



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 297-86

To amend By-law 139-84 (part of Lots 13 and 14, Concession 1, W.H.S., in the geographic Township of Toronto)

The council of The Corporation of the City of Brampton ENACTS as follows:

1. By-law 139-84, as amended, and as specifically amended by By-law 287-86, is hereby further amended:

(1) by changing, on Sheet 6 of Schedule A thereto, the zoning designation of the land shown outlined on Schedule A to this by-law from RESIDENTIAL STREET TOWNHOUSE (R3B) to RESIDENTIAL STREET TOWNHOUSE SECTION 648 (R3B - SECTION 648), such lands being part of Lots 13 and 14, Concession 1, W.H.S., in the geographic Township of Toronto.

(2) by adding thereto the following section:

"648.1 The lands designated R3B - SECTION 648 on Sheet 6 of Schedule A to this by-law:

648.1.1 shall only be used for the purposes permitted by section 13.1.1.

648.1.2 shall be subject to the requirements and restrictions relating to the R3B zone and all the general provisions of this by-law.

648.2 For the purposes of section 648,

DWELLING UNIT, STREET TOWNHOUSE shall mean a dwelling unit with an attached private garage in a street townhouse dwelling, which dwelling unit and attached private garage is located on its own lot.

DWELLING, STREET TOWNHOUSE shall mean a building that is divided vertically above established grade into 3 or more dwelling units, and in the case of an interior

dwelling unit shall have at least 90% of the above grade area of the main wall attached to the main wall of the abutting dwelling unit and shall have at least 90% of the above grade common wall area of the attached private garage attached to the above grade common wall area of the abutting private garage and in the case of an exterior dwelling unit shall have at least 90% of the above grade area of the main wall attached to the main wall of the abutting dwelling unit, or at least 90% of the above grade common wall area of the attached private garage attached to the above grade common wall area of the abutting attached private garage.

MAIN WALL, shall mean the wall on the side lot line between two fully attached dwelling units excluding private garages."

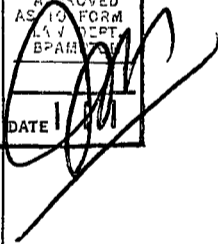
READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL,

this 10th day of November, 1986.



KENNETH G. WHILLANS - MAYOR

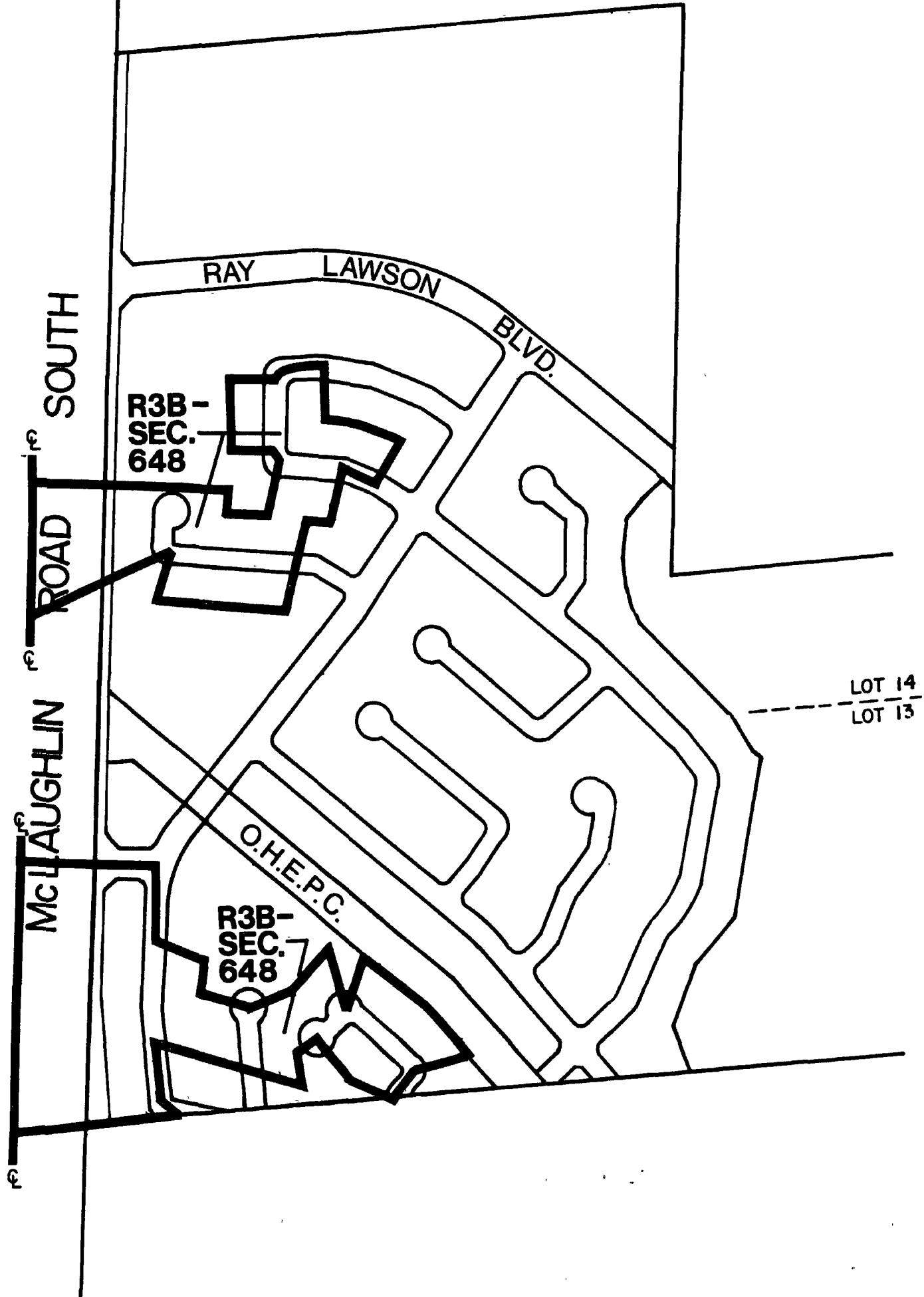
APPROVED
AS TO FORM
BY DEPT.
SPARKS
DATE |



LEONARD J. MIKULICH - CLERK

79/86/5

LOT 15, CON. 1, W.H.S. (TOR.)



PART LOTS 13 & 14, CON. 1, W.H.S. (TOR.)

By-Law 297-86 Schedule A



1:4300

CITY OF BRAMPTON
Planning and Development

Date: 86 11 07 Drawn by: K.L.
File no. TIW13.2 Map no. 75-7 M

PASSED November 10 1986



BY-LAW

No. 297-86

To amend By-law 139-84
(part of Lots 13 and 14,
Concession 1, W.H.S., in
the geographic Township
of Toronto).

IN THE MATTER OF the Planning Act,
1983, section 34;

AND IN THE MATTER OF the City of
Brampton By-law 297-86.

DECLARATION

I, LEONARD J. MIKULICH, of the City of Brampton, in the
Region of Peel, DO SOLEMNLY DECLARE THAT:

1. I am the Clerk of The Corporation of the
City of Brampton and as such have knowledge
of the matters herein declared.
2. By-law 297-86 was passed by the Council of
the Corporation of the City of Brampton at
its meeting held on November 10th, 1986.
3. Written notice of By-law 297-86 as required
by section 34 (17) of the Planning Act, 1983
was given on November 20th, 1986, in the
manner and in the form and to the persons
and agencies prescribed by the Planning Act,
1983.
4. No notice of appeal under section 34(18) of
the Planning Act, 1983 has been filed with
me to the date of this declaration.

DECLARED before me at the City of)
Brampton in the Region of Peel)
this 17th day of December, 1986.)


A commissioner, etc



ROBERT D. TUFTS, a Commissioner,
etc., Judicial District of Peel, for The
Corporation of the City of Brampton.
Expires May 25th, 1988.