



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

**Number** 258-97

To amend By-Law 151-88, as amended.

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The Council of the Corporation of the City of Brampton ENACTS as follows:

1. By-Law 151-88, as amended, is hereby further amended:
  - (1) by changing, on Sheet 41 of Schedule A thereto, the zoning designation of the lands shown outlined on Schedule A to this by-law from AGRICULTURAL (A) to RESIDENTIAL SINGLE FAMILY D-SECTION 831 (RID-SECTION 831), RESIDENTIAL SINGLE FAMILY C-SECTION 832 (RIC-SECTION 832), RESIDENTIAL TWO A-SECTION 833 (R2A-SECTION 833), RESIDENTIAL STREET TOWNHOUSE B-SECTION 834 (R3B-SECTION 834), RESIDENTIAL STREET TOWNHOUSE B (R3B), COMMERCIAL ONE (C1), and OPEN SPACE (OS).
  - (2) by adding thereto, the following section:

“831 The lands designated RID-Section 831 on Sheet 41 of Schedule A to this by-law:

831.1 shall only be used for the purposed permitted in an RID zone.

831.2 shall be subject to the following requirements and restrictions:

    - (1) the minimum interior side yard shall be 1.2 metres on one side, and 0.6 metres on the other side, provided that:
      - (a) the minimum width for a side yard flanking a public walkway or lands zoned OS shall be 1.2 metres, plus 0.6 metres for each additional storey above the first;
      - (b) the side yard with the minimum width of 1.2 metres shall be located on the side of the lot abutting the side yard of an adjacent lot which is 1.2 metres or greater in width;
      - (c) the minimum distance between two detached dwelling shall not be less than 1.2 metres;
      - (d) where the distance between the walls of two dwelling is less than 2.4 metres, no window below grade or door will be permitted in any such wall; and,

- (e) where an interior side yard width is less than 0.9 metres, the distance that the structures listed in Table 6.12(b) may project into the yard shall not exceed 35 centimetres.
- (2) where a garage faces a front lot line or a side lot line the minimum setback to the front of the garage shall be 6.0 metres.
- (3) for an interior lot where a portion of a garage is 3.0 metres, or closer, to the front lot line than the front wall of the dwelling unit itself, the garage door width shall not exceed 40% of the lot width.
- (4) a detached garage shall be located no closer than 0.6 metres to any interior or rear lot line, except where the common wall of a semi detached garage coincides with a side lot line, the side yard may be 0 metres.
- (5) a detached garage shall not have a gross floor area in excess of 24.0 square metres.

831.3 shall also be subject to the requirements and restrictions relating to the RID zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 831.2.

832 The lands designated RIC-Section 832 on Sheet 41 of Schedule A to this by-law:

832.1 shall only be used for the purposes permitted in an RIC zone.

832.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Front Yard Depth: 4.5 metres.
- (2) a detached garage shall be located no closer than 0.6 metres to any interior or rear lot line.
- (3) a detached garage shall not have a gross floor area in excess of 39.0 square metres.
- (4) the requirements and restrictions contained in section 831.2 (1).

832.3 shall be subject to the requirements and restrictions relating to the RIC zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 832.2.

833 The lands designated R2A-Section 833 on Sheet 41 of Schedule A to this by-law:

833.1 shall only be used for the following purposes:

- (1) a semi-detached dwelling; and,
- (2) purposes accessory to the other permitted purposes.

833.2 shall be subject to the following requirements and restrictions:

## (1) Minimum Lot Area:

Interior Lot: 411 square metres per lot, and 205 square metres per dwelling unit.

Corner Lot: 501 square metres per lot, and 295 square metres for the dwelling unit closest to the flankage lot line.

## (2) Minimum Lot Width:

Interior Lot: 13.7 metres, and 6.85 metres per dwelling unit.

Corner Lot: 16.7 metres, and 9.85 metres for the dwelling closest to the flankage lot line.

## (3) Minimum Front Yard Depth: 4.5 metres.

## (4) Minimum Interior Side Yard Width:

1.2 metres, except where a common wall of the semi-detached dwelling units coincide with a side lot line, the side yard may be zero.

## (5) where a garage faces a front or side lot line the minimum setback to the front of the garage shall be 6.0 metres.

## (6) for an interior lot where a portion of a garage is 3.0 metres, or closer, to the front lot line than the front wall of the dwelling unit itself, the garage door width shall not exceed 40% of the lot width.

## (7) a detached garage shall be located no closer than 0.6 metres to any interior or rear lot line, except where the common wall of a semi-detached garage coincides with a side lot line, the side yard may be 0 metres.

## (8) a detached garage shall not have a gross floor area in excess of 24.0 square metres.

833.3 shall also be subject to the requirements and restrictions relating to the R2A zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 833.2.

834 The lands designated R3B-Section 834 on Sheet 41 of Schedule A to this by-law:

834.1 shall only be used for the purposes permitted in an R3B zone.

834.2 shall be subject to the following requirements and restrictions:

## (1) no dwelling shall be located within 30.0 metres of a rail right-of-way.

834.3 shall also be subject to the requirements and restrictions relating to the R3B zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 834.2.”

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL,  
this 27th day of October, 1997.



PETER ROBERTSON-MAYOR



LEONARD J. MIKULICH-CITY CLERK

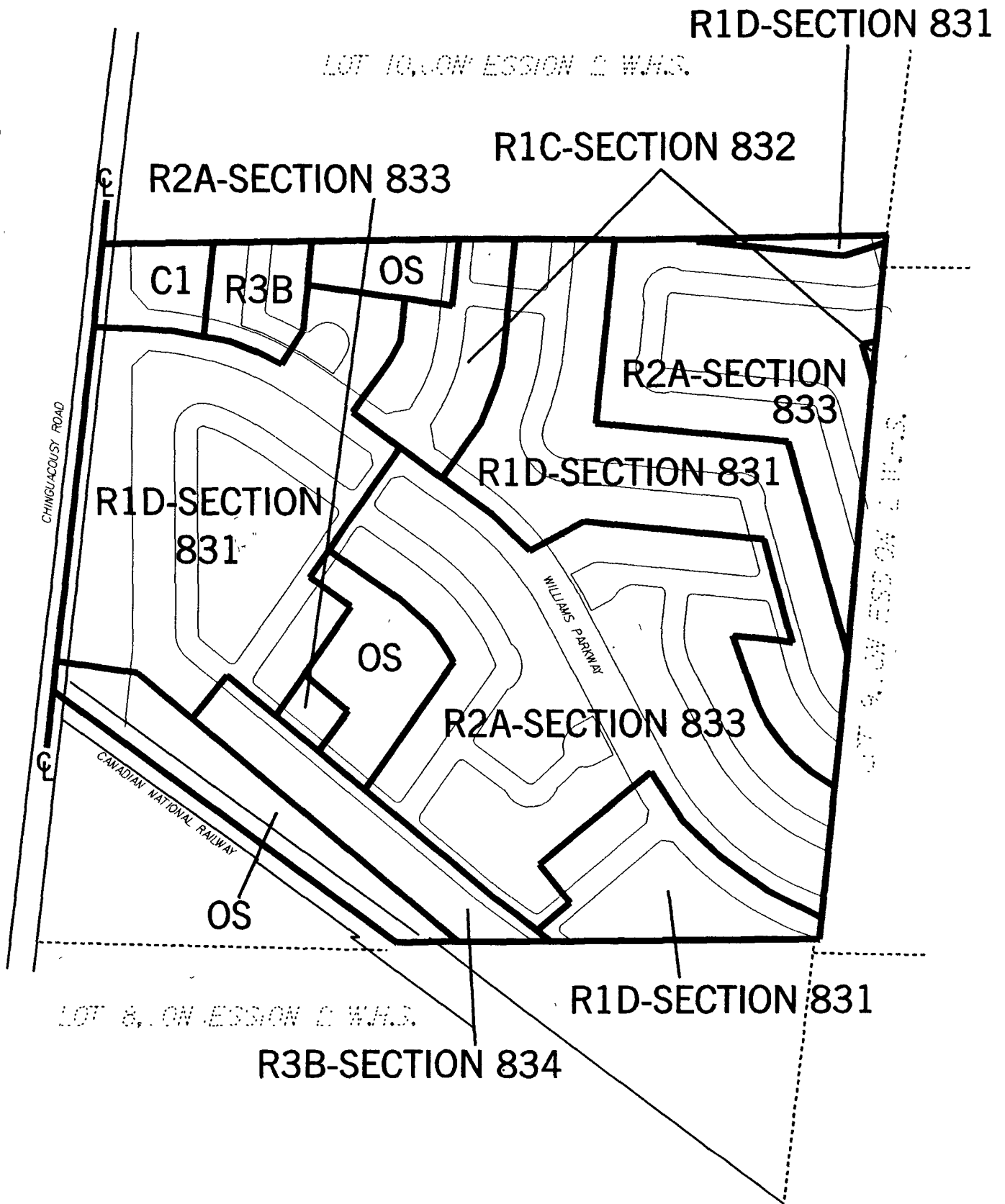
AGREED AS TO CONTENT:






JOHN B. CORBETT, M.C.I.P., R.P.P.  
DIRECTOR, DEVELOPMENT SERVICES

23/96

wcc  
DATE 10/28



**LEGEND**

-  ZONE BOUNDARY
-  CENTRELINE OF ORIGINAL ROAD ALLOWANCE
-  METRES

**PART LOT 9, CONCESSION 2 W.H.S.**

**BY-LAW 151-88**

**SCHEDULE A**

**By-Law 258-97**

**Schedule A**



**CITY OF BRAMPTON**  
Planning and Building

Date: 1997 10 14

Drawn by: CJK

File no. C2W9.4

Map no. 41-25Q

