



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number 258-91

To amend By-law 96-86 to  
designate a Site Plan  
Control Area

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WHEREAS By-law 96-86 exempts certain forms of residential development within the City of Brampton from site plan control approval pursuant to Section 40 of the Planning Act, 1983;

AND WHEREAS the Council of the City of Brampton has resolved to impose site plan control on all forms of residential development in a specified area of the City known as the Main Street South District in order to maintain the residential amenities associated with that District;

NOW THEREFORE the council of the Corporation of the City of Brampton hereby ENACTS as follows:

1. By-law 96-86 is hereby amended:

(1) by deleting the introductory paragraph of Section 2, preceding Subsection 2(1), thereof and substituting therefor the following new paragraph:

"2. Unless otherwise specified in Section 3 to this by-law, the following classes of development may be undertaken without the approval of plans and drawings otherwise required under subsection 4 or 5 of Section 40 of the Planning Act, 1983;"

(2) by renumbering Sections 3, 4 and 5 thereof, to Sections 4, 5 and 6, respectively;

(3) by adding thereto, the following new section:

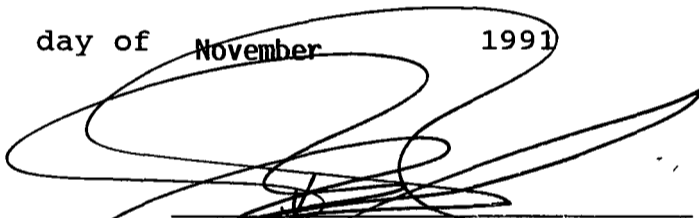
"3. Notwithstanding the provisions of Section 2 preceding, the following classes of development within the specified area(s) are subject to the approval of plans and drawings pursuant to subsection 4 or 5 of Section 40 of the Planning Act, 1983:

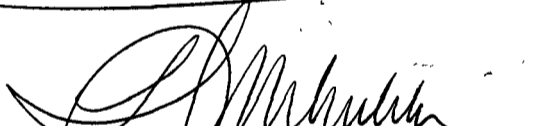
(1) all new residential dwellings and all residential additions and accessory buildings exceeding 24 square metres within the Main Street South District, as indicated on Schedule A to this by-law. Accessory buildings and residential additions less than 24 square metres are exempted from the approval of such plans and drawings."


(4) by adding thereto, as Schedule A to by-law 96-86, Schedule A to this by-law.

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL,

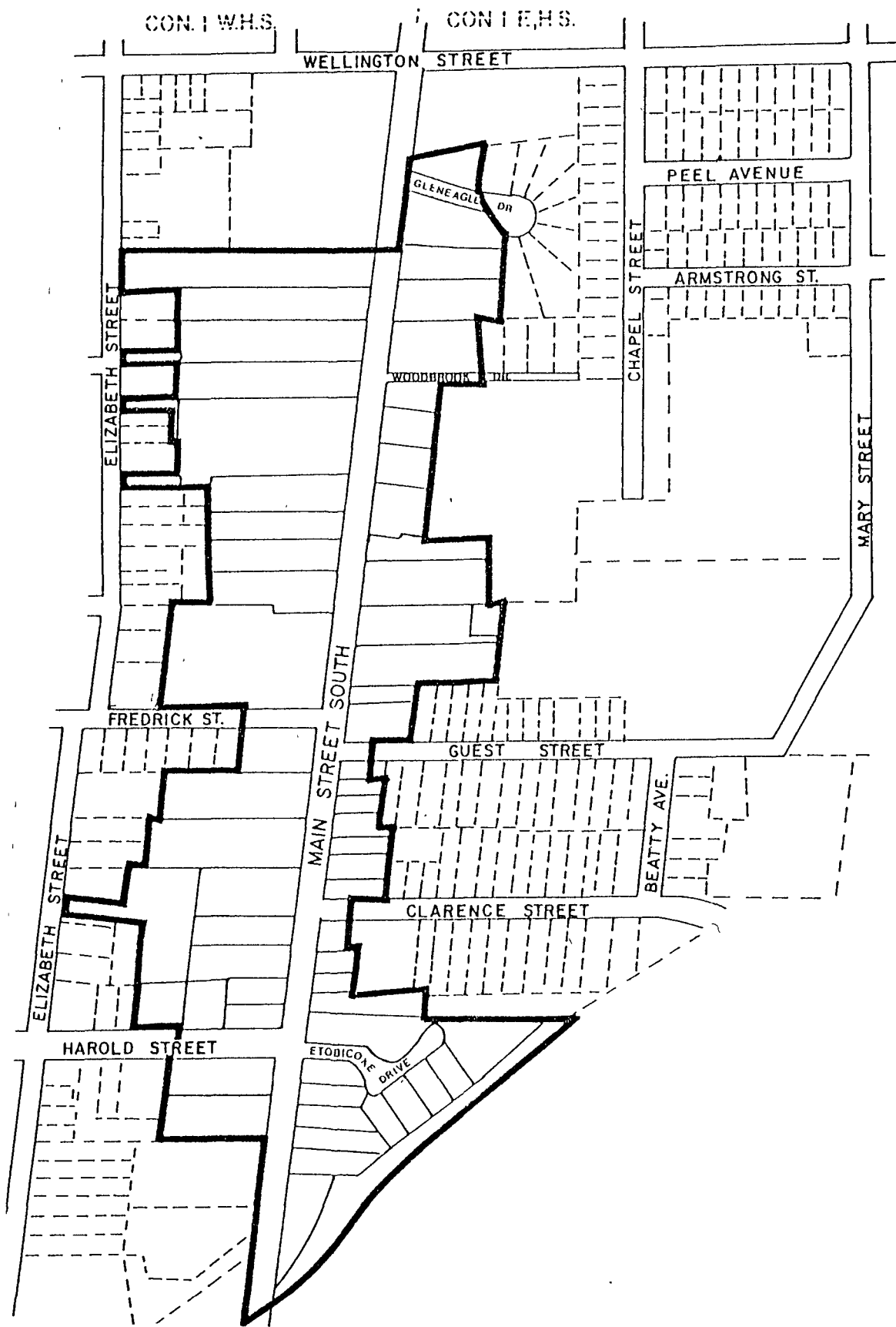
this 25th day of November 1991

  
PAUL BEISEL - MAYOR

  
LEONARD J. MIKULICH - CLERK

APPROVED  
AS TO FORM  
LAW & ORDER  
BRAMPTON  
DATE 

POL8/91/CB/am/96-86bylaw



**—** Area subject to site plan control



Scale in Metres

**SCHEDULE A BY-LAW 96-86**

**Schedule A By-Law 258-91**



**CITY OF BRAMPTON**  
Planning and Development

Date: 1991 11 06 Drawn by: SEJ

File no. G02BR Map no. 60-44F