

**Korsiak Urban Planning - DMHH Partnership (Mattamy & D'Orazio)**

Application to Amend the Zoning By-Law and for a Draft Plan of Subdivision

Address: 10512 Mississauga Road  
(West of Mississauga Rd. and North of Lagerfeld Dr.)

City File #: OZS-2025-0015

Ward: 6



**Purpose and Effect**

The purpose of the application is to permit 299 single detached, 217 street townhouse, and 52 back-to-back townhouse dwelling units, with additional units in two future Mixed Use Residential (Medium) blocks. The application also contemplates rezoning the lands from "Agricultural (A)" to site-specific residential zones, and Open Space [OS] and Floodplain [F] zones.



Proposed Concept Draft Plan of Subdivision

**We value your input...**

Any person may express their support, opposition or comments to this application.

**How can I get involved?**

Please note: City Hall is now hosting in-person Public Meetings. A hybrid virtual option is also offered. Pre-registration is required to speak or delegate virtually at the public meeting. Please email [CityClerksOffice@brampton.ca](mailto:CityClerksOffice@brampton.ca) no later than 4:30 p.m. on Tuesday, May 6<sup>th</sup>, 2025, to pre-register and receive more details.

To ensure a presentation on this item is provided at the meeting, interest for this will need to be indicated by either attending in person or indicating this, or by emailing [CityClerksOffice@brampton.ca](mailto:CityClerksOffice@brampton.ca) to request a presentation prior to 4:30pm on the day of the meeting.

- Send comments to Raj Lamichhane, Development Planner ([Raj.Lamichhane@brampton.ca](mailto:Raj.Lamichhane@brampton.ca)); AND/OR
- Mail comments to:  
  
Planning, Building and Growth Management Department  
2 Wellington Street West, 3rd Floor  
Brampton ON L6Y 4R2; AND/OR
- Submit an audio or video recording (up to 5 minutes) to be played at the meeting. Submissions may be sent to [CityClerksOffice@brampton.ca](mailto:CityClerksOffice@brampton.ca) and must be received no later than 4:30 p.m. on Tuesday, May 6<sup>th</sup>, 2025.

If you wish to be notified of the decision of the City in respect to a proposed plan of subdivision, on a Zoning By-law Amendment, adoption of an Official Plan Amendment, or of the refusal of a request to amend the Official Plan, you must make a written request to:

City Clerks, City of Brampton  
2 Wellington Street West  
Brampton, ON L6Y 4R2

**More Information:**

Submitted supporting studies and drawings are available on the City's website under Current Development Applications on the Planning & Development page, and by clicking on "Search for an Application", and using City File #OZS-2025-0015 on the following web page: <https://planning.brampton.ca/>

Please note that the current Provincial Planning Act legislation only permits certain agencies/bodies to appeal Official Plan or Zoning By-law Amendment applications. For more information about this matter, contact the City Planners identified in this notice

**Public Notice**



**Monday,  
May 12<sup>th</sup>, 2025**



**7:00 p.m.**



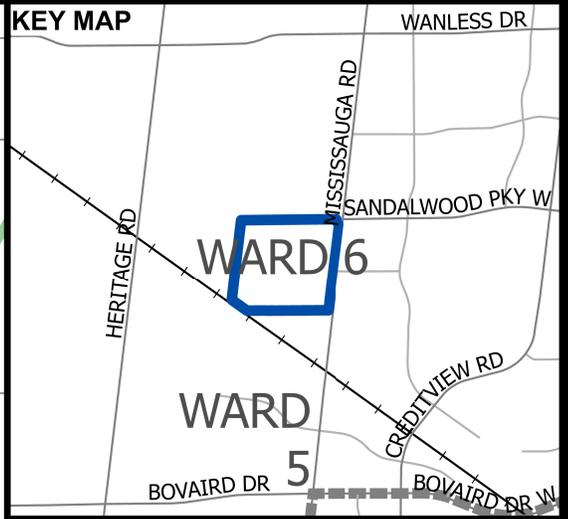
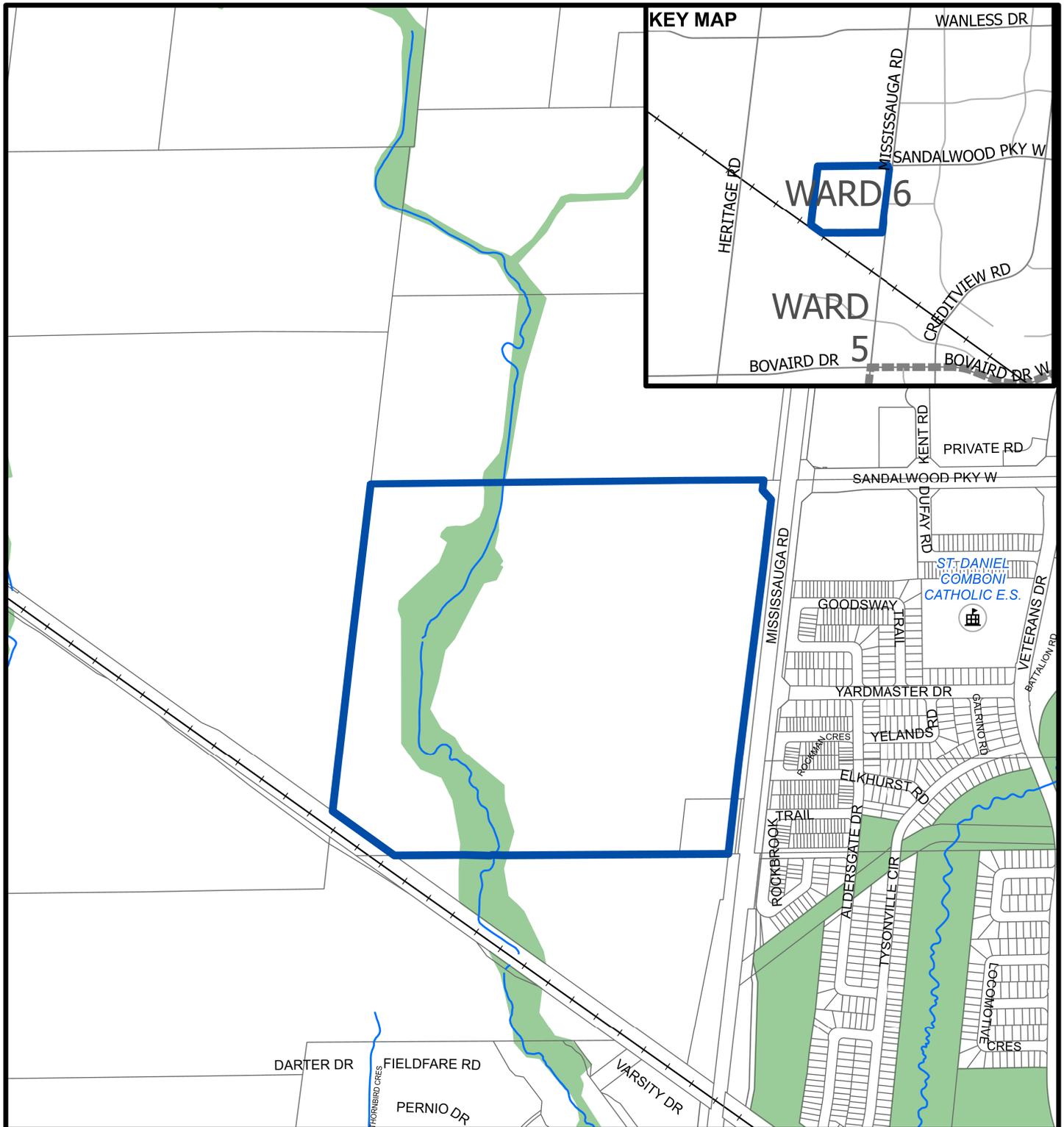
**City Hall Council Chamber & Virtual Option**  
<http://video.isilive.ca/brampton/live.html>

*Information is available in alternative / accessible format upon request.*

If you have received this notice as an owner of a property and the property contains 7 or more residential units, the City requests that you post this notice in a location that is visible to all the residents, such as on a notice board in the lobby.

**Important Information about making a submission**

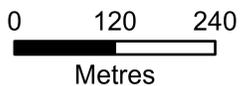
If an agency/body with appeal rights as per the Planning Act does not make oral submissions at a public meeting or make written submissions to the City of Brampton with respect to a proposed Official Plan Amendment or proposed Zoning By-law Amendment before a Zoning By-law is passed, or before a proposed Official Plan Amendment is adopted:  
(a) They may not be entitled to appeal the decision of the City of Brampton to the Ontario Land Tribunal; and,  
(b) They may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.



- |               |                   |            |              |
|---------------|-------------------|------------|--------------|
| Subject Lands | Lake              | Recreation | School       |
| Parcel Fabric | Major Watercourse | Cemetery   | Fire Station |
| Park          | Railway           | Hospital   |              |



PLANNING, BUILDING AND GROWTH MANAGEMENT



Author: N Ramusca  
Date: 2025/03/31

**APPENDIX 2  
LOCATION MAP**

**Applicant: Korsiak Urban Planning**  
**Owner: DMHH Partnership**  
CITY FILE: OZS-2025-0015

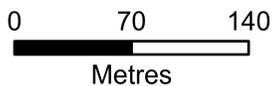


Lot Type	Unit Count (±)	SD Mix %	Overall Mix %
30' Single Detached	150	55	50
38' Single Detached	124	45	
Single Detached Total	274	100	
		TH Mix %	
B2B Townhouse (21')	52	19	50
Street Townhouse (23')	217	81	
Townhouse Total	269	100	
Mixed Use Residential (Medium)	TBD	TBD	
<b>Overall Total</b>	<b>543</b>		

 Subject Lands  
 Parcel Fabric



PLANNING, BUILDING AND GROWTH MANAGEMENT



Author: NRamusca  
 Date: 2025/04/01

**APPENDIX 1  
 CONCEPT PLAN**

**Applicant: Korsiak Urban Planning  
 Owner: DMHH Partnership**

CITY FILE: OZS-2025-0015