>
Cc: Popkin, Peter <peter.popkin@woodplc.com>; Schopf, Heidi <heidy.schopf@woodplc.com>
Subject: RE: [EXTERNAL]FW: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

CAUTION: External email. Please do not click on links/attachments unless you know the content is genuine and safe.

Good afternoon Chelsea,

Thank you for the letter. Please let me know if you require any information on the cultural heritage resources in the study area in Brampton.

Of particular note is the Cole Farmhouse at 10900 Coleraine Drive, once located at 10690 Highway 50. It has been relocated to 10900 Coleraine and is in the process of designation but is currently off of its foundation.

Kind regards,

Cassandra Jasinski, CAHP
Heritage Planner
Planning, Building and Economic Development
City of Brampton
(905) 874-2618

Our Focus Is People 

From: Dickinson, Chelsea <chelsea.dickinson@woodplc.com>
Sent: 2020/08/24 5:43 PM
To: Heritage <Heritage@brampton.ca>
Cc: Popkin, Peter <peter.popkin@woodplc.com>; Schopf, Heidy <heidy.schopf@woodplc.com>
Subject: [EXTERNAL]FW: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

Good Evening,

Please note, it has come to my attention that the letter issued on August 11, 2020 contained a small typo pertaining to Township/County.

Please find attached an updated a letter with study details for your consideration concerning the Cultural Heritage Assessment Report (CHAR) in support of the 'Schedule C' Municipal Class Environmental Assessment (MCEA) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario.

I apologize for any inconvenience this has cause.

Thanks,
Chelsea

From: Dickinson, Chelsea
Sent: Tuesday, August 11, 2020 1:01 PM
To: 'heritage@brampton.ca' <heritage@brampton.ca>
Cc: Heidy Schopf (heidy.schopf@woodplc.com) <heidy.schopf@woodplc.com>
Subject: Information Request - CHAR: Existing Conditions and Impact Assessment Arterial Road Cultural Heritage Assessment Report Update

Good Morning,

Wood was retained by the City of Brampton (City) to complete a Cultural Heritage Assessment Report (CHAR) in support of the 'Schedule C' Municipal Class Environmental Assessment (MCEA) for the proposed Arterial Road network within Secondary Plan Area 47 in the City of Brampton, Ontario. To complete the CHAR, Wood is looking to identify protected and potential cultural heritage



resources within, and adjacent to, the Study Area. Please find attached a letter and map with study details for your consideration.

Any information you could provide would be greatly appreciated.

Sincerely,

Chelsea Dickinson, B.A.

Research Archaeologist

Environment and Infrastructure Solutions

Work: (226) 821-2497

chelsea.dickinson@woodplc.com

www.woodplc.com

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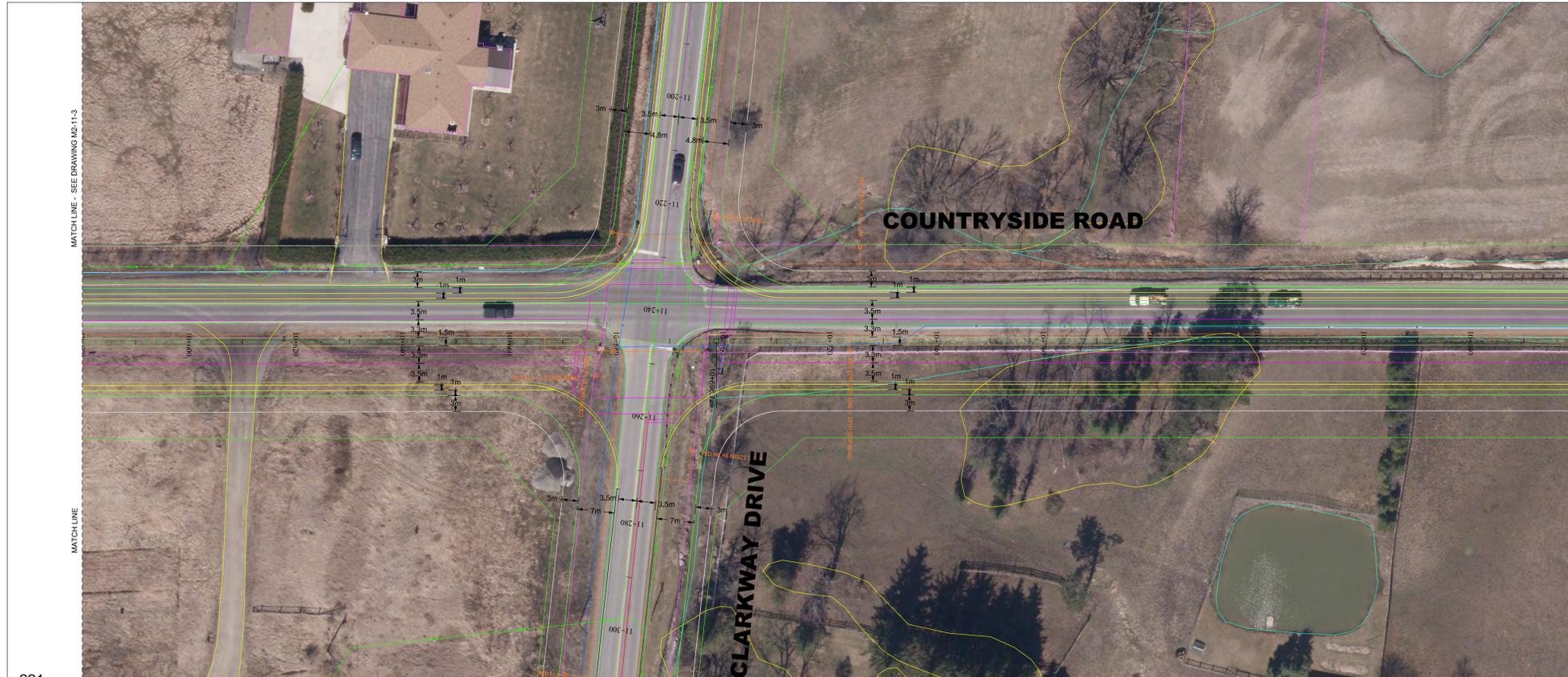
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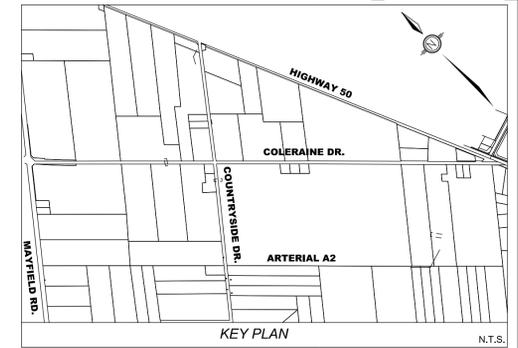
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Appendix B: Proposed Work



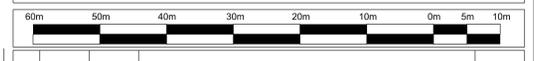
FOR STORM AND ROADWORKS ONLY



LEGEND:

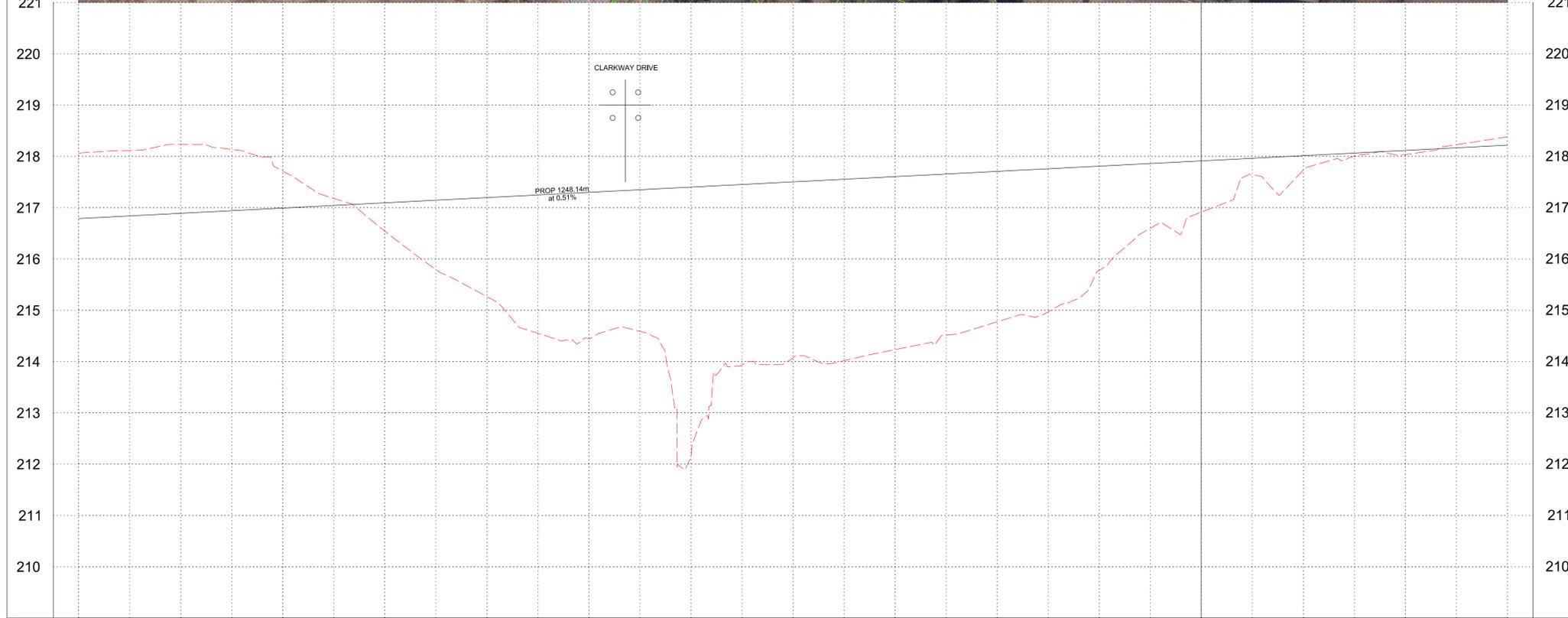
	PROP CONC BUS BAY		PROP SEED / SOD
	PROP CONC KILLS/PAVEDIAN		PROP IMPRESSED COLOURED CONC
	PROP ASPHALT PAVEMENT		PROP ASPH MULTI USE TRAIL
	PROP DW REINSTATEMENT		PROP DW RELOCATED / NEW
	PROP STORM SEWER (PROFILE ONLY)		PROP TEMP ASPH PEDESTRIAN CONNECTION
	PROP MILLING & PLACEMENT OF 40mm HL1		PROP SILT FENCE (TREE HOARDING)
	PROP CONC SIDEWALK / BUS PAD		PROP LIMIT OF GRADING
	PROP TACTILE WALKING STRIP INDICATOR		PROP TEMP ROCK CHECK DAM (CPSD 218.210)

- NOTES:**
- ALL EXIST MH TOPS, GAS, WATER & OTHER APPURTENANCES TO BE ADJUSTED TO SUIT PROP GRADES
 - DCB & DCB LEADS TO BE 250mm, CB LEADS TO BE 200mm, UNLESS OTHERWISE NOTED
 - ALL EXISTING CSPPS WITHIN P.O.W. TO BE REMOVED UNLESS OTHERWISE NOTED
 - PROPOSED MEDIANS TO HAVE CONCRETE BARRIER CURB O.P.S.D. 600.080
 - PROPOSED CONCRETE KILLS/STRIP MEDIUM SHALL BE DESIGNED TO 150mm CONCRETE 32MPa 200mm OF 20mm CRUSHER RUN LIMESTONE
 - ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND ARE TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION
 - FOR FINAL LAYOUT APPROVAL OF TRANSIT PADS PRIOR TO INSTALLATION, PLEASE CONTACT DAVID STOWE AT (905) 874-2750 EXT 62379 OR CHRIS LAFLEUR EXT 62620
 - CITY REFERS TO THE CITY OF BRAMPTON
 - SEE DRAWINGS - - - FOR DIMENSIONS
 - SEE DRAWINGS - - - FOR REMOVALS
 - SEE DRAWING - - - FOR TYPICAL CROSS SECTIONS
 - SEE DRAWINGS - - - FOR PAVEMENT ELEVATION DETAILS
 - SEE DRAWINGS - - - FOR PAVEMENT MARKINGS AND SIGNAGE
 - SEE DRAWINGS - - - FOR LANDSCAPING DRAWINGS
 - SEE DRAWINGS - - - FOR STRUCTURAL DRAWINGS
- REFERENCE:** BENCH MARK F2-581 240.393m
One story brick building, no. 43 Regan Road. Tablet is set in the southeast face of concrete foundation, 3.25m northeasterly of the southerly building corner and 0.15m above the sidewalk.



NO.	M.K.	DATE	REVISIONS	CHECKED
01	M.K.	15NOV19	ISSUED FOR 30% REVIEW	M.K.

Public Works & Engineering
Capital Works

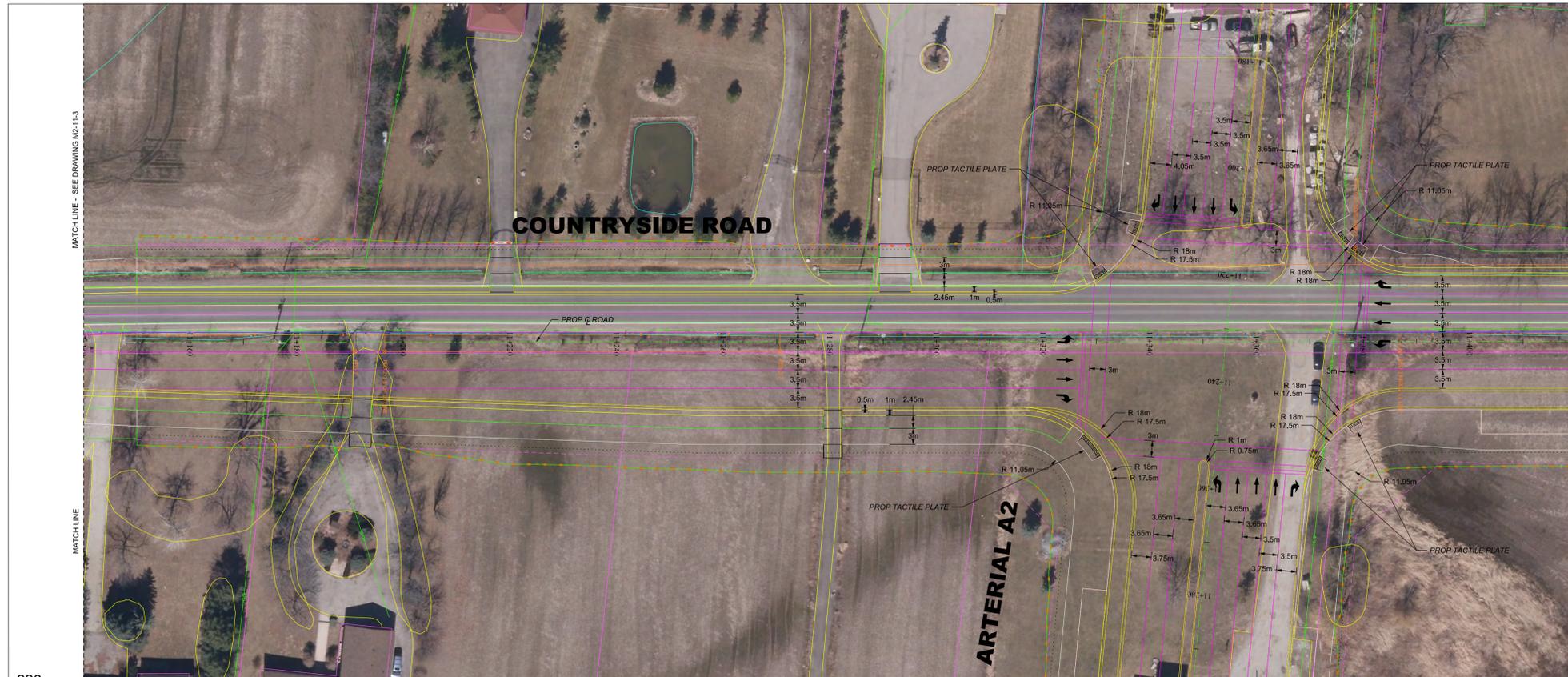


STATION	PROPOSED GRADES	EXISTING GRADES
10+600	216.89	216.99
10+620	216.99	217.09
10+640	217.20	217.30
10+660	217.20	217.40
10+680	217.20	217.50
10+700	217.40	217.61
10+720	217.50	217.71
10+740	217.61	217.81
10+760	217.71	217.91
10+780	217.81	218.01
10+800	217.91	218.12
10+820	218.01	218.22

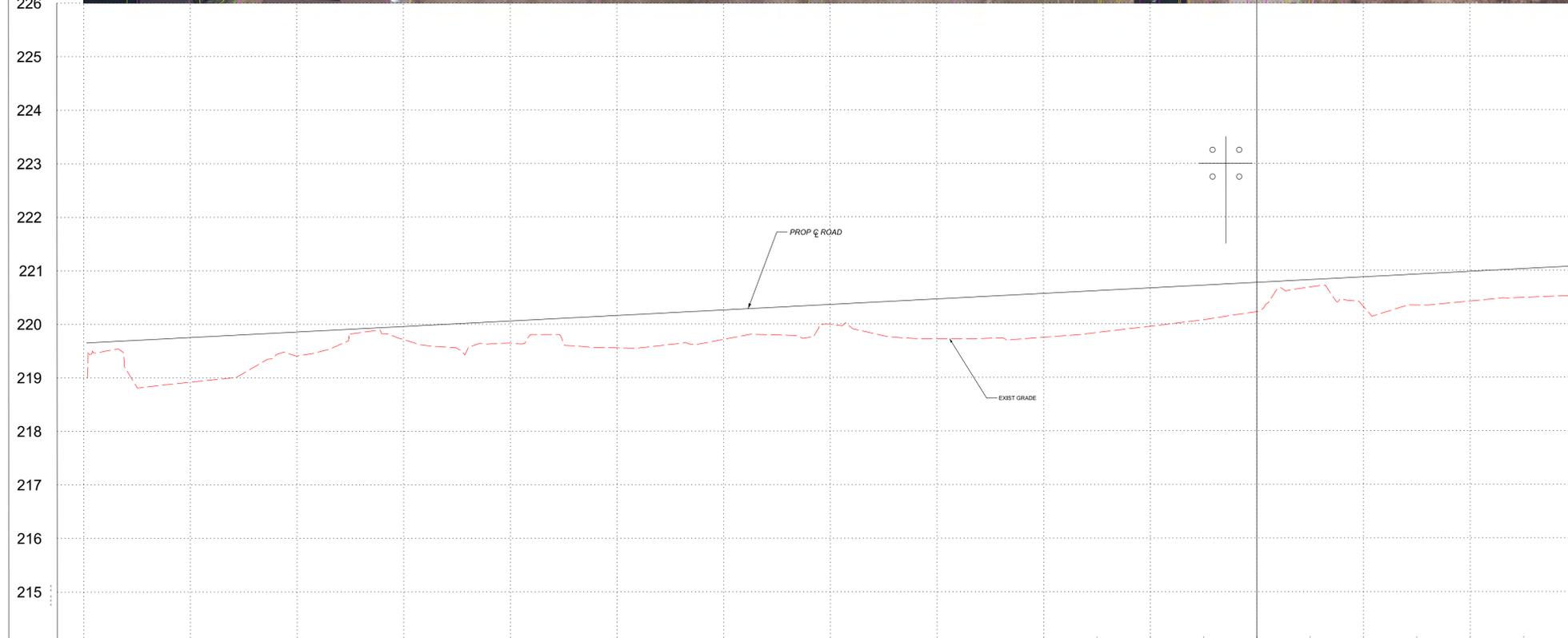
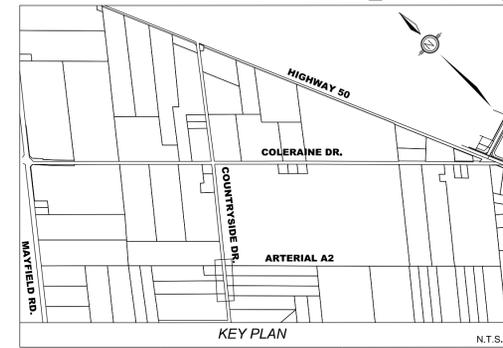
COUNTRYSIDE ROAD
STA. 10+580 TO STA. 10+860

PROPOSED RECONSTRUCTION

SURVEYED BY: BRAMPTON	DATE: NOVEMBER 15, 2019	FILE NO.	xxxxxx
DRAWN BY: A. KARAMBAKSHIAN	CHECKED BY: M. KHAN	DRAWING NO.	SHEET NO.
DESIGNED BY: M. KHAN	CHECKED BY: M. KHAN	XX-XX-XX	X
SCALE: v 1:50 h 1:500	DATE: 15 NOV 19		



FOR STORM AND ROADWORKS ONLY



LEGEND:

PROP CONC BUS BAY	PROP SEED / SOD
PROP CONC KILSTRIP/MEDIAN	PROP IMPRESSED COLOURED CONC
PROP ASPHALT PAVEMENT	PROP ASPH MULTI USE TRAIL
PROP DW REINSTATEMENT	PROP DW RELOCATED / NEW
PROP STORM SEWER (PROFILE ONLY)	PROP TEMP ASPH PEDESTRIAN CONNECTION
PROP MILLING & PLACEMENT OF 40mm HLT	PROP SILT FENCE (TREE HOARDING)
PROP CONC SIDEWALK / BUS PAD	PROP LIMIT OF GRADING
PROP TACTILE WALKING STRIP INDICATOR	PROP TEMP ROCK CHECK DAM (OPSD 219 210)

- NOTES:**
- ALL EXIST MH TOPS, GAS, WATER & OTHER APPURTENANCES TO BE ADJUSTED TO SUIT PROP GRADES
 - DCB & DIB LEADS TO BE 200mm. CB LEADS TO BE 200mm. UNLESS OTHERWISE NOTED
 - ALL EXISTING CSPPS WITHIN R.O.W. TO BE REMOVED UNLESS OTHERWISE NOTED
 - PROPOSED MEDIANS TO HAVE CONCRETE BARRIER CURB O.P.S.D. 800.080
 - PROPOSED CONCRETE KILSTRIP / MEDIAN SHALL BE DESIGNED TO 150mm CONCRETE 32MPa 200mm OF 20mm CRUSHER RUN LIMESTONE
 - ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND ARE TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION
 - FOR FINAL LAYOUT APPROVAL OF TRANSIT PADS PRIOR TO INSTALLATION, PLEASE CONTACT DAVID STONE AT (905) 874-2700 EXT 62378 OR CHRIS LAFLEUR EXT 62620
 - CITY REFERS TO THE CITY OF BRAMPTON
 - SEE DRAWINGS - - - FOR DIMENSIONS
 - SEE DRAWINGS - - - FOR REMOVALS
 - SEE DRAWING - - - FOR TYPICAL CROSS SECTIONS
 - SEE DRAWINGS - - - FOR PAVEMENT ELEVATION DETAILS
 - SEE DRAWINGS - - - FOR PAVEMENT MARKINGS AND SIGNAGE
 - SEE DRAWINGS - - - FOR LANDSCAPING DRAWINGS
 - SEE DRAWINGS - - - FOR STRUCTURAL DRAWINGS
- REFERENCE:** BENCH MARK F2-581 240.393m
One story brick building, no 42 Regan Road. Tablet is set in the southeast face of concrete foundation, 3.25m northwesterly of the southerly building corner and 0.15m above the sidewalk.

60m 50m 40m 30m 20m 10m 0m 5m 10m

NO.	BY	DATE	REVISIONS	CHECKED
01	M.K.	15NOV19	ISSUED FOR 30% REVIEW	M.K.

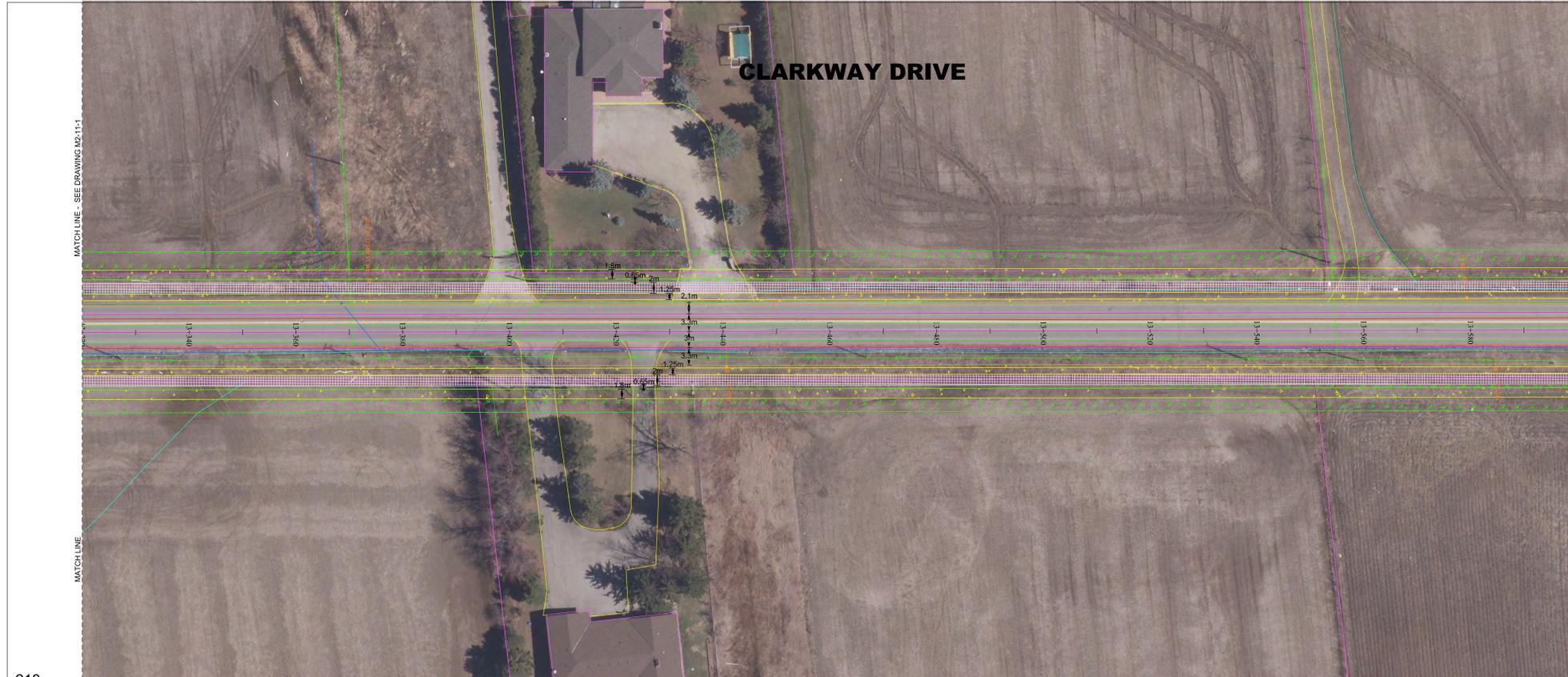
Public Works & Engineering
Capital Works

STATION	PROPOSED GRADES	CENTERLINE CHAINAGE
11+00	219.75	
11+100	219.85	
11+200	219.96	
11+220	220.06	
11+260	220.16	
11+280	220.26	
11+290	220.37	
11+300	220.47	
11+320	220.57	
11+340	220.67	
11+360	220.77	
11+380	220.88	
11+400	220.98	
11+420	221.08	

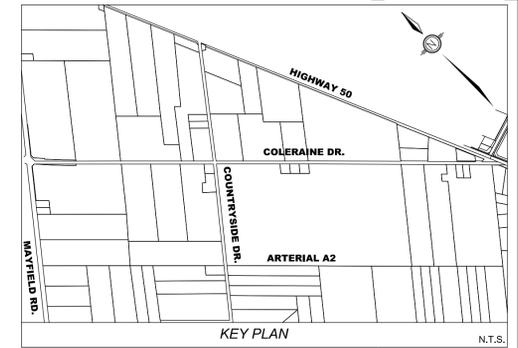
COUNTRYSIDE ROAD
STA. 11+140 TO STA. 11+420

PROPOSED RECONSTRUCTION

SURVEYED BY: BRAMPTON	DATE: NOVEMBER 15, 2019	FILE NO.	xxxxxx
DRAWN BY: A. KARAMBAKSHIAN	CHECKED BY: M. KHAN	DRAWING NO.	SHEET NO.
DESIGNED BY: M. KHAN	CHECKED BY: M. KHAN	XX-XX-XX	
SCALE: v 1:50 h 1:500	DATE: 15 NOV 19	X	



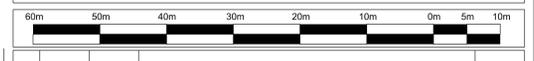
FOR STORM AND ROADWORKS ONLY



LEGEND:

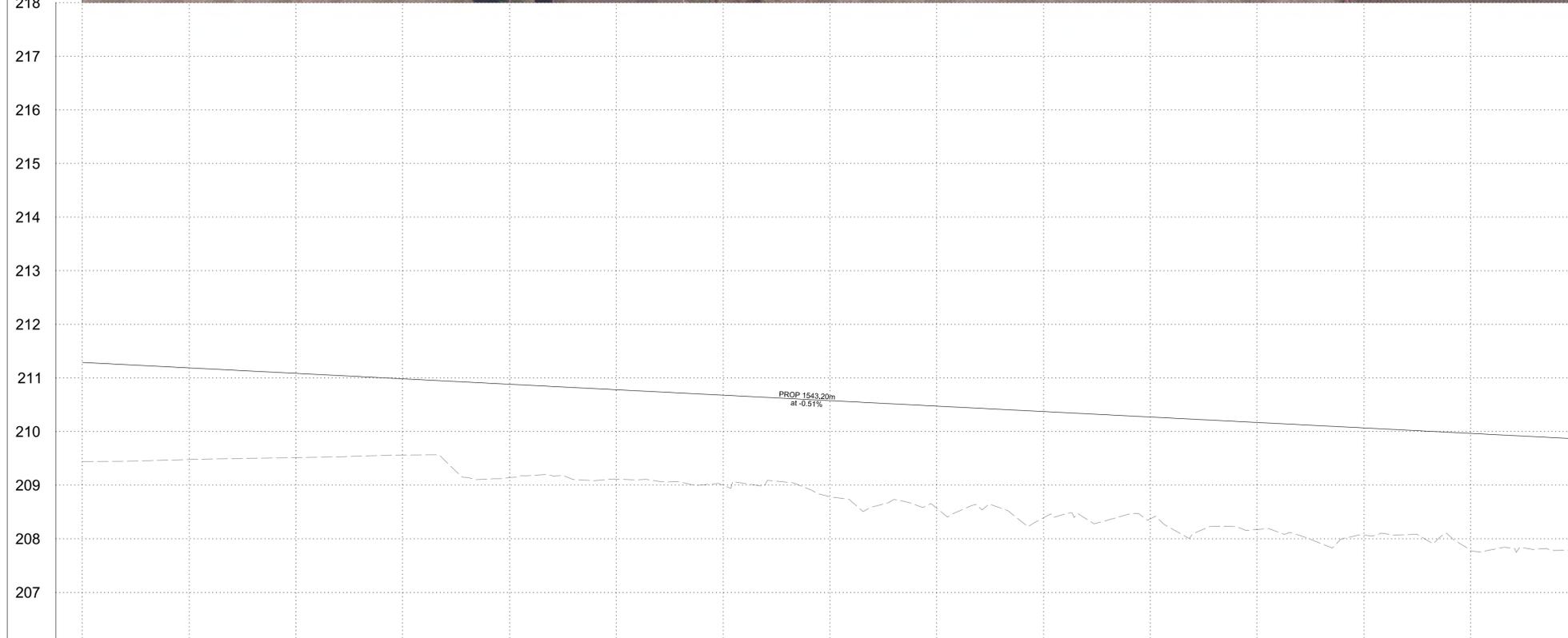
PROP CONC BUS BAY	PROP SEED / SOD
PROP CONC KILLSTRIP/MEDIAN	PROP IMPRESSED COLOURED CONC
PROP ASPHALT PAVEMENT	PROP ASPH MULTI USE TRAIL
PROP DW REINSTATEMENT	PROP DW RELOCATED / NEW
PROP STORM SEWER (PROFILE ONLY)	PROP TEMP ASPH PEDESTRIAN CONNECTION
PROP MILLING & PLACEMENT OF 40mm HL1	PROP SILT FENCE (TREE HOARDING)
PROP CONC SIDEWALK / BUS PAD	PROP LIMIT OF GRADING
PROP TACTILE WALKING STRIP INDICATOR	PROP TEMP ROCK CHECK DAM (CRSD 218 210)

- NOTES:**
- ALL EXIST MH TOPS, GAS, WATER & OTHER APPURTENANCES TO BE ADJUSTED TO SUIT PROP GRADES
 - DCB & DCB LEADS TO BE 200mm, CB LEADS TO BE 200mm, UNLESS OTHERWISE NOTED
 - ALL EXISTING CSPPS WITHIN C.O.W. TO BE REMOVED UNLESS OTHERWISE NOTED
 - PROPOSED MEDIANS TO HAVE CONCRETE BARRIER CURB O.P.S.D. 600.080
 - PROPOSED CONCRETE KILLSTRIP / MEDIAN SHALL BE DESIGNED TO 150mm CONCRETE 32MPa 200mm OF 20mm CRUSHER RUN LIMESTONE
 - ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND ARE TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION
 - FOR FINAL LAYOUT APPROVAL OF TRANSIT PADS PRIOR TO INSTALLATION, PLEASE CONTACT DAVID STOWE AT (905) 874-2750 EXT 62379 OR CHRIS LAFLEUR EXT 62620
 - CITY REFERS TO THE CITY OF BRAMPTON
 - SEE DRAWINGS - - - FOR DIMENSIONS
 - SEE DRAWINGS - - - FOR REMOVALS
 - SEE DRAWING - - - FOR TYPICAL CROSS SECTIONS
 - SEE DRAWINGS - - - FOR PAVEMENT ELEVATION DETAILS
 - SEE DRAWINGS - - - FOR PAVEMENT MARKINGS AND SIGNAGE
 - SEE DRAWINGS - - - FOR LANDSCAPING DRAWINGS
 - SEE DRAWINGS - - - FOR STRUCTURAL DRAWINGS
- REFERENCE:** BENCH MARK F2-581 240.393m
One story brick building, no. 43 Regan Road. Tablet is set in the southeast face of concrete foundation, 3.2m northeasterly of the southerly building corner and 0.15m above the sidewalk.



NO.	M.K.	DATE	REVISIONS	CHECKED
01	M.K.	15NOV19	ISSUED FOR 30% REVIEW	M.K.

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STORM INVERT	SANITARY INVERT	PROPOSED GRADES	CENTERLINE CHAINAGE
		13+320 211.29	13+320
		13+340 211.19	13+340
		13+360 211.09	13+360
		13+380 210.98	13+380
		13+400 210.88	13+400
		13+420 210.78	13+420
		13+440 210.68	13+440
		13+460 210.58	13+460
		13+480 210.48	13+480
		13+500 210.37	13+500
		13+520 210.27	13+520
		13+540 210.17	13+540
		13+560 210.07	13+560
		13+580 209.97	13+580
		13+600 209.86	13+600
STORM INVERT	SANITARY INVERT	PROPOSED GRADES	CENTERLINE CHAINAGE

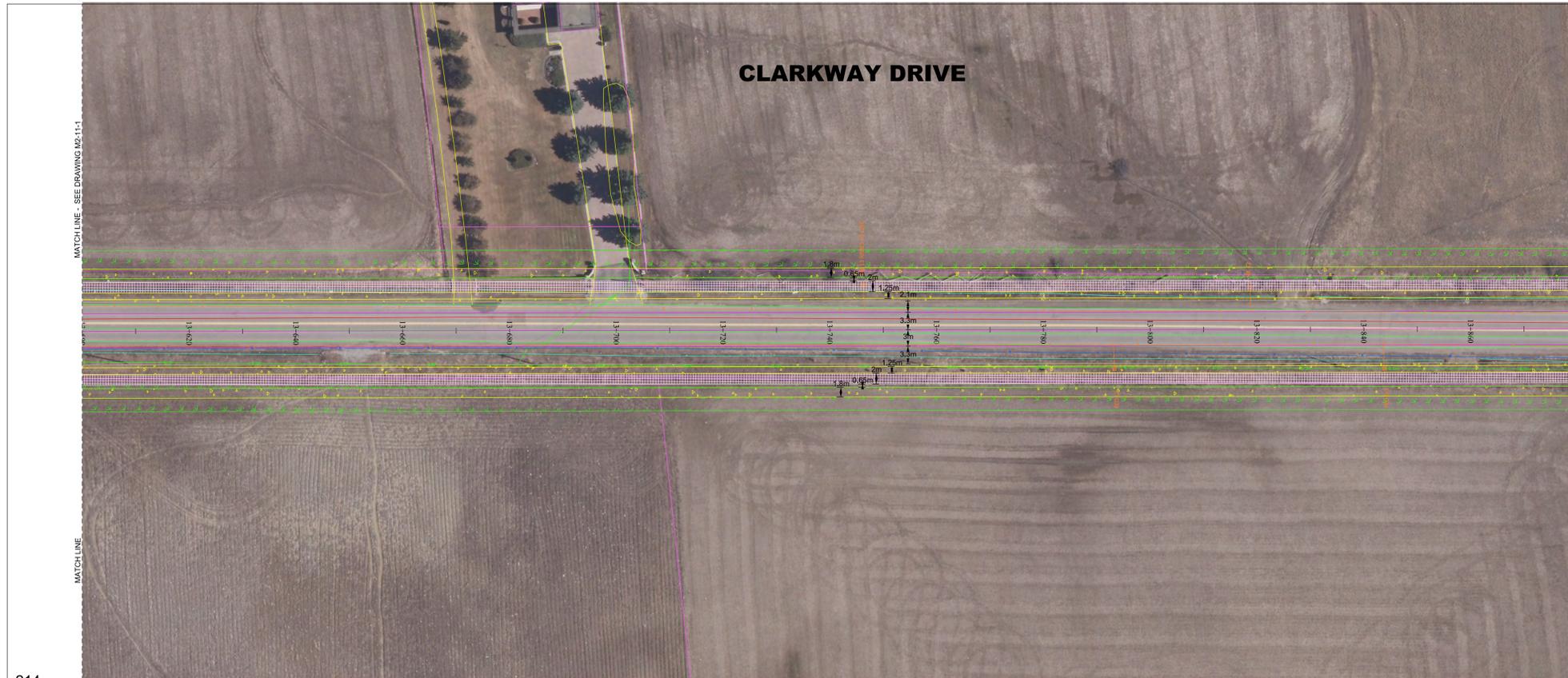
PROJECT	DWG. NO.		
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CLARKWAY DRIVE
STA. 13+320 TO STA. 13+600

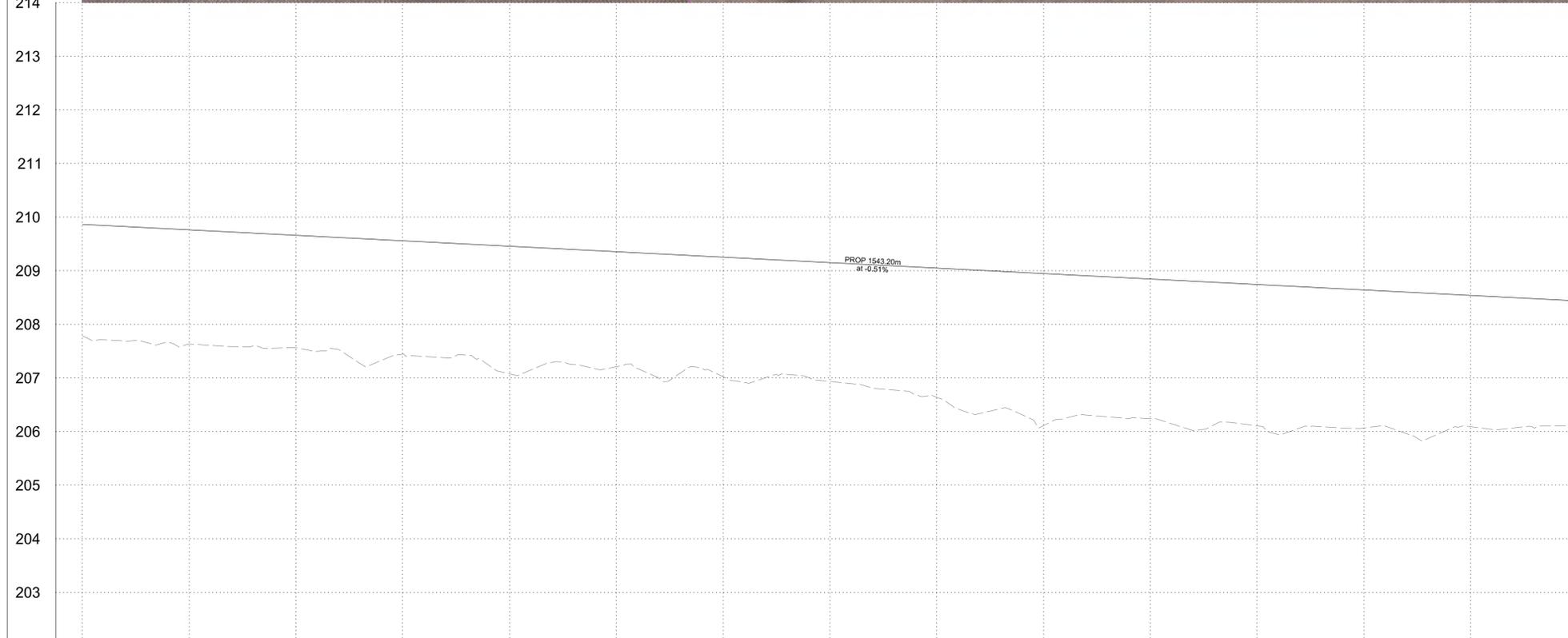
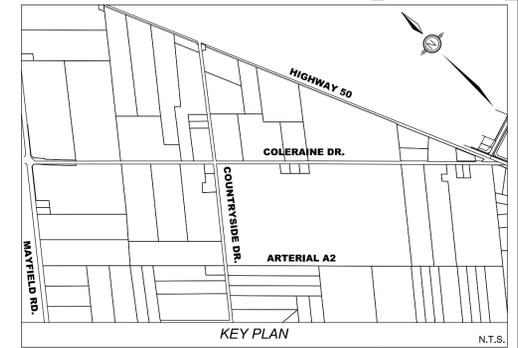
Description

PROPOSED RECONSTRUCTION

SURVEYED BY: BRAMPTON	DATE: NOVEMBER 15, 2019	FILE NO.	xxxxx
DRAWN BY: A. KARAMBAKSHIAN	CHECKED BY: M. KHAN	DRAWING NO.	
DESIGNED BY: M. KHAN	CHECKED BY: M. KHAN	XX-XX-XX	X
SCALE: v 1:50 h 1:500	DATE: 15 NOV 19		



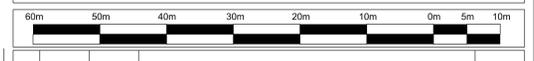
FOR STORM AND ROADWORKS ONLY



LEGEND:

PROP CONC BUS BAY	PROP SEED / SOD
PROP CONC KILLS/PAVEDIAN	PROP IMPRESSED COLOURED CONC
PROP ASPHALT PAVEMENT	PROP ASPH MULTI USE TRAIL
PROP DW REINSTATEMENT	PROP DW RELOCATED / NEW
PROP STORM SEWER (PROFILE ONLY)	PROP TEMP ASPH PEDESTRIAN CONNECTION
PROP MILLING & PLACEMENT OF 40mm HL1	PROP SILT FENCE (TREE HOARDING)
PROP CONC SIDEWALK / BUS PAD	PROP LIMIT OF GRADING
PROP TACTILE WALKING STRIP INDICATOR	PROP TEMP ROCK CHECK DAM (CPSD 218 210)

- NOTES:**
- ALL EXIST MH TOPS, GAS, WATER & OTHER APPURTENANCES TO BE ADJUSTED TO SUIT PROP GRADES
 - DCB & DCB LEADS TO BE 250mm, CB LEADS TO BE 200mm, UNLESS OTHERWISE NOTED
 - ALL EXISTING CSPPS WITHIN C.O.W. TO BE REMOVED UNLESS OTHERWISE NOTED
 - PROPOSED MEDIANS TO HAVE CONCRETE BARRIER CURB O.P.S.D. 600.080
 - PROPOSED CONCRETE KILLS/PAVEDIAN SHALL BE DESIGNED TO 150mm CONCRETE 32MPa 200mm OF 20mm CRUSHER RUN LIMESTONE
 - ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND ARE TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION
 - FOR FINAL LAYOUT APPROVAL OF TRANSIT PADS PRIOR TO INSTALLATION, PLEASE CONTACT DAVID STOWE AT (905) 874-2750 EXT 62379 OR CHRIS LAFLEUR EXT 62620
 - CITY REFERS TO THE CITY OF BRAMPTON
 - SEE DRAWINGS - - - FOR DIMENSIONS
 - SEE DRAWINGS - - - FOR REMOVALS
 - SEE DRAWING - - - FOR TYPICAL CROSS SECTIONS
 - SEE DRAWINGS - - - FOR PAVEMENT ELEVATION DETAILS
 - SEE DRAWINGS - - - FOR PAVEMENT MARKINGS AND SIGNAGE
 - SEE DRAWINGS - - - FOR LANDSCAPING DRAWINGS
 - SEE DRAWINGS - - - FOR STRUCTURAL DRAWINGS



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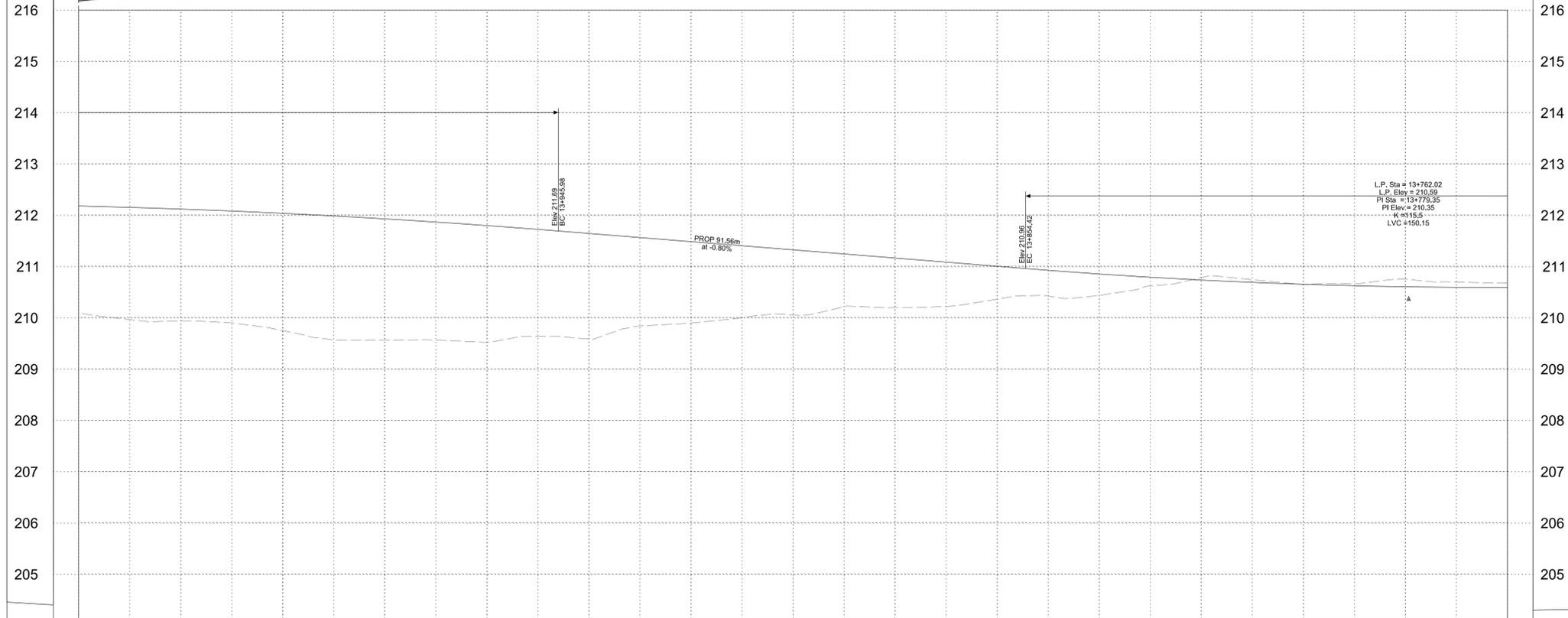
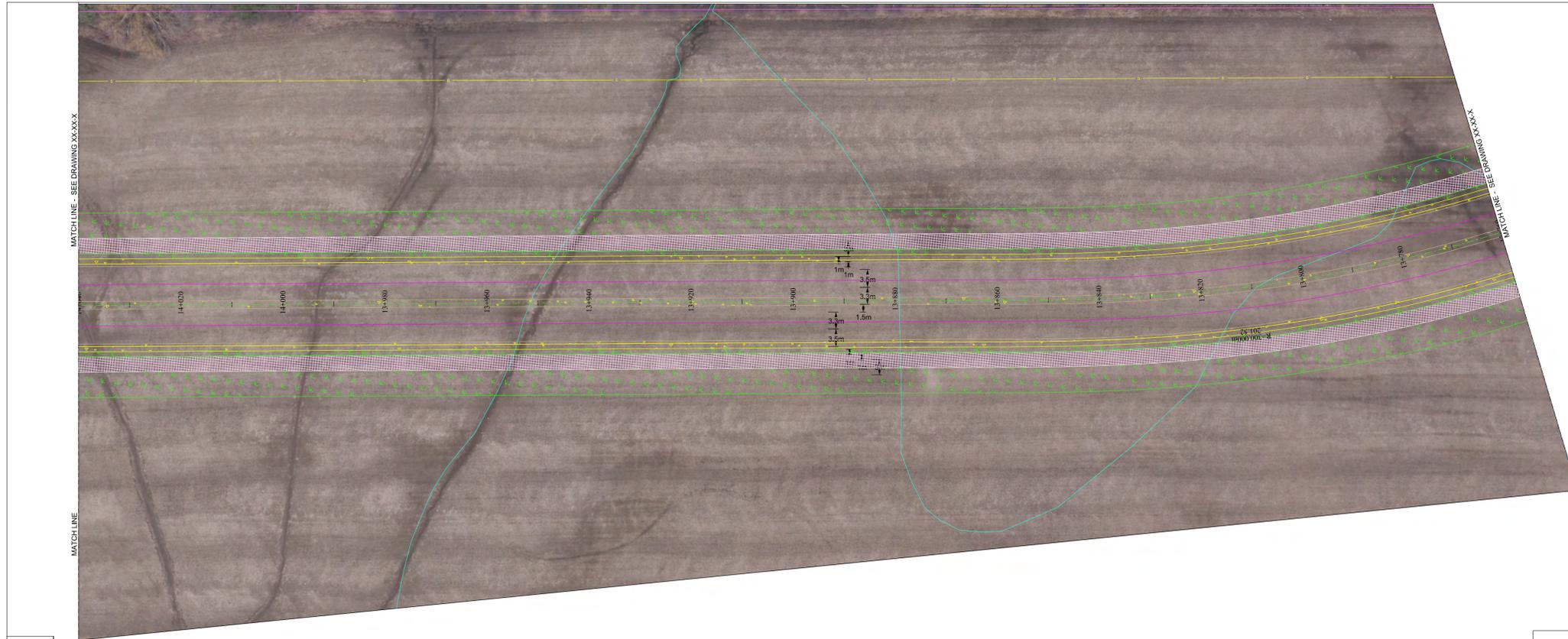
STORM INVERT											STORM INVERT					
SANITARY INVERT											SANITARY INVERT					
PROPOSED GRADES	13+600 209.96	13+620 209.76	13+640 209.66	13+660 209.56	13+680 209.46	13+700 209.36	13+720 209.25	13+740 209.15	13+760 209.05	13+780 208.95	13+800 208.85	13+820 208.74	13+840 208.64	13+860 208.54	13+880 208.44	PROPOSED GRADES
CENTERLINE CHAINAGE	13+600	13+620	13+640	13+660	13+680	13+700	13+720	13+740	13+760	13+780	13+800	13+820	13+840	13+860	13+880	CENTERLINE CHAINAGE

CLARKWAY DRIVE
STA. 13+600 TO STA. 13+880

Description

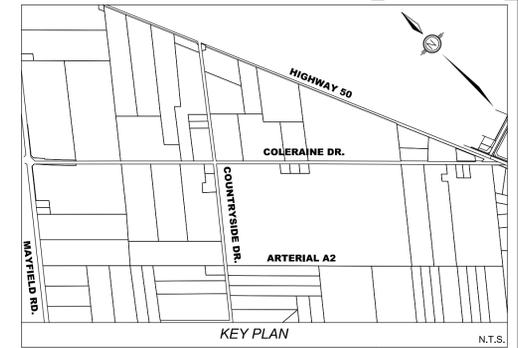
PROPOSED RECONSTRUCTION

SURVEYED BY: BRAMPTON	DATE: NOVEMBER 15, 2019	FILE NO.	xxxxxx
DRAWN BY: A. KARAMBAKSHIAN	CHECKED BY: M. KHAN	DRAWING NO.	
DESIGNED BY: M. KHAN	CHECKED BY: M. KHAN	XX-XX-XX	
SCALE: v 1:50 h 1:500	DATE: 15 NOV 19	X	



STATION	PROPOSED GRADES	CENTERLINE CHAINAGE	STORM INVERT	SANITARY INVERT
14+020	212.18			
14+000	212.12			
14+000	212.03			
13+980	211.93			
13+960	211.79			
13+946	211.69			
13+940	211.64			
13+920	211.48			
13+900	211.32			
13+880	211.16			
13+860	211.00			
13+854	210.96			
13+840	210.85			
13+820	210.73			
13+800	210.65			
13+780	210.60			
13+760	210.59			

FOR STORM AND ROADWORKS ONLY



LEGEND:

	PROP CONC BUS BAY		PROP SEED / SOD
	PROP CONC KILLSTRIP/MEDIAN		PROP IMPRESSED COLOURED CONC
	PROP ASPHALT PAVEMENT		PROP ASPH MULTI USE TRAIL
	PROP DW REINSTATEMENT		PROP DW RELOCATED / NEW
	PROP STORM SEWER (PROFILE ONLY)		PROP SILTY FENCE (TREE HOARDING)
	PROP MILLING & PLACEMENT OF 40mm H.L.		PROP LIMIT OF GRADING
	PROP CONC SIDEWALK / BUS PAD		PROP TEMP ROCK CHECK DAM (CPSD 218 210)
	PROP TACTILE WALKING STRIP INDICATOR		

- NOTES:**
- ALL EXIST MH TOPS, GAS, WATER & OTHER APPURTENANCES TO BE ADJUSTED TO SUIT PROP GRADES
 - DCB & DCB LEADS TO BE 200mm. CB LEADS TO BE 200mm. UNLESS OTHERWISE NOTED
 - ALL EXISTING CSPPS WITHIN P.O.W. TO BE REMOVED UNLESS OTHERWISE NOTED
 - PROPOSED MEDIANS TO HAVE CONCRETE BARRIER CURB O.P.S.D. 600.080
 - PROPOSED CONCRETE KILLSTRIP / MEDIAN SHALL BE DESIGNED TO 150mm CONCRETE 32MPa 200mm OF 20mm CRUSHER RUN LIMESTONE
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 - SEE DRAWINGS - - - FOR LANDSCAPING DRAWINGS
 - SEE DRAWINGS - - - FOR STRUCTURAL DRAWINGS

REFERENCE: BENCH MARK F2-581 240.393m
 One story brick building, no. 42 Regan Road. Tablet is set in the southeast face of concrete foundation, 3.2m northeasterly of the southerly building corner and 0.15m above the sidewalk.

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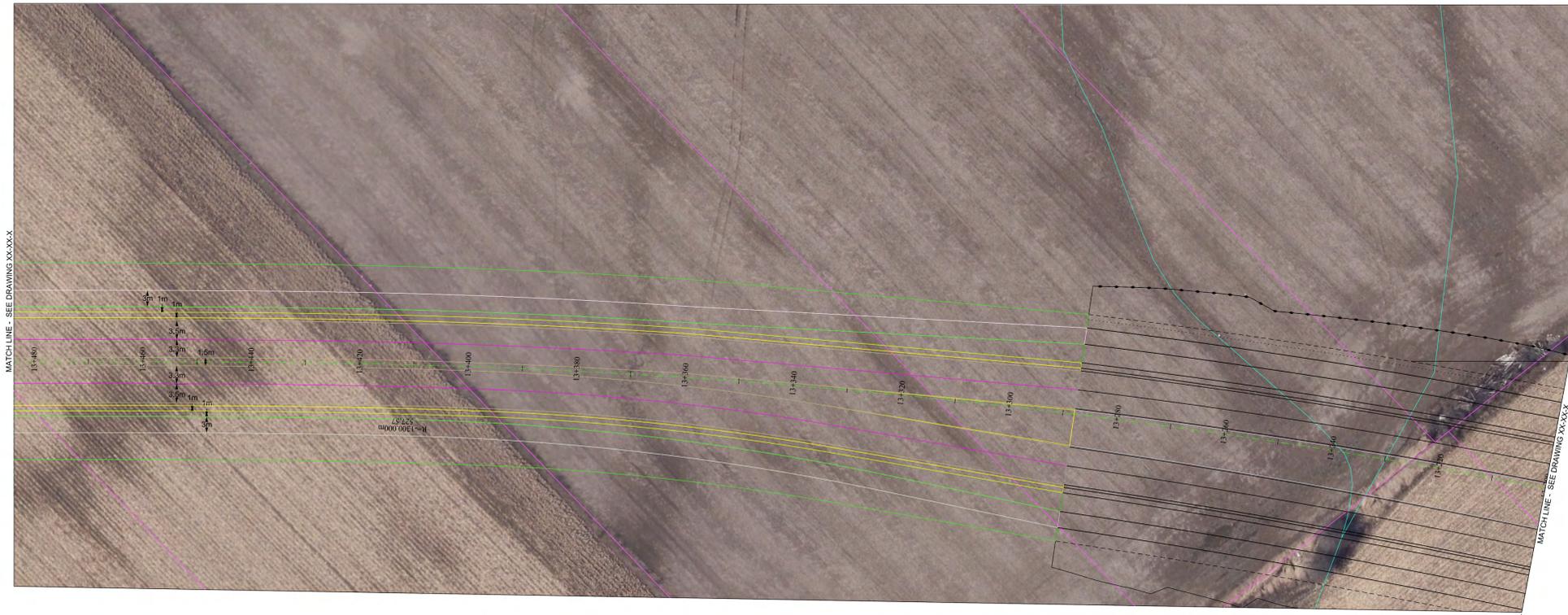
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PROJECT _____ DWG. NO. _____

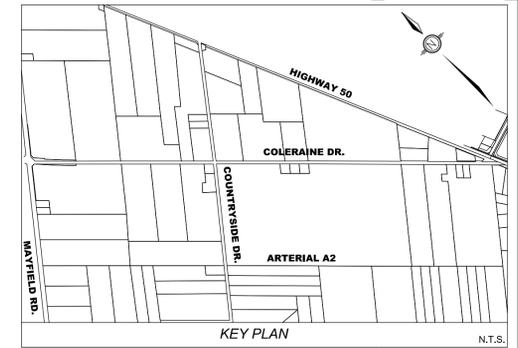
EAST WEST
STA. 14+040 TO STA. 13+760
 Description

PROPOSED RECONSTRUCTION

SURVEYED BY: BRAMPTON	DATE: NOVEMBER 15, 2019	FILE NO.	xxxxx
DRAWN BY: A. KARAMBAKSHIAN	CHECKED BY: M. KHAN	DRAWING NO.	SHEET NO.
DESIGNED BY: M. KHAN	CHECKED BY: M. KHAN	XX-XX-XX	
SCALE: v 1:50 h 1:500	DATE: 15 NOV 19	X	



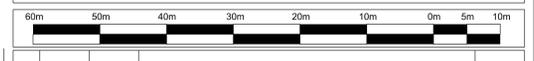
FOR STORM AND ROADWORKS ONLY



LEGEND:

PROP CONC BUS BAY	PROP SEED / SOD
PROP CONC KILLS/IMP/MEADIAN	PROP IMPRESSED COLOURED CONC
PROP ASPHALT PAVEMENT	PROP ASPH MULTI USE TRAIL
PROP DW REINSTATEMENT	PROP DW RELOCATED / NEW
PROP STORM SEWER (PROFILE ONLY)	PROP TEMP ASPH PEDESTRIAN CONNECTION
PROP MILLING & PLACEMENT OF 40mm HL1	PROP SILT FENCE (TREE HOARDING)
PROP CONC SIDEWALK / BUS PAD	PROP LIMIT OF GRADING
PROP TACTILE WALKING STRIP INDICATOR	PROP TEMP ROCK CHECK DAM (CPSD 218 210)

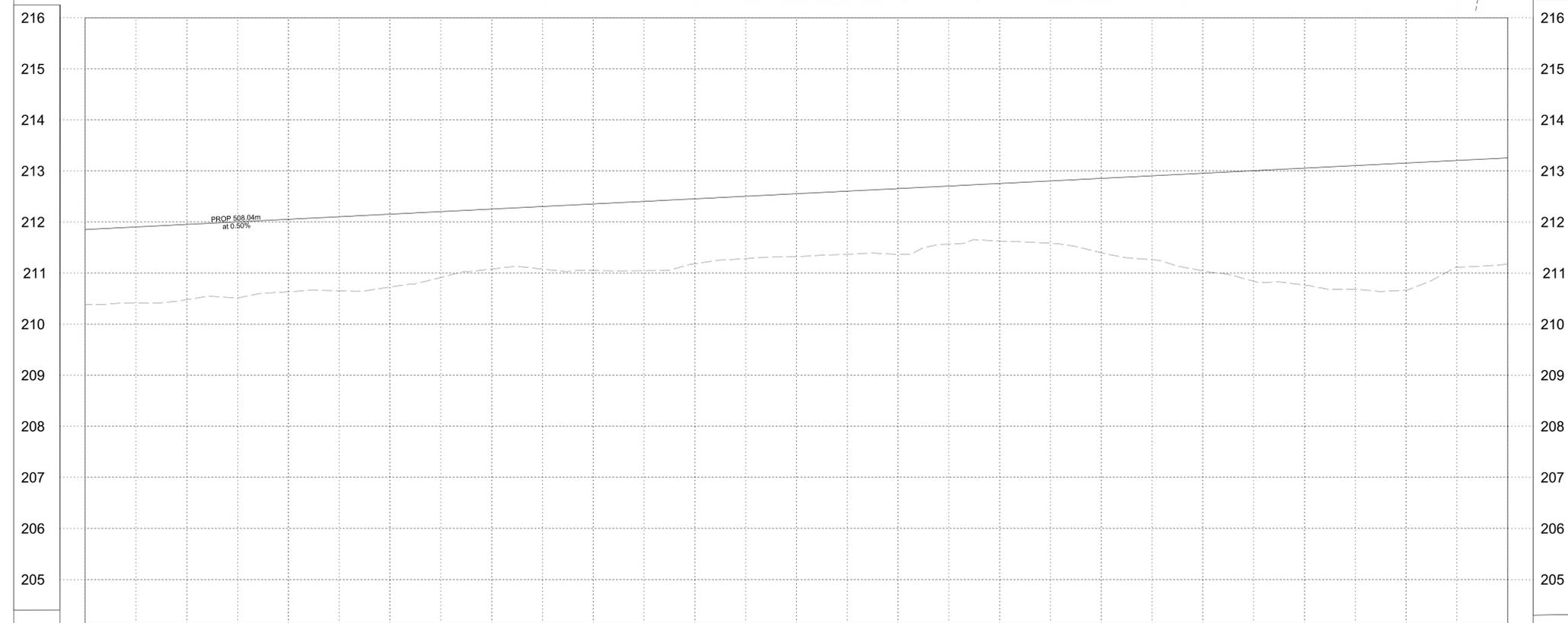
- NOTES:**
- ALL EXIST MH TOPS, GAS, WATER & OTHER APPURTENANCES TO BE ADJUSTED TO SUIT PROP GRADES
 - DCB & D/CB LEADS TO BE 200mm, CB LEADS TO BE 250mm, UNLESS OTHERWISE NOTED
 - ALL EXISTING CSRS WITHIN P.O.W. TO BE REMOVED UNLESS OTHERWISE NOTED
 - PROPOSED MEDIANS TO HAVE CONCRETE BARRIER CURB O.P.S.D. 600.080
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- REFERENCE:** BENCH MARK F2-581 240.393m
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Capital Works

working with you



STORM INVERT															STORM INVERT	
SANITARY INVERT															SANITARY INVERT	
PROPOSED GRADES	13+480	13+460	13+440	13+420	13+400	13+380	13+360	13+340	13+320	13+300	13+280	13+260	13+240	13+220	13+200	PROPOSED GRADES
CENTERLINE CHAINAGE	13+480	13+460	13+440	13+420	13+400	13+380	13+360	13+340	13+320	13+300	13+280	13+260	13+240	13+220	13+200	CENTERLINE CHAINAGE

EAST WEST
STA. 13+480 TO STA. 13+200

Description

PROPOSED RECONSTRUCTION

SURVEYED BY: BRAMPTON	DATE: NOVEMBER 15, 2019	FILE NO.	xxxxxx
DRAWN BY: A. KARAMBAKSHIAN	CHECKED BY: M. KHAN	DRAWING NO.	
DESIGNED BY: M. KHAN	CHECKED BY: M. KHAN	XX-XX-XX	
SCALE: v 1:50 h 1:500	DATE: 15 NOV 19		X

Appendix C: Assessor Qualifications

ASSESSOR QUALIFICATIONS

Peter Popkin, Ph.D., CAHP, MCIfA, Associate Archaeologist

Dr. Popkin is an Associate Archaeologist at Wood based in Wood's Richmond Hill office. Peter has over 20 years of professional experience in both consulting and academic archaeology within Canada and internationally. In Ontario, he has successfully undertaken hundreds of consultant archaeology projects and has acted as Senior Reviewer (QA/QC) for numerous Cultural Heritage Reports. Dr. Popkin has lectured in archaeology at York University, the University of Toronto and Wilfrid Laurier University in Ontario, as well as University College London, King's College London, and Birkbeck College, in the UK. Dr. Popkin holds a Professional Archaeological Licence (P362) from the Ministry of Heritage, Sport, Tourism and Culture Industries, is a Professional Member of the Canadian Association of Heritage Professionals (CAHP) and is a full Member of the Chartered Institute for Archaeologists (MCIfA). Dr. Popkin received his Ph.D. from the Institute of Archaeology, University College London, London, UK (2009).

Heidy Schopf, MES, CAHP – Senior Cultural Heritage Specialist

Heidy Schopf the Senior Cultural Heritage Specialist in Wood's cultural heritage resources group. She has nine years experience in Cultural Resource Management. She is a professional member of the Canadian Association of Heritage Professionals (CAHP). She has worked on a wide variety of projects throughout Ontario, including: cultural heritage resources assessments, heritage impact assessments, documentation reports, cultural heritage evaluations, strategic conservation plans, heritage conservation district studies and plans and archaeological assessments. Ms. Schopf has extensive experience applying local, Provincial, and Federal heritage guidelines and regulations to evaluate protected and potential cultural heritage properties. She is skilled at carrying out impact assessments and developing mitigation measures to conserve the heritage attributes of properties where changes are proposed.

Chelsea Dickinson B.A., Research Archaeologist - Ms. Dickinson has been working in consulting archaeology since 2015. During this time, Ms. Dickinson has developed a variety of archaeological skills, from background research to Stage 4 excavations laboratory work, and artifact analysis. In Ontario Ms. Dickinson has worked on a variety of archaeological projects triggered by the Planning and Environmental Assessment Acts participating in a multitude of environmental assessments (EA) conducted for the development of wind and solar farms, hydro line corridors and municipal roadways. Ms. Dickinson has been the co-author on a multitude of archaeological reports specializing in historical background research spanning across Southern Ontario. Ms. Dickinson has had the privilege of working alongside a multitude of First Nation community members while conducting archaeological assessments in both Northern and Southern Ontario. Ms. Dickinson holds an honorary Degree in Near Eastern and Classical Archaeology from Wilfrid

Laurier University, and a Post-Graduate Certificate in Geographical Information Systems from Fanshawe College. Ms. Dickinson holds an **Applied Research Licence (R1194)** from the Ontario Ministry of Heritage, Sport, Tourism and Culture Industries.

Appendix D: Limitations

Limitations

1. The work performed in the preparation of the Cultural Heritage Assessment Report: Existing Conditions and Impact Assessment (CHAR) and the conclusions presented are subject to the following:
 - (a) The Standard Terms and Conditions which form a part of our Professional Services Contract;
 - (b) The Scope of Services;
 - (c) Time and Budgetary limitations as described in our Contract; and,
 - (d) The Limitations stated herein.
2. No other warranties or representations, either expressed or implied, are made as to the professional services provided under the terms of our Contract, or the conclusions presented.
3. The conclusions presented in the report are based, in part, on visual observations of the Study Area. Our conclusions cannot and are not extended to include those portions of the Study Area which were not reasonably available, in Wood Environment & Infrastructure's opinion, for direct observation.
4. The potential and protected cultural heritage resources encountered at the Study Area were assessed, within the limitations set out above, having due regard for applicable heritage regulations as of the date of the inspection.
5. Services including a background study and fieldwork were performed. Wood Environment & Infrastructure's work, including archival studies and fieldwork, were completed in a professional manner and in accordance with the Ministry of Heritage, Sport, Tourism and Culture Industries' guidelines. It is possible that Cultural heritage resources not visible from the public realm may be within, or adjacent to the Study Area.
6. The utilization of Wood Environment & Infrastructure's services during the implementation of any further cultural heritage work recommended will allow Wood Environment & Infrastructure to observe compliance with the conclusions and recommendations contained the CHAR. Wood Environment & Infrastructure's involvement will also allow for changes to be made as necessary to suit field conditions as they are encountered.
7. This report is for the sole use of the parties to whom it is addressed unless expressly stated otherwise in the report or contract. Any use which any third party makes of the report, in whole or in part, or any reliance thereon, or decisions made based on any information of conclusions in the report, is the sole responsibility of such third party. Wood Environment & Infrastructure accepts no responsibility whatsoever for damages or loss of any nature or kind suffered by any such third party as a result of actions taken or not taken or decisions made in reliance on the report or anything set out therein.
8. This report is not to be given over to any third-party other than a governmental entity, for any purpose whatsoever without the written permission of Wood Environment & Infrastructure, which shall not be unreasonably withheld.