



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number 258-2009

To amend By-law 270-2004 (known as "Zoning By-law 2004"), as amended

The Council of the Corporation of the City of Brampton ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:
  - (1) by changing on Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

From the Existing Zoning of:	To:
AGRICULTURAL (A) and RESIDENTIAL HAMLET ONE (RHm1)	RESIDENTIAL SINGLE DETACHED E (HOLDING) - 15.1 -1459 (R1E (H)-15.1-1459);  RESIDENTIAL SINGLE DETACHED E (HOLDING) - 14.3 -1460 (R1E(H) -14.3-1460);  RESIDENTIAL SINGLE DETACHED E - 14.3 -1461 (R1E-14.3-1461);  RESIDENTIAL SINGLE DETACHED F - 14.3 -1462 (R1F-14.3-1462), and;  FLOODPLAIN (F).

- (2) by adding thereto, the following sections:

"1459 The lands designated R1E-15.1(H) - 1459 on Schedule A to this by-law shall be subject to the following requirements and restrictions:

- i) the Holding (H) symbol shall not be removed until the lands can be serviced with permanent sanitary services to the satisfaction of the City of

Brampton and the Region of Peel and no buildings or structures shall be permitted while the (H) is in place except for dwelling units for display purposes subject to the provisions outlined in section 6.28;

- ii) The front of the garage shall be setback a minimum of 3.64 metres from the front wall of the dwelling;
- iii) Unenclosed porches and balconies, with or without foundations and a cold cellar may project a maximum of 1.8 metres into the front yard, exterior side yard or rear yard;
- iv) Bay windows, with or without foundations, to a maximum width of 3 metres, chimney elements, cornices and roof eaves, may project a maximum of 1.0 metre into any front yard, exterior side yard or rear yard.

1460 The lands designated R1E(H)-14.3- 1460 on Schedule A to this by-law shall be subject to the following requirements and restrictions:

- i) the Holding (H) symbol shall not be removed until the lands can be serviced with permanent sanitary services to the satisfaction of the City of Brampton and the Region of Peel and no buildings or structures shall be permitted while the (H) is in place except for dwelling units for display purposes subject to the provisions outlined in section 6.28;
- ii) Unenclosed porches and balconies, with or without foundations and a cold cellar may project a maximum of 1.8 metres into the front yard, exterior side yard or rear yard;
- iii) Bay windows, with or without foundations, to a maximum width of 3 metres, chimney elements, cornices and roof eaves, may project a maximum of 1.0 metre into any front yard, exterior side yard or rear yard.

1461 The lands designated R1E-14.3- 1461 on Schedule A to this by-law shall be subject to the following requirements and restrictions:

- i) Unenclosed porches and balconies, with or without foundations and a cold cellar may project a maximum of 1.8 metres into the front yard, exterior side yard or rear yard;
- ii) Bay windows, with or without foundations, to a maximum width of 3 metres, chimney elements, cornices and roof eaves, may project a maximum of 1.0 metre into any front yard, exterior side yard or rear yard.

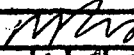
1462 The lands designated R1F-14.3- 1462 on Schedule A to this by-law shall be subject to the following requirements and restrictions:

- i) Unenclosed porches and balconies, with or without foundations and a cold cellar may project a maximum of 1.8 metres into the front yard, exterior side yard or rear yard
- ii) Bay windows, with or without foundations, to a maximum width of 3 metres, chimney elements, cornices and roof eaves, may project a maximum of 1.0 metre into any front yard, exterior side yard or rear yard."

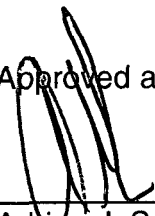
READ a FIRST, SECOND and THIRD TIME and PASSED in OPEN COUNCIL,  
this 9<sup>TH</sup> day of September, 2009

  
SUSAN FENNEL - MAYOR

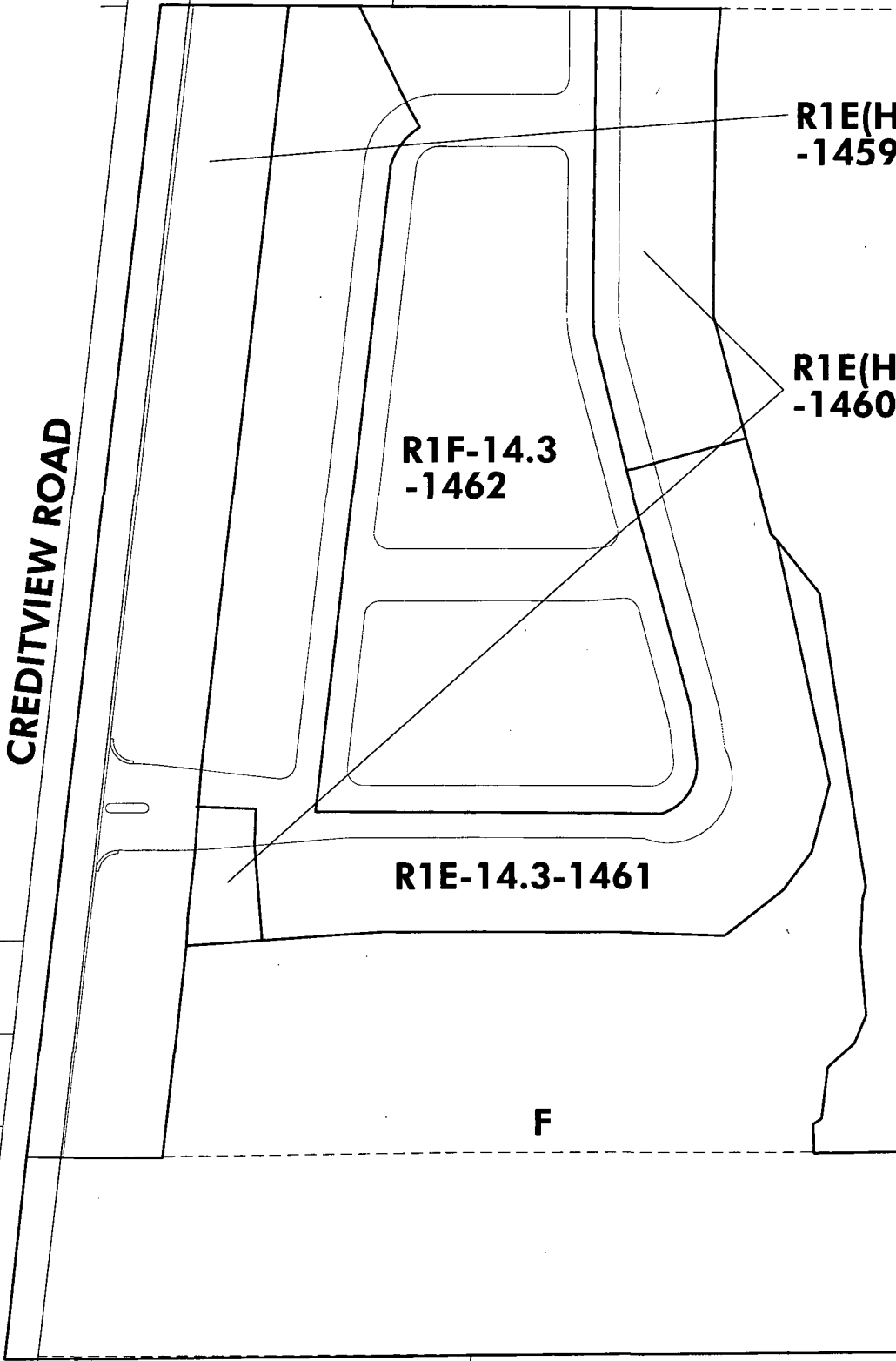
  
PETER FAY - CITY CLERK

APPROVED  
AS TO FORM  
LAW DEPT.  
BRAMPTON  
  
DATE 27 08 09

Approved as to content:

  
Adrian J. Smith, MCIP, RPP  
Director of Planning and Development Services

**CREDITVIEW ROAD**



**R1E(H)-15.1  
-1459**

**R1E(H)-14.3  
-1460**

**R1F-14.3  
-1462**

**R1E-14.3-1461**

**F**

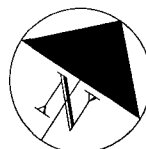
**LEGEND**

—— ZONE BOUNDARY

**PART LOT 6, CONCESSION 3 W.H.S.**

**By-Law 258-2009**

**Schedule A**



**CITY OF BRAMPTON**  
Planning, Design and Development

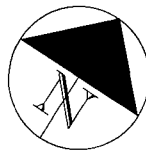
Date: 2009 07 15

Drawn by: CJK

File no. C03W06.002zbla

Map no. 40-12

# SUBJECT LANDS



IN THE MATTER OF the *Planning Act*,  
R.S.O. 1990, as amended, section 34;

AND IN THE MATTER OF the City of Brampton By-law 258-2009  
being a by-law to amend Comprehensive Zoning By-law 270-2004, as amended,  
– Glen Schnarr & Associates Inc. - Cherry Lawn Estates Ltd. (File C03W06.002)

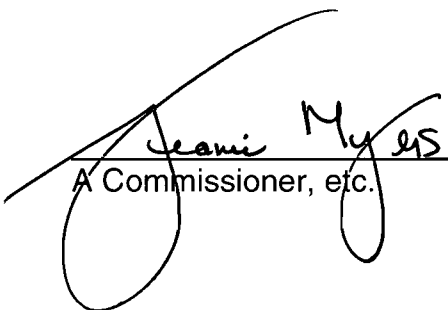
DECLARATION

I, Earl Evans, of the City of Brampton, in the Region of Peel, hereby make oath and say  
as follows:

1. I am the Deputy Clerk of The Corporation of the City of Brampton and as such have knowledge of the matters herein declared:
2. By-law 258-2009 was passed by the Council of The Corporation of the City of Brampton at its meeting held on the 9<sup>th</sup> day of September, 2009.
3. Written notice of By-law 258-2009 as required by section 34(18) of the *Planning Act* was given on the 16<sup>th</sup> day of September, 2009, in the manner and in the form and to the persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
4. No notice of appeal was filed under section 34(19) of the *Planning Act* on or before the final date for filing objections.
5. Zoning By-law 258-2009 is deemed to have come into effect on the 9<sup>th</sup> day of September, 2009, in accordance with Section 34(19) of the *Planning Act*, R.S.O. 1990, as amended.

DECLARED before me at the )  
City of Brampton in the )  
Region of Peel this )  
26<sup>th</sup> day of October, 2009 )

  
\_\_\_\_\_

  
\_\_\_\_\_  
A Commissioner, etc.

Jeanie Cecilia Myers, a Commissioner, etc.,  
Province of Ontario, for the  
Corporation of the City of Brampton.  
Expires April 9, 2012.