



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number 221-90

To adopt Amendment Number 187  
to the Official Plan of the City  
of Brampton Planning Area

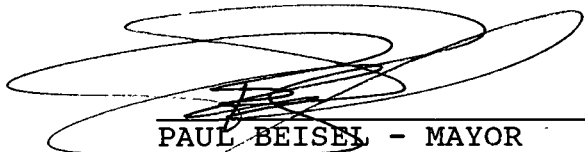
The Council of the Corporation of the City of Brampton, in accordance with the provisions of the Planning Act, 1983, hereby ENACTS as follows:

1. Amendment Number 187 to the Official Plan of the City of Brampton Planning Area, is hereby adopted and made part of this By-law.
2. The Clerk is hereby authorized and directed to make application to the Minister of Municipal Affairs for approval of Amendment Number 187 to the Official Plan of the City of Brampton Planning Area.

READ a FIRST, SECOND AND THIRD TIME, and PASSED, in OPEN COUNCIL,

this 10th day of October, 1990.

APPROVED AS TO FORM LAW DEPT BRAMPTON
<u>WCC</u>
DATE <u>10/10/90</u>


  
\_\_\_\_\_  
PAUL BEISEL - MAYOR

  
\_\_\_\_\_  
LEONARD J. MIKULICH - CLERK

10/90/jo

I, LEONARD J. MIKULICH, Clerk of the City of Brampton do hereby certify that the attached Amendment Number 187 to the Official Plan for the City of Brampton Planning Area is a true copy as approved, as modified, by the Ministry of Municipal Affairs on March 5, 1993.

Dated at the City of Brampton this 19th day of March, 1993.

  
L.J. Mikulich - City Clerk

AMENDMENT NUMBER 187  
to the Official Plan of the  
City of Brampton Planning Area

AMENDMENT NO. 187  
TO THE  
OFFICIAL PLAN FOR THE  
CITY OF BRAMPTON

This Amendment No. 187 to the Official Plan for the City of Brampton which was adopted by the Council of the Corporation of the City of Brampton is hereby modified as follows:

1. Section 3, Amendment and Policies Relative Thereto, is modified by adding a new subsection (1), and renumbering the original subsections (1) and (2) to (2) and (3) accordingly:
  - "(1) by inserting a last paragraph in Section 1.7, Heritage Conservation, Introduction:

In the context of this Act, a heritage resource may include, but are not necessarily restricted to archaeological sites, buildings and structural remains of historical, architectural and contextual value, and human-made rural, village and urban landscapes of historic and scenic interest.";
2. Section 3 (2) is modified by the following:
  - a) by adding the following text after the word "designation" in subsection 1.7.1.3 (i):

"and cause notice of its application to be given to the Ontario Municipal Board for approval pursuant to Part V of the Ontario Heritage Act";
  - b) by deleting the word "existing" and "general principles" in subsection 1.7.1.5, and replacing them, respectively, with:

"designated properties under subsection 1.7.1.1 and buildings and structures within a designated district under subsection 1.7.1.3"; and "design guidelines";

- c) by deleting the whole paragraph in subsection 1.7.1.5 (ii) and replacing it with the following:

"retention and reparation of original building fabric and architectural features are encouraged;;

- d) by deleting the words "should fit the" in subsection 1.7.1.5 (iv), and replacing them with "is encouraged to be integrated with the";

- e) by deleting the whole paragraph in subsection 1.7.1.5 (iv)(c) and replacing it with:

"by having like character in terms of materials and colours; and";

- f) by deleting the whole paragraph in subsection 1.7.1.5 (iv)(d) and replacing it with:

"by using similarly proportioned architectural features (e.g. windows, doors and roof shape)."

3. by adding subsection 3 (3) and changing the reference numbers of the subsections that follow accordingly:

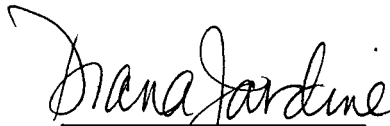
"(3) by adding thereto, the following as section 1.7.2:

1.7.2 Council recognizes that there may be archaeological remnants of prehistoric and early historic habitation within the municipality. Council will, therefore, encourage archaeological survey and the preservation or rescue excavation of significant archaeological resources which might be affected in any future development, in co-operation with the Ministry of Culture and Communications.

In addition there is the potential for co-operation with the Ministry of Culture and Communications in conserving resources of archaeological value pursuant to Part VI of the Ontario Heritage Act."

As thus modified, this amendment is hereby approved pursuant to Sections 17 and 21 of the Planning Act.

Date: 1993-03-05



Diana L. Jardine, M.C.I.P.  
Director  
Plans Administration Branch  
Central and Southwest  
Ministry of Municipal Affairs



THE CORPORATION OF THE CITY OF BRAMPTON

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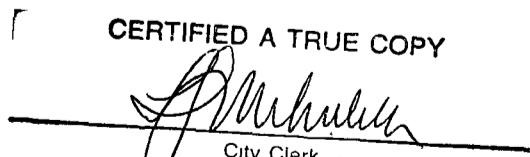
this 10th day of October, 1990.

  
 \_\_\_\_\_  
 PAUL BEISEL - MAYOR

  
 \_\_\_\_\_  
 LEONARD J. MIKULICH - CLERK

APPROVED  
AS TO FORM  
LAW DEPT  
BRAMPTON  
 \_\_\_\_\_  
 WCC  
 DATE 10/10/90

10/90/jo

CERTIFIED A TRUE COPY  
  
 \_\_\_\_\_  
 City Clerk -  
 City of Brampton  
 Oct 22nd 19 90

AMENDMENT NUMBER 187  
TO THE OFFICIAL PLAN OF THE CITY  
OF BRAMPTON PLANNING AREA

1.0 Purpose:

This amendment implements specific policy recommendations resulting from the Village of Churchville Heritage Conservation District Study. The intent of these policies is to:

- o introduce comprehensive heritage conservation planning policies to the Brampton Official Plan;
- o establish specific heritage policies for the rural settlement of Churchville; and,
- o introduce additional policies respecting the conservation of scenic drives and streetscapes.

2.0 Location

Lands subject to this amendment are located within the rural settlement of Churchville, south of Steeles Avenue, immediately west of the Canadian Pacific Railway, comprising part of Lots 13, 14 and 15 in Concessions 3 and 4 W.H.S. (geographic Township of Toronto, now in The City of Brampton). The subject lands are shown outlined on Schedule 'A' to this amendment.

The comprehensive heritage conservation planning policies also introduced by this amendment, may be applied to the whole of the Brampton Planning Area where appropriate.

3.0 Amendment and Policies Relative Thereto:

MODIFICATION

The Official Plan for the City of Brampton Planning Area is hereby amended:

No. 1

UNDER SECTION 17(9) OF  
THE PLANNING ACT, 1983

~~2(1)~~ by deleting therefrom section 1.7.1.1;

3  
(P) by adding thereto, the following as sections 1.7.1.1 to 1.7.1.8:

"1.7.1.1 Council will consult with the Brampton Heritage Board in matters relating to the conservation of heritage properties within Brampton. The Heritage Board may identify and/or inventory buildings of architectural and historical significance and advise Council on those considered worthy of designation under Part IV of the Ontario Heritage Act.

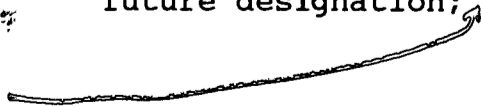
1.7.1.2 The City in consultation with the Heritage Board may also designate heritage conservation districts under Part V of the Ontario Heritage Act where it has been determined that any district possesses one or more of the following attributes:

- (i) the area contains a group of buildings or features that reflect any aspect of local history, through association with a person, group or activity;
- (ii) the area is characterized by buildings and structures that are of architectural value or interest;
- (iii) the area contains other important physical and aesthetic characteristics that alone would not be sufficient to warrant designation but provide an important context for built heritage features or associations with the district including such matters as landscape features or archaeological sites.

1.7.1.3 Prior to designating a heritage conservation district the City will:

- (i) by by-law define and examine an area for future designation;

MODIFICATION  
No. 2  
UNDER SECTION 17(9) OF  
THE PLANNING ACT, 1983





- (ii) prepare and adopt a conservation district plan containing policies, guidelines and relevant information respecting the protection and enhancement of the district;
- (iii) establish for each district a "district committee" or shall establish a sub-committee of the Brampton Heritage Board that will advise Council on matters pertaining to the designated district.

1.7.1.4 Within a designated district it is the intent of Council to conserve and enhance the unique heritage character of the area. Council in consultation with the appropriate district committee will encourage property owners to maintain and repair heritage buildings and seek government grants and loans for eligible conservation work.

1.7.1.5 In reviewing proposals for the construction, demolition, or removal of buildings and structures or the alteration of ~~existing~~ buildings the City will be guided by the applicable heritage conservation district plan and the following ~~general principles~~.

MODIFICATION  
No. 2  
UNDER SECTION 17(9) OF  
THE PLANNING ACT, 1983

- (i) heritage buildings and archaeological sites including their surroundings should be protected from any adverse effects of the development;
- (ii) ~~original building fabric and architectural features such as doors, windows, mouldings, vergeboards, walling materials and roofs should be retained and repaired;~~
- (iii) new additions and features should generally be no higher than the existing building and wherever possible be placed to the rear of the building or set-back substantially from the principal facade;

(iv) new construction and/or infilling ~~should~~  
~~fit~~ the immediate physical context and  
streetscape:

MODIFICATION  
No. 2  
UNDER SECTION 17(9) OF  
THE PLANNING ACT, 1983

(a) by being generally of the same  
height, width and orientation as  
adjacent building;

(b) be of similar setback;

(c) ~~of like materials and colours; and~~

(d) ~~using similarly proportioned windows,  
doors and roof shape.~~

1.7.1.6 Public works and landscaping within a  
designated district should ensure that  
existing road and streetscapes are maintained  
or enhanced and that proposed changes respect,  
and are complementary to the identified  
heritage character of the district.

1.7.1.7 Required road rights-of-way, daylighting  
triangles and corner roundings indicated  
elsewhere in the Official Plan will be  
required in designated districts but every  
effort shall be made to ensure that existing  
pavement widths especially where they are  
major contributors to the character of the  
streetscape will be retained.

1.7.1.8 The City may acquire the freehold rights to  
acquire easements on, or impose covenants on,  
real property designated as a heritage  
conservation district, site or structure."

MODIFICATION  
No. 3  
UNDER SECTION 17(9) OF  
THE PLANNING ACT, 1983

(§) by adding thereto the following as sections 7.12.2 and  
7.12.3:

"7.12.2 Where Council has designated heritage  
conservation districts in accordance with the  
policies of the Official Plan, it is intended  
that the general policies of section 1.7.1  
pertaining to districts will be refined and  
amplified to apply to individual designated

districts and their particular attributes and features by means of heritage conservation district plans.

7.12.3 Generally, a heritage conservation district plan will:

- (i) be prepared prior to the designation of a district and will prescribe policies; conservation and design guidelines; and other pertinent material relating to the sound and prudent management of the district's unique character;
- (ii) be adopted by Council after consultation with property owners and other interested agencies as considered appropriate;
- (iii) be implemented by municipal review of permit applications for changes within the district. Additionally, the City may initiate, where feasible, public improvements within the district, and encourage property owners to seek grants for conservation work through a variety of government funding programs;
- (iv) not be considered as a secondary plan and will not be incorporated into the Official Plan by way of amendment. Where, however, Official Plan policies and/or land use designations are considered to be unsympathetic to the protection of a particular heritage conservation district the City may amend the Plan to better reflect the appropriate planning and conservation of that area."

6  
(4) by adding thereto, the following as section 2.1.2.5:

"2.1.2.5 OBJECTIVE: The maintenance, protection and enhancement of the Churchville Heritage Conservation District.

POLICIES:

- 2.1.2.5.1 The rural character of the district shall be maintained by encouraging the preservation of the river valley and its vegetated slopes, existing tree stands, treelined roads, agricultural lands and accessory farm buildings.
- 2.1.2.5.2 Within the designated district of Churchville existing heritage buildings, structures and properties should be conserved.
- 2.1.2.5.3 The design of new development either as freestanding structures or as alterations or additions to existing buildings should be low in height and generally respect the prevailing rural residential character of the area.
- 2.1.2.5.4 Public works should ensure minimal impact on the character of Churchville particularly its narrow treelined roads and broad valley lands.
- 2.1.2.5.5 Regard shall be had at all times in the conservation and planning of the area to the guidelines and intent of the Churchville Heritage Conservation District Plan.

<sup>1</sup>  
(§) by deleting therefrom section 4.2.1.19 and substituting therefor the following:

"4.2.1.19 Council may designate by by-law certain roads or sections of roads which have attractive natural or man-made scenic vistas as Scenic Drives. Roads so designated are intended to be maintained in their existing state or enhanced wherever feasible provided that they do not jeopardize the safety of the travelling public. Scenic Drives may also be plaqued or otherwise signed along their routes in order to identify them to the travelling public and visitor.

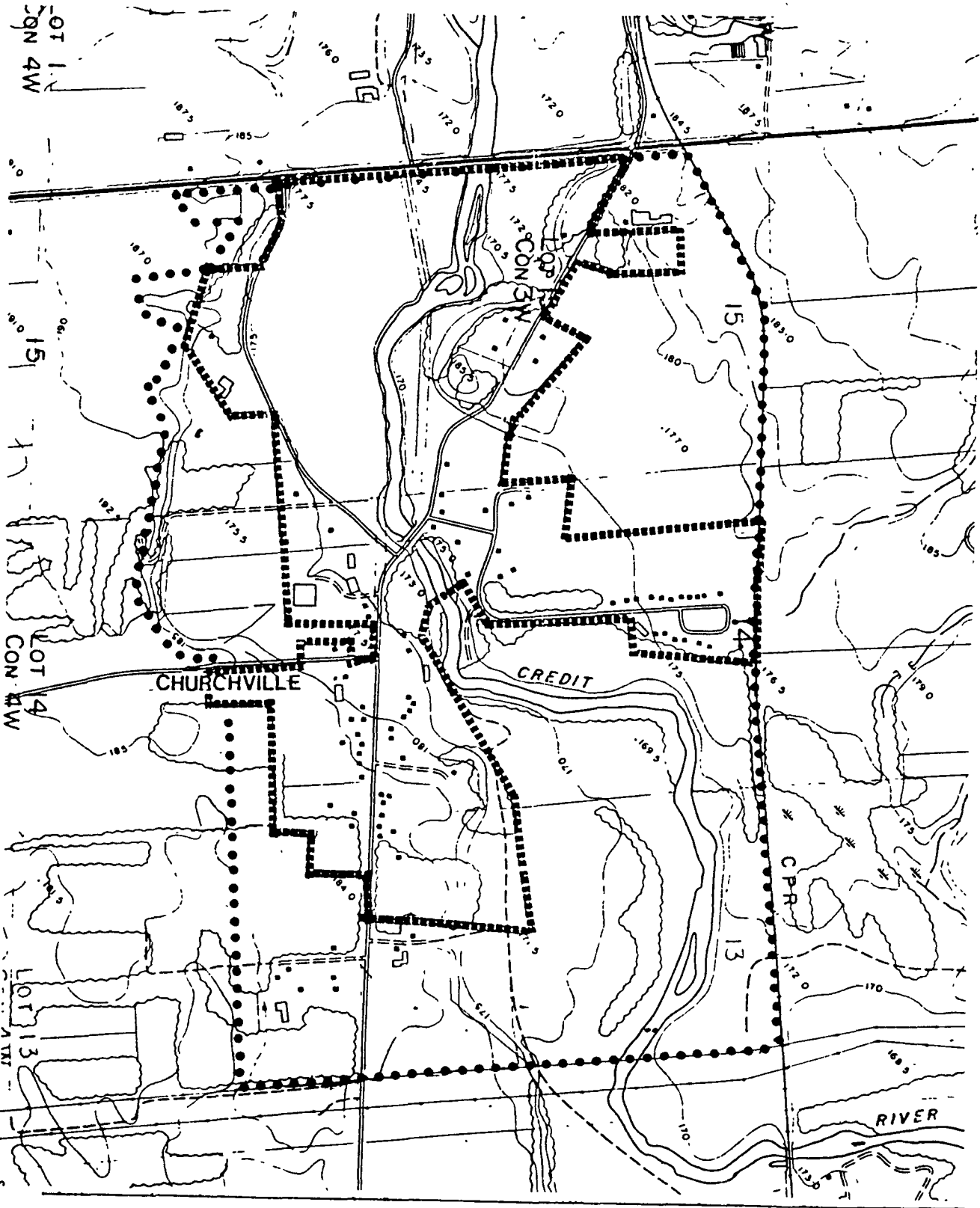
In particular the City will endeavour to retain and protect:

- (i) existing paved road widths where they contribute to the scenic character of the designated drive;
- (ii) existing trees and treelines within the road right-of-way;
- (iii) other vegetation, plantings and features such as boulevards, hedgerows, ditches, grassed areas and fencelines; and,
- (iv) transportation related heritage features, such as bridges, where they contribute to the special character of the road."

§  
(§) by adding thereto, the following as section 4.2.1.20:

"4.2.1.20 Within designated heritage conservation districts council will conserve existing streetscapes wherever feasible and shall attempt to retain existing road characteristics and associated landscape features."

10/90/JC/jo  
OPACHurch



Proposed Heritage Conservation District Boundary

Proposed Heritage Conservation  
 District Boundary ●●●●●●●●  
 Settlement Area - - - - -

OFFICIAL PLAN AMENDMENT  
 NO. 187

SCHEDULE A



1:5300

**CITY OF BRAMPTON**  
 Planning and Development

Date: 1990 10 16 Drawn by: K.M.H.  
 File no. C-35 Map no. 73-11B

BACKGROUND MATERIAL TO  
AMENDMENT NUMBER 187  
BY-LAW NUMBER 221-90

Attached is a copy of a planning report dated August 3, 1990 forwarding the notes of a public meeting held on July 4, 1990, after notification in the public newspaper and the mailing of notices to all assessed owners of properties located within the study area boundaries.

The following submissions also relate to the formulation of this amendment and are available at the Planning and Development Department.

Village of Churchville - Heritage  
Conservation District Study:  
Background Report, October 1989.

Village of Churchville - Heritage  
Conservation District Study:  
District Plan, September 1990.

JG/Jo/OPACHurch

# INTER-OFFICE MEMORANDUM

F4

## Office of the Commissioner of Planning & Development

August 3, 1990

**TO:** THE CHAIRMAN AND MEMBERS OF PLANNING COMMITTEE  
**FROM:** PLANNING AND DEVELOPMENT DEPARTMENT  
**RE:** PUBLIC MEETING NOTES  
VILLAGE OF CHURCHVILLE  
HERITAGE CONSERVATION DISTRICT PLAN  
OUR FILE: C35

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On Wednesday July 4, 1990, a public meeting was convened to consider:

- the proposed Churchville Heritage Conservation District Plan; and,
- supporting official plan and zoning by-law amendments.

The notes of this public meeting are attached for the consideration of Planning Committee. In addition, correspondence with respect to this matter has been received subsequent to the public meeting, and is also attached to this report.

### RESULTS OF THE PUBLIC MEETING:

A large number of residents attended the public meeting, both in support and in opposition to the heritage district plan and supportive official plan and zoning by-law amendments. To isolate the issues relative to these initiatives, this report will assess submissions made with respect to:

- the heritage conservation district designation;
- the heritage conservation district plan and guidelines;
- the supportive official plan and zoning by-law amendments; and,
- the public consultation process involved in the heritage planning process.



FH-2

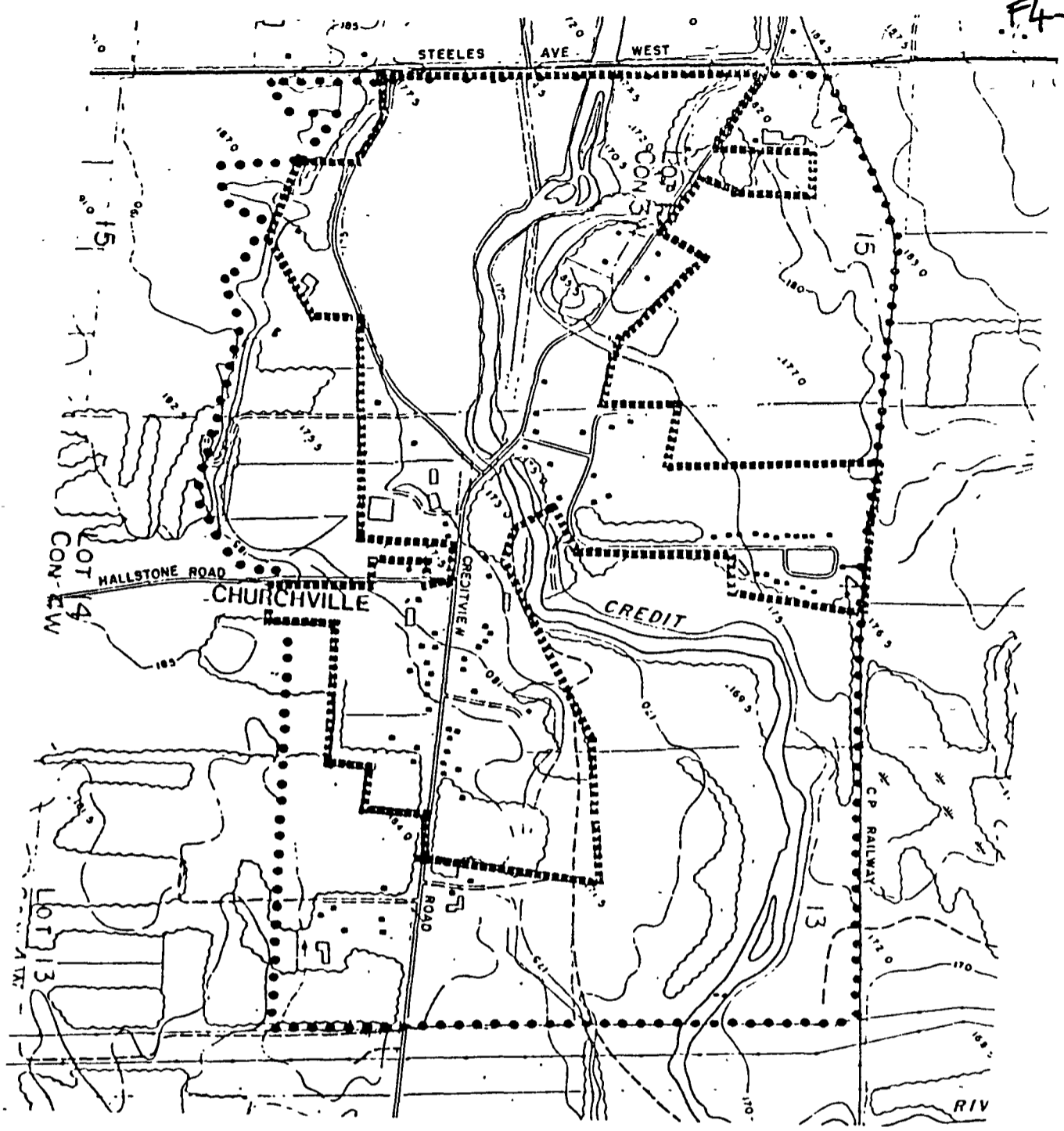
## THE CHURCHVILLE HERITAGE CONSERVATION DISTRICT DESIGNATION

Map 1 delineates the limits of the proposed heritage conservation district boundary. This boundary has been delineated on the basis of a thorough analysis of the built and natural environment undertaken over a two year period by qualified heritage planning consultants. The extensive background study identified a number of distinctive heritage attributes that support the designation of Churchville and its immediate environs:

- historical significance as an important nineteenth century milling centre in Peel Region;
- scenic merit as a particularly attractive rural landscape setting in the Credit River valley;
- architectural significance in the surviving rural, vernacular, frame and masonry buildings scattered throughout Churchville; and,
- archaeological significance derived from a number of pre-historic archaeological sites, evidence of activity by people of Laurentian Archaic (3,000-5,000 B.C.) Middle Woodland (3,000 B.C.-0.A.D.) and Iroquois (900 - 1500 A.D.) periods.

The Ministry of Culture and Communications in association with the Ontario Heritage Foundation has indicated concurrence with the heritage designation. Staff are of the opinion that limits of the boundary are appropriate and defensible.

Mr. Charles Key owns 20 acres of land within the village (part of the east half of Lot 14 Concession 4, W.H.S. ) and made representation against the district boundary, as it includes his property. Mr. Key's property is largely within valley lands, with only 5.2 acres of tableland. From a heritage perspective the property is important as it forms an integral component of the natural valley environment within the village. The property is also centrally located within the district boundary. Accordingly, its exclusion from the plan would be disruptive to the continuity of the heritage area. Mr. Key is also concerned with regard to the impacts of the heritage designation on the development potential of the 5.2 acres of tableland. In his submission, Mr. Key makes reference to potential light industrial development of these lands. Given the rural residential



Proposed Heritage Conservation  
 District Boundary ●●●●●●●●  
 Settlement Area —————  
 Tablelands

**MAP 1**  
**CHURCHVILLE HERITAGE  
 CONSERVATION DISTRICT**



**CITY OF BRAMPTON**  
 Planning and Development

Date: \_\_\_\_\_ Drawn by: \_\_\_\_\_  
 File no. \_\_\_\_\_ Map no. \_\_\_\_\_

character of the village it is clear that light industrial development would not be supportable on these lands, irrespective of the proposed heritage designation. Staff would not support light industrial development on the basis of the current planning status of the village. However, there may be development potential for the tablelands in keeping with existing Residential Hamlet provisions in the zoning by-law and official plan. This potential would not be significantly impacted by the introduction of the heritage plan. Staff have met with Mr. Key and are investigating the development potential of his lands, on a residential infill basis.

Correspondence dated July 24, 1990 from Mrs. E. Mundy quotes from a previous research document entitled "Reminders of the Past." The reference to this document is that only the "heart" of the village should be designated as a heritage designation. This document was prepared by students and contained only a cursory examination of the building stock. A comparison with the extensive evaluation undertaken by professional planning consultants is not appropriate. "Reminders of the Past" did not include the detailed historical, archaeological and landscape assessments that form the basis of the currently proposed district boundary.

It should be noted that City Council may adopt a by-law designating the heritage district independent of other initiatives including the district plan and supporting official plan and zoning by-law amendments. The Ontario Heritage Act prescribes mandatory Ontario Municipal Board approval of a designating by-law. Accordingly, there will be further opportunities for representations to be heard against the heritage district, subsequent to Council's adoption of the by-law.

#### **PROPOSED CHURCHVILLE HERITAGE CONSERVATION DISTRICT PLAN:**

It should be emphasized that the adoption of a district plan is not a mandatory requirement of the Ontario Heritage Act, but is highly advisable to:

- adequately defend the designation of the district before the Ontario Municipal Board; and,
- ensure that there is a clear and coherent approach to planning within the heritage district.

The proposed district plan for Churchville contains 19 recommendations (see attached summary) including:

- conservation, design and landscaping guidelines;  
and,
- planning, development and implementation strategies.

At the public meeting there was considerable discussion concerning the perceived impact of the guidelines. In this respect, the district plan is intended to provide more specific guidance for the management of change and development within this unique setting of Brampton, in a way that respects:

- the important collection of rural vernacular building stock;
- the quality of the public spaces, particularly the scenic valley setting as well as important streetscapes; and,
- the wishes and views of individual property owners.

In fact, the guidelines have been prepared on the basis of detailed technical evaluation of the building stock within the village, in consultation with the residents. The Background Report contains a detailed photographic and descriptive inventory of the building stock within the village.

It is important to fully understand the role of the guidelines in reviewing development proposals within the village. In this regard, there is little legislative capacity in the Ontario Heritage Act to impose or rigidly enforce the guidelines. The guidelines are merely intended to:

- be adopted only as Council policy and may be amended by resolution as required; and,
- be used by the proposed Churchville Heritage Conservation District Advisory Committee in the review of permit applications.

The guidelines are to be used in a consultive manner with landowners who wish to conserve heritage features of their property. Owners of heritage property could use the guidelines to assist them in securing financial assistance from the province to undertake conservation projects.

Guidelines for new construction are intended for use as a basic framework for appropriate development in context of a heritage setting. They are not intended to be a detailed prescription for each new building. They are designed to provide flexibility to property owners to design creatively within a general context for future built form.

New construction and alterations to existing structures will be subject to a permit approval process under the Ontario Heritage Act. Significant alterations will be reviewed for appropriateness in context of the district guidelines. Advice and consultation with affected landowners is an important part of this process. Final permit approvals vests with City Council, however, an appeal mechanism to the Ontario Municipal Board is also available.

In 1989, City Council directed staff to investigate architectural standards for new construction in rural settlements. The guidelines proposed in the Churchville Heritage Conservation District Plan respond in part to this direction. Given limited enabling powers in the Planning Act for architectural control, the proposed heritage provisions may be the only substantive mechanism available to the City to ensure sympathetic rural development in appropriate locations.

**SUPPORTIVE OFFICIAL PLAN AND ZONING BY-LAW AMENDMENTS:**

The district plan recommends several amendments to the official plan and zoning by-law which responds to specific issues identified during the course of the study. It must be noted that these amendments are elective, and not a necessity under the Ontario Heritage Act. Council may in fact proceed with the heritage designation without the proposed official plan amendments. However, the amendments have been proposed to:

- provide an extra measure of control over certain building forms and intensities which would be disruptive to the heritage character of the area; and,
- respond to previous Council direction to devise a mechanism for architectural control in rural residential areas.

**Proposed Official Plan Policies:**

The Brampton Official Plan contains only very basic policy provisions with respect to heritage conservation. Accordingly, the district plan recommends a set of more extensive heritage policies for incorporation into the official plan. These include:

- criteria for the designation of properties under Part IV of the Ontario Heritage Act;
- criteria for the designation of heritage conservation districts under Part V of the Ontario Heritage Act;
- policy direction for the review and evaluation of heritage buildings and structures; and,
- general planning principles for the on-going management of a heritage conservation district.

In addition, the district plan recommends specific official plan policies with respect to the Churchville Heritage Conservation District; in particular:

- policies to preserve the rural residential character of the village; and,
- general building design criteria to encourage new development which is sympathetic to the heritage fabric of the locality.

A draft official plan amendment containing these new policies is attached to this report for the consideration of Planning Committee. It should be noted that there have been no representations made with respect to the proposed official plan amendments.

#### Proposed Zoning By-law Amendments:

The prevailing zoning affecting Churchville contains relatively liberal building restrictions. The range of building form and size could vary considerably, potentially conflicting with the heritage character of the area. Accordingly, the following zoning requirements have been proposed:

- a maximum building height of 8.7 metres (28.7 feet); and,
- a maximum floor space index of 0.17; and,
- a maximum building width of 12.2 metres (40 feet).

The revised maximum building height is intended to limit development to a maximum of two stories with a low pitched roof. This is substantially in keeping with the prevailing profile of

the village. At the public meeting several examples of existing larger style dwellings were noted. It was stated that the presence of these large scale dwellings have set a precedent for development in the village, and much of the heritage character has been eroded. However, it is believed that there is significant landscape features and heritage building stock worthy of protection from new construction of conflicting height and scale.

In this regard, a maximum floor space index of 0.17 is proposed to ensure new construction is proportional to lot size. Contrary to representations made at the public meeting, no limitations on building size are proposed.

The district plan also proposes the introduction of a maximum building width of 12.25 metres (40 feet). This is approximately 3.0 metres (10 feet) less than that presently allowed on a minimum sized lot in Churchville. However, the results of the building inventory documented in the Background Report suggest that the typical dwelling in Churchville is three to five bays in width. The proposed building width restrictions are intended to maintain this character in new construction.

Based on submissions made at the public meeting and subsequent meetings with staff, the building width provision appears to be the most unacceptable zoning restriction to the residents. There is some concern that the building width provision would unfairly constrain extensions to existing residences. While it is believed there is flexibility in the provisions to meet the needs of most residents, staff are prepared to recommend the deletion of the building width provision. The proposed floor space index, building height restrictions and district plan guidelines should be sufficient to protect the heritage character of the locality.

#### **PUBLIC CONSULTATION PROCESS:**

As noted previously, the heritage planning process for Churchville is intended to be highly consultive, to ensure that the needs and wishes of the residents are accommodated to the greatest extent possible. Over the two year study period, a minimum of 6 public meetings were held in the village to provide input into the formulation of the district plan. In addition, the consultants undertook extensive field work involving individual consultations with landowners. In December of 1989 100 copies of the draft plan were delivered to the village residents, together with a request for comments. Only one response was received from the circulation of the draft document.

Certainly, the public consultation process for the Churchville plan far exceeded normal procedure. However, it is obvious full consensus is rarely achievable in a project of this nature. There is sufficient flexibility in the district plan to continue the public consultation process through implementation. The City has recently hired a heritage planner who will be available to work with the residents to resolve concerns and provide assistance on an on-going basis.

**CONCLUSIONS AND RECOMMENDATIONS:**

On the basis of the foregoing discussion it is believed that the proposed heritage designation is appropriate and defensible from a planning perspective. The supportive official plan and zoning by-law amendments are also appropriate land use mechanisms to reinforce the heritage character of the village. However, staff are prepared to recommend the deletion of the maximum building width provision in the zoning by-law to afford additional flexibility for new construction, and alterations to existing dwellings.

Accordingly, it is recommended:

1. That the notes of the public meeting with respect to the Churchville Heritage Conservation District Plan, dated Wednesday July 4, 1990 be received;
2. That the Heritage Conservation District Boundary, for the Village of Churchville as outlined on Map 1 of this report be approved, and staff be directed to submit the appropriate designating by-law to City Council for enactment;
3. That the supportive official plan and zoning by-laws be approved with the exception that the maximum building width be deleted, and staff be directed to submit the appropriate documentation to City Council for enactment; and,
4. That the remainder of the 19 recommendations of the Churchville Heritage Conservation District Plan be approved as detailed in Attachment 1 to this report.



Respectfully submitted

*J.B. Corbett*

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JOHN B. CORBETT, M.C.I.P.  
MANAGER, LAND USE POLICY

AGREED:

*John A. Marshall*

-----  
JOHN A. MARSHALL, M.C.I.P.  
COMMISSIONER OF PLANNING  
AND DEVELOPMENT

*W.H. Winterhalt*

-----  
W.H. WINTERHALT, M.C.I.P.  
DIRECTOR OF PLANNING POLICY AND  
RESEARCH

ATTACHMENT ONE

THE CHURCHVILLE HERITAGE CONSERVATION DISTRICT PLAN

**SUMMARY OF RECOMMENDATIONS**

The Churchville Heritage Conservation District Plan is divided into three major parts. Each part contains recommendations respecting aspects of conservation, planning and implementation.

Wherever possible the recommendations contained in the heritage conservation district plan are contained below in their entirety. The only exceptions are those recommendations describing particular text changes to planning documents or those describing administrative processes. The reader is requested to refer to the main text of the heritage conservation district plan for further information.

**PART I : DISTRICT DESIGNATION**

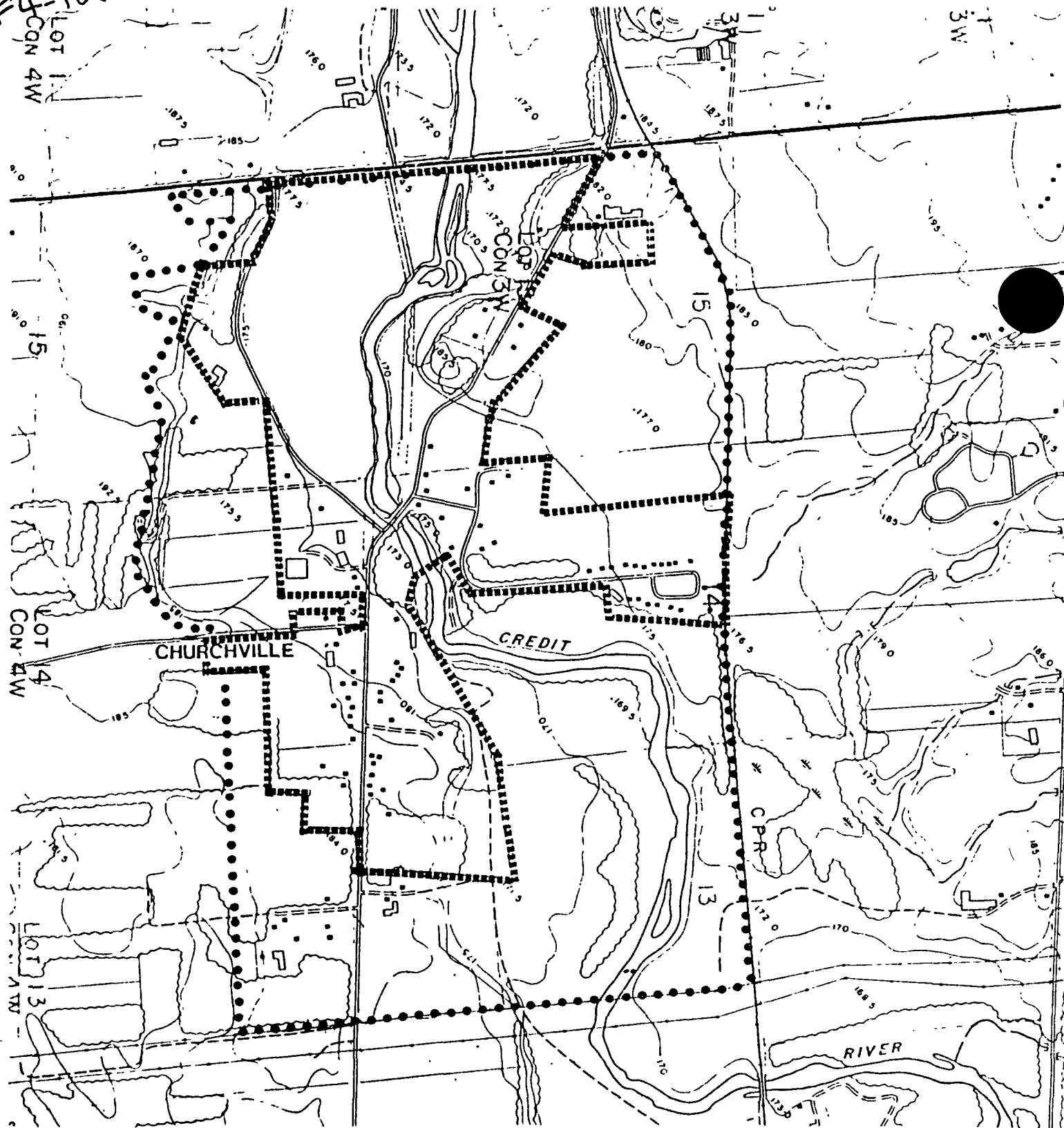
***Recommendation 1***

It is recommended that pursuant to subsection 41 (1) of the Ontario Heritage Act, council of the City of Brampton designate by by-law that area of the municipality identified generally as Churchville and surrounding lands as a heritage conservation district, more accurately depicted as "Proposed Heritage Conservation District" in the accompanying map.

***Recommendation 2***

It is recommended that the designating by-laws under Part IV of the Ontario Heritage Act (affecting Churchville Cemetery and "Whitehall") be repealed under Section 31 of the Act upon Ontario Municipal Board approval of the district designation by-law.

FF-12  
LOT 1  
CON 4W



Proposed Heritage Conservation  
 District Boundary ●●●●●●●●  
 Settlement Area - - - - -

Proposed Heritage Conservation District Boundary

Village of Churchville  
 Heritage Conservation District Study

David Cuming and Associates  
 Unterman McPhail Heritage Resource Consultants  
 Wendy Shearer Landscape Architect Limited

**PART II : CONSERVATION, DESIGN AND LANDSCAPING  
GUIDELINES**

***Recommendation 3***

In order to guide sound conservation and prudent management of the designated heritage conservation district of Churchville it is recommended that Part II of this heritage conservation district plan be adopted by the Council of the City of Brampton.

**PART III : PLANNING, DEVELOPMENT AND  
IMPLEMENTATION**

***Recommendation 4***

It is recommended that Churchville should be located outside of the long term urban area boundary in the Draft Regional Official Plan.

***Recommendation 5***

It is recommended that additional policies are incorporated into section 1.7.1.1 of the City of Brampton Official Plan.

***Recommendation 6***

It is recommended that additional policies are incorporated into section 7.12 of the City of Brampton Official Plan.

***Recommendation 7***

It is recommended that additional policies are incorporated into section 2.1.2 of the City of Brampton Official Plan.

***Recommendation 8***

It is recommended that additional policies respecting conservation of Scenic Drives are incorporated into section 4.2.1 of the City of Brampton Official Plan.

***Recommendation 9***

It is recommended that Hallstone, Creditview and Churchville Roads be designated as Scenic Drives throughout the heritage conservation district. If considered desirable this designation may also be considered for that portion of Hallstone Road outside of the district west to Mississauga Road, and those portions of Churchville and Creditview to their intersection north of Steeles Avenue. Appropriate signage of these Scenic Drives may be considered by Council.

***Recommendation 10***

It is recommended that additional policies respecting conservation of streetscapes are incorporated into section 4.2.1 of the City of Brampton Official Plan

***Recommendation 11***

The following are recommended as amendments to the Residential Hamlet RH zone in Churchville, listed in priority and considered to be maximum limits to building form:

- Maximum building height of 8.75 metres (28.7 feet).
- A floor space index of 0.17 or a ratio of approximately 1:6.

***Recommendation 12***

It is recommended that section 45.1.2 of the Zoning By-law be amended to read:

**45.1.2**

- (a) No person shall, within any floodplain zone, erect, alter or use any building or structure for any purpose except that of flood or erosion control.

- (b) Notwithstanding the foregoing where such structures are of heritage interest or value, buildings may be altered or adaptively re-used in a manner in keeping with their distinguishing features and with regard for public safety.

***Recommendation 13***

It is recommended that a tree preservation by-law be adopted by Council which applies only to publicly owned property within the designated district and prohibits the felling, uprooting, willful damage or destruction of trees without the consent of City Council on the advice of the district committee.

***Recommendation 14***

It is recommended that a detailed traffic management study of Creditview Road be undertaken in the future to assess the merits of road closure and the impacts on the environment and the local and Regional road network.

***Recommendation 15***

It is recommended that if the tablelands to the east of Churchville Road are developed that the following be undertaken:

- an archaeological assessment of the property with suitable mitigation measures proposed in the light of significant findings;
- suitable landscaping measures be adopted with particular attention to Churchville Road as a major entrance into the village;
- protection of the slopes in the southern portion of the site such that they are not physically or visually breached by any form of development;

- the promotion of a mix of contemporary residential building types, low in profile with simple roof forms, executed in wood or stucco wherever feasible, with any required larger homes being suitably buffered or located in less visually sensitive areas; and,
- regard be given to those specific measures identified in the landscape conservation and enhancement section of this plan as it pertains both generally and specifically to the subject lands.

***Recommendation 16***

It is recommended that a committee be established for the management of this conservation district, to be known as the Churchville Heritage Conservation District Committee, reporting to and advising the Planning and Development Committee of the City of Brampton.

***Recommendation 17***

If there is a continued provincial commitment to the Conservation District Funds program under the Ministry of Culture and Communications' grants program "*Preserving Ontario's Architecture*" it is recommended that the City establish a conservation district fund for the Churchville district with a municipal contribution to be decided upon by City Council in light of prevailing budget commitments.

***Recommendation 18***

It is recommended that a proposed permit application process for public and private property owners is adopted.

***Recommendation 19***

It is recommended that where any application or proposal for one of the following is located within or partially within the designated district the district committee shall be circulated for comments:

- a variance or a consent;
- a plan of subdivision;

- zoning amendment;
- road closure;
- road widening;
- slope or bank stabilization; and,
- all activities of the CVCA.



PUBLIC MEETING

A Special Meeting of Planning Committee was held on Wednesday, July 4, 1990, in the Municipal Council Chambers, 3rd Floor, 150 Central Park Drive, Brampton, Ontario, commencing at 7:44 p.m. with respect to a Summary Report on the VILLAGE OF CHURCHVILLE HERITAGE CONSERVATION DISTRICT PLAN (File No.: C35 - Ward 6) and the VILLAGE OF CHURCHVILLE HERITAGE STUDY to implement the Official Plan and Zoning By-law amendments.

Members Present: Councillor Peter Robertson - Chairman  
Alderman S. Di Marco  
Alderman S. Fennell  
Alderman A. Gibson  
Alderman P. Palleschi  
Alderman F. Russell  
Alderman J. Sprovieri

Staff Present: J.A. Marshall, Commissioner of Planning  
and Development  
L.W.H. Laine, Director, Planning and  
Development Services Division  
J. Armstrong, Development Planner  
K. Ash, Development Planner  
C. Brawley, Policy Planner  
J. Corbett, Development Planner  
A. Rezoski, Development Planner  
H. Harwood, Secretary

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Several interested members of the public were present.

The Chairman inquired if notices to the property owners within 120 metres of the subject site were sent and whether notification of the public meeting was placed in the local newspapers.

Mr. Marshall replied in the affirmative.

Cont'd...

Mr. Corbett outlined the proposal and explained the intent to preserve the heritage attributes of Churchville. After the conclusion of the presentation, the Chairman invited questions and comments from members of the public.

Mr. Charles A. Kee, R.R. #10, lives at Creditdale Farm since 1954 and is owner of 20 acres of land in the village and because there is no building on the land, does not have right to vote on the proposal as part of the Churchville Residents Association. He read his letter of objection and asked that his land be left out of the designation. He also questioned the floodland definition. A copy of his letter is attached together with a copy of his December 1989 letter.

Mr. Chairman asked Mr. Corbett to contact Mr. Kee to discuss his concerns.

Mrs. Elizabeth Mundy, 1516 Hallstone Road, R.R.# 10, also objected to the designation of Churchville as a Heritage Conservation District. Large homes have already been built in the village and due to the heritage guidelines she will not be permitted to add a sunroom to her house. Large dwellings abutting her property infringe on her privacy and contribute to the loss of her property rights and feels she is getting unfair treatment.

Mrs. Carole Miles, 7895 Creditview Road, R.R. #10, sympathizes with other residents opposing the plan, however, she supports the designation of Churchville as a heritage conservation district.

Mr. Bill Williams, R.R. #10, feel that the heritage designation would have negative impact. He has trouble understanding the guidelines, too restrictive. He is fearful he will not be permitted to build a bigger house in the future.

Mr. Corbett and Mr. David Cuming explained the guidelines and their role.

Mr. Williams expressed many other concerns; cost to residents of more tests done on the land, setback distance, width of 40 feet for dwelling, roofing material, of the 80 homes reviewed only 13 conform to the guidelines.

- cont'd. -

Alderman Lorna Bissell suggested that Mr. Williams meet with Mr. Corbett and get clarification on these matters.

Mr. Palleschi agreed that guidelines are too restrictive.

Mrs. Josephine Riccio, R.R. #10, would prefer a wider range of dwellings.

Mrs. Sarah Pengalli requested her name be put on the list to receive all future public meeting notices. She is the owner of a strawberry and apple farm at the south limit of the village and is concerned that the closing of the road would affect her business.

Mr. Tom Bartlett, former Chairman of the Resident's Committee, supported the designation and indicated that many of the people opposing the plan now, just did not get involved with any of the meetings previously held by the Resident's organization.

Mr. Gordon Galliford, 1288 Martins Blvd., R.R. #10, also supported the plan but added that the guidelines should provide more flexibility.

There were no further questions or comments and the meeting adjourned at 8:44 p.m.

Charles A. Kee

F4-21  
4 90

Mr. Chairman. I am Charlie Kee and I have lived at Creditdale Farm on the Credit River at the corner of Steeles Avenue West and Creditview Road since 1954.

I have also owned 20 acres in The Village of Churchville since 1955, which I cropped and used as pasture.

As there are no buildings on the 20 acres, I have not been permitted to join the Churchville Residents' organization and, am thus without a vote on the proposed creation of a Heritage Area. Nor do I receive any notice of their meetings.

When I first heard of the proposed creation of a Churchville Heritage Area, I was fortunately able to obtain a copy of the consultants' findings in a report handed out at a meeting of the Churchville inhabitants organization and have studied the report.

I find it very difficult to establish the projected boundaries extant in the accompanying plan included in the report by reason of there being two sets of boundary lines. When I first heard of the proposed plan I tried on two occasions to reach

PH-22  
Charles A. Ree

by telephone the officer of the Municipal Planning Agency but I was unsuccessful in this regard. And, my telephone calls were not returned. So on December 22nd, 1989 I wrote the following letter to the officer in charge.

I now request the Committee to kindly leave my acreage outside the plan. I have an opinion on the result <sup>if</sup> adopting this plan.

1. Its adoption will tend to reduce tax revenues to the city in future.
2. It will foster slower value growth for the owners in the village.

Respectfully submitted, I table a copy of these remarks and one of my letter of December 22, 1989 for the consideration of the Committee.

Charles A. Ree

December 22, 1989

Creditdale Farm  
RR 10  
Brampton Ontario  
L6V 3N2

John Corbett, Esq. M.C.I.P.

Re: CHURCHVILLE HERITAGE CONSERVATION STUDY

Dear Sir;

I have owned the 20 acres described in the Tax Roll as 10140 09705300 since January 1955.

I have used the 14.8 acres of bottom land for pasture of my Angus cattle from Creditdale Farm at the corner of Steeles Avenue West and Creditview Road. The top 5.2 acres I have always used for grain crops. At this time the 14.8 acres are rented to the adjoining riding academy establishment.

Adjoining this 14.8 acres on Creditview Road is a brick house that has been there since 1841. The Rollings home which also adjoins my property to the south has been there since 1850 and the C.V.C.A. calls this flood land!

I presume that the consultants who prepared the report in question bulked my 14.8 acres adjoining the old houses because the C.V.C.A. classes it as flood land. The two old houses militate against this classification as do all the other more modern houses located in close proximity.

As to the 5.2 acres of high crop land I had a top of the bank survey made of that portion in 1988 by B.J. Stoffer Ltd., Surveyors and O.L.S. That survey establishes the size of the acreage above the top of the bank.

Also, last year I had Emrik H. Suichies & Assoc. Consulting economists and planners make a survey of the land and they reported that the top 5.2 acres might easily, in the near future, be used for light industry.

FH-24

Charles A. Kee

Therefore, I conclude that the inclusion of my 20 acres, and especially the 5.2 acres above the top of the bank, impose an unfair and unwarranted economic hardship on me as it would obviate the possibility of my land being utilized for development in the City of Brampton and I will make representations to the authorities if the aforementioned acreage is included.

Seasons Greetings,

Charles A. Kee, B.A. (Hon) Geol.  
F.G.A.C.

Mr. and Mrs. R. Crouch  
 R.R. #10  
 Brampton, Ontario  
 L6C 3X2

July 11, 1990

City of Brampton PLANNING DEPT.	
Date	JUL 25 1990 Rec'd
File No.	C-35

Mr. John Corbett,  
 Planner, Land Use Policy  
 Department of Planning  
 and Development  
 City of Brampton  
 150 Central Park Drive  
 Brampton, Ontario  
 L6T 2T9

WJW

Dear Mr. Corbett:

Re: Churchville Heritage Designation

Having arrived late at the required Public Meeting held on July 4th, 1990 at Council Chambers, I was distressed with the perception of fellow villagers of the Planning Committee's reaction to the few representations made.

I am currently President of the Churchville Village Residents' Association, Chairman of the Ward 6 Citizens' Advisory Committee, and a member of the Brampton Heritage Board. While this may suggest a proactive heritage leaning, I must mention that my support of the designation, and my involvement in volunteering, developed after some years of living in the village and watching more suburban Brampton and Mississauga encroach on the village. My natural inclination to dislike more layers of legislation and regulation has been turned around by the ever increasing intrusions of vehicular traffic, air traffic, and unsympathetic infilling.

The public process with respect to the Heritage Designation has been extensive. Personal delivery of notices to meetings have been made to the mail boxes or doors of all residents. Each person addressing the public meeting attended one or more of the village meetings. Their concerns were discussed, met or rejected, always by substantial majority. The provisions of the draft by-law supporting the designation, for example, were approved by 67% of attenders, most of whom had reservations about the designation!

Mr. Keyes, one of the objectors, is not a member of the Residents' Association since he lives outside our geographical boundary. However, he attended a meeting at Churchville and expressed to me his desire to build a house for a child on his tableland acreage.

..... /2



He suggested we "young people" were making a mistake which would affect property values. He suggested only seven buildings were worth preserving. On the other hand, at the public meeting, he exposed intentions to develop "light industrial" uses to land currently zoned either residential hamlet or agricultural. He seems to have no appreciation for the unique character of the village which a large majority wish to preserve. He purchased his land when it was only to be considered agricultural for an indefinite period of time.

Mrs. Mundy, another consistent objector to the designation, was confused in her public meeting presentation, due to her desire to stop the construction next door which offends her. The majority of the villagers join her in wishing to contain such infilling.

Mr. Williams, a vociferous objector, has consistently failed to determine the difference between draft guide lines and the zoning by-law in support. He always mentions his desire for a large house; he has acreage that permits the construction of one under the draft by-law. He never mentions the two building lots he has for eventual disposition, or what may be a desire to subdivide; nor will he acknowledge that nothing in the designation affects his ability to sever. He is inclined to threaten villagers with "affordable housing" if we prohibit accelerated estate developments now. He is not among the majority who wish to protect the character of the village.

Mrs. Pengilley is not a landowner in the village. Her family's tenure will be determined by the Provincial Government's development of Highway 407. She has professed in the past to be in favour of Heritage Designation, and, as Secretary of the Residents' Association, has told the executive that she did not object to road closure so long as access to a lane to her farm, south of the proposed cut-off, would be maintained. However, she continues to lobby to keep the road open, (without informing the rest of the executive of her mixed view), and will not recognize the changes in access which proposed intensive residential development by Mississauga of Creditview Road south of the village will cause.

Accusations were made that executive members were performing alterations which would not be permitted under the draft by-law. Four executives have recently performed or are performing alterations. One is Angelo Riccio, who has never favoured Heritage Designation. (We are not a proactive association.) His spouse noted her objections. Their neighbours described the distress the construction is causing. Another is Jim Natterer, who built his large home before becoming a resident and learning of designation.

Page - 3 -

Another is Harry Blackburn, whose addition would comply. The other is Marion Bartlett, whose non-compliance, I would suggest, would be approved by both a designation committee and the Committee of Adjustments.

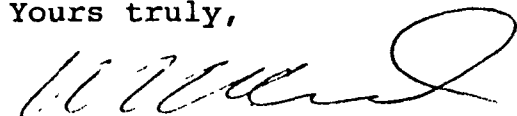
Some concerns were raised with respect to statistical minutae in the guidelines. Certainly it should be clear that the vernacular housing sets the tone of the village, and future development should maintain the low profile it promotes. The fact that every home is not one and one half stories is irrelevant.

Please indicate to council that majority views should be respected. Please indicate to council that the test of fair hearing has been met. Please indicate to council that a handful of objections cannot turn back this promising opportunity to preserve, in the long run, a unique residential hamlet with rural character in a City founded in its rural roots.

This is a character by-law. Let us maintain that character.

All of which is respectfully submitted.

Yours truly,



Robert B. Crouch

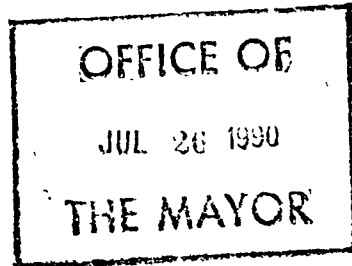
c.c. J. Hutton, Alderman  
P. Robertson, Regional Councillor  
F. Russel, Regional Councillor  
His Worship Ken Whillans, Mayor

F4-08

R.R.10 (Hallstone Road)  
Brampton.  
Ontario. L6V 3N2

July 24th, 1990.

Mayor K.G. Whillans.  
City of Brampton.  
Box 2350.  
Brampton.  
Ontario. L6T 3Y9



Dear Mayor Whillans,

I am very concerned about the proposed Heritage District for the village of Churchville, and tried to express my concerns at the recent public meeting of the Planning Committee which was held at City Hall on July 4th.

At that meeting I presented a selection of photographs I had taken the previous Friday which clearly showed the Heritage restrictions being proposed were already obsolete when so many people in the area have either built estate homes or expanded their existing houses far beyond the guidelines which are now being proposed. It is my hope that you will review these pictures before the Council Meeting scheduled for August 13th to consider the Heritage Designation. Mr. Williams, also of the village of Churchville had a photograph of every house in the proposed Heritage District and I was sorry to see that no-one requested that he leave them as well, so that Council could be fully aware of what they were being asked to vote on.

The property adjoining mine is undergoing yet another addition, despite the fact the original building permit was never completed. This permit I understand was granted in August last. An ongoing construction site has existed next door to me for all of the five years I have lived in Churchville. Upon completion the residence will be some 6000 square feet.

My purpose in bringing this to your attention is that under the proposed Heritage guidelines I have been verbally advised that it will not be possible for my husband and I to add even a sunroom. We live in a modest bungalow and in contemplation of our retirement we would like to add a sun room adjacent to our sitting room. The way our home is situated on the lot there is no space at the back to install a sunroom, the yard behind the garage is very small, but in any case with the new construction so recently approved by Brampton planning for the adjoining property any privacy for that area is now lost. Being situated on a corner property, and the way the home is placed leaves us no alternative but to add on at the side, where incidentally we have approximately 110 feet of garden.

In 1984 a study was done under the Summer Canada Youth employment Programme. The project was sponsored by the Employment and Development Branch of Employment and Immigration Canada in conjunction with the Brampton Heritage Board (LACAC) and the Corporation of the City of Brampton. One assumes our young people receive considerable guidance when being employed in one of these programmes. As a result of this study "Churchville" "Reminders of the Past" was published.

To quote from this publication:

"To designate the entire village as a Heritage District would include many properties that do not meet the criteria for designation. We therefore felt it necessary to categorize them either under Heritage District Designation (section 4), or Individual Property Designation (section 5). The district is located at the heart of Churchville and consists of a group of buildings that once played a vital role in the life of the community". "The individual properties are located just on the outskirts of Churchville and are additional reminders of the hamlets existing past".

"From this research, we conclude that the city should designate the 'Heart of Churchville' as a Heritage District, under Part V of the Ontario Heritage Act. We also recommend that the City encourage individual land owners, of the proposed properties outside the district to seek individual designation under Part IV, of the Ontario Heritage Act".

It is true that several meetings were held in the village regarding the proposed Designation. For my part I stated my opposition at the two meetings which I attended, as did several other residents of the village. It is also true that feelings ran very high at these meetings and it was my decision not to attend any more. I understand there are other members of the community who made the same decision. It was apparent to me that the Committee of the Residents Association were totally pro heritage. As you know many people have lived here all their lives and do not want to have their community torn apart by this.

At the public meeting at City Hall it was stated that 80% had voted in favour of Heritage, this was of course 80% of the people who were in attendance at the time of the vote .. NOT 80% of the village population. It was also stated that people were not aware of the opposition to this proposal but this is not true. I understand that several people have written to the City of Brampton stating their views, for my part I addressed several of my concerns including my opposition to the Heritage proposal in a letter to Alderman Hutton with copy to you and Councillor Robertson in March of this year. Incidentally, to date I have not had a reply to my letter and am left with the impression that unless one is

F4-30

influential in the City of Brampton it is a waste of time to express ones concerns. How unfortunate this situation is. At 17 years of age my son wrote to the Hon. Don Blenkarn, at that time our Federal M.P. Within a short time a reply was received addressing all of my sons concerns. I don't have to tell you that Mr. Blenkarn has a strong supporter and promoter now that my son is a grown man.

I realize the City of Brampton is a very large area and you have to rely upon your members of Council to give you sound and impartial advice, but I implore you to take a drive through the village of Churchville and assess the situation for yourself. I am confident that you will come to a fair and equitable decision in this matter.

Yours Very Sincerely,

*E. T. Mundy.*

Elizabeth T. Mundy.

encl: Extract from "CHURCHVILLE - Reminders of the Past".

## RECOMMENDATIONS

Our goal was to determine if properties within Churchville should be given a Heritage Designation status under the Ontario Heritage Act. On the preceding pages is a documented account of our research on Churchville's history and architecture. We have discovered twenty-seven properties which we feel are worthy of designation. To designate the entire village as a Heritage District would include many properties that do not meet the criteria for designation. We therefore felt it necessary to categorize them either under Heritage District Designation (section 4), or Individual Property Designation (section 5). The district is located at the heart of Churchville and consists of a group of buildings that once played a vital role in the life of the community. As mentioned earlier, they had former uses ranging from stores to hotels and provide an excellent

visual record of Churchville's past.

The individual properties are located just on the outskirts of Churchville and are additional reminders of the hamlets exciting past. They not only possess antiquity but also architectural variety in their styles. Important community members once resided in these outlying properties.

From this research, we conclude that the city should designate the 'Heart of Churchville' as a Heritage District (see page 21), under Part V of the Ontario Heritage Act.

We also recommend that the City encourage individual land owners, of the proposed properties outside the district (see page 51), to seek individual designation under Part IV, of the Ontario Heritage Act.



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number \_\_\_\_\_

To amend By-law 139-84  
(former Township of Toronto  
Comprehensive Zoning By-law)

The council of The Corporation of the City of Brampton  
ENACTS as follows:

1. By-law 139-84, as amended, is hereby further amended:

(1) by deleting therefrom section 11.3.1(2)(i), and  
substituting therefor the following:

"11.3.1(2)(i) Maximum Building Height: 8.7  
metres".

(2) by adding thereto, the following as section  
11.3.1(2)(1):

"11.3.1(2)(1) Maximum Floor Space Index: 0.17."

(3) by deleting therefrom section 45.1.2, and  
substituting therefor the following:

"45.1.2 shall be subject to the following  
requirements and restrictions:

(a) No person shall, within any floodplain  
zone, erect, alter or use any building  
or structure for any purpose except  
that of flood or erosion control;

(b) Notwithstanding section 45.1.2(a),  
where such structures are of heritage  
interest and value, buildings may be  
altered or adaptively re-used in a  
manner in keeping with their  
distinguishing features and with regard  
for public safety."





F4-34

AMENDMENT NUMBER \_\_\_\_\_  
to the Official Plan of the  
City of Brampton Planning Area



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number \_\_\_\_\_

To adopt Amendment Number \_\_\_\_\_  
to the Official Plan of the City  
of Brampton Planning Area

The Council of the Corporation of the City of Brampton, in accordance with the provisions of the Planning Act, 1983, hereby ENACTS as follows:

1. Amendment Number \_\_\_\_\_ to the Official Plan of the City of Brampton Planning Area, is hereby adopted and made part of this By-law.
2. The Clerk is hereby authorized and directed to make application to the Minister of Municipal Affairs for approval of Amendment Number \_\_\_\_ to the Official Plan of the City of Brampton Planning Area.

READ a FIRST, SECOND AND THIRD TIME, and PASSED, in OPEN COUNCIL,

this \_\_\_\_\_ day of \_\_\_\_\_, 19 .

\_\_\_\_\_  
KENNETH G. WHILLANS - MAYOR

\_\_\_\_\_  
LEONARD J. MIKULICH - CLERK

10/90/jo

AMENDMENT NUMBER \_\_\_\_\_  
TO THE OFFICIAL PLAN OF THE CITY  
OF BRAMPTON PLANNING AREA

1.0 Purpose:

This amendment implements specific policy recommendations resulting from the Village of Churchville Heritage Conservation District Study. The intent of these policies is to:

- o introduce comprehensive heritage conservation planning policies to the Brampton Official Plan;
- o establish specific heritage policies for the rural settlement of Churchville; and,
- o introduce additional policies respecting the conservation of scenic drives and streetscapes.

2.0 Location

Lands subject to this amendment are located within the rural settlement of Churchville, south of Steeles Avenue, immediately west of the Canadian Pacific Railway, comprising part of Lots 13, 14 and 15 in Concessions 3 and 4 W.H.S. (geographic Township of Toronto, now in The City of Brampton). The subject lands are shown outlined on Schedule 'A' to this amendment.

The comprehensive heritage conservation planning policies also introduced by this amendment, may be applied to the whole of the Brampton Planning Area where appropriate.

3.0 Amendment and Policies Relative Thereto:

The Official Plan for the City of Brampton Planning Area is hereby amended:

- (1) by deleting therefrom section 1.7.1.1;

(2) by adding thereto, the following as sections 1.7.1.1 to 1.7.1.8:

"1.7.1.1 Council will consult with the Brampton Heritage Board in matters relating to the conservation of heritage properties within Brampton. The Heritage Board may identify and/or inventory buildings of architectural and historical significance and advise Council on those considered worthy of designation under Part IV of the Ontario Heritage Act.

1.7.1.2 The City in consultation with the Heritage Board may also designate heritage conservation districts under Part V of the Ontario Heritage Act where it has been determined that any district possesses one or more of the following attributes:

- (i) the area contains a group of buildings or features that reflect any aspect of local history, through association with a person, group or activity;
- (ii) the area is characterized by buildings and structures that are of architectural value or interest;
- (iii) the area contains other important physical and aesthetic characteristics that alone would not be sufficient to warrant designation but provide an important context for built heritage features or associations with the district including such matters as landscape features or archaeological sites.

1.7.1.3 Prior to designating a heritage conservation district the City will:

- (i) by by-law define and examine an area for future designation;

- (ii) prepare and adopt a conservation district plan containing policies, guidelines and relevant information respecting the protection and enhancement of the district;
- (iii) establish for each district a "district committee" or shall establish a sub-committee of the Brampton Heritage Board that will advise Council on matters pertaining to the designated district.

1.7.1.4 Within a designated district it is the intent of Council to conserve and enhance the unique heritage character of the area. Council in consultation with the appropriate district committee will encourage property owners to maintain and repair heritage buildings and seek government grants and loans for eligible conservation work.

1.7.1.5 In reviewing proposals for the construction, demolition, or removal of buildings and structures or the alteration of existing buildings the City will be guided by the applicable heritage conservation district plan and the following general principles:

- (i) heritage buildings and archaeological sites including their surroundings should be protected from any adverse effects of the development;
- (ii) original building fabric and architectural features such as doors, windows, mouldings, vergeboards, walling materials and roofs should be retained and repaired;
- (iii) new additions and features should generally be no higher than the existing building and wherever possible be placed to the rear of the building or set-back substantially from the principal facade;

(iv) new construction and/or infilling should fit the immediate physical context and streetscape:

- (a) by being generally of the same height, width and orientation as adjacent building;
- (b) be of similar setback;
- (c) of like materials and colours; and
- (d) using similarly proportioned windows, doors and roof shape.

1.7.1.6 Public works and landscaping within a designated district should ensure that existing road and streetscapes are maintained or enhanced and that proposed changes respect, and are complementary to the identified heritage character of the district.

1.7.1.7 Required road rights-of-way, daylighting triangles and corner roundings indicated elsewhere in the Official Plan will be required in designated districts but every effort shall be made to ensure that existing pavement widths especially where they are major contributors to the character of the streetscape will be retained.

1.7.1.8 The City may acquire the freehold rights to acquire easements on, or impose covenants on, real property designated as a heritage conservation district, site or structure."

(3) by adding thereto the following as sections 7.12.2 and 7.12.3:

"7.12.2 Where Council has designated heritage conservation districts in accordance with the policies of the Official Plan, it is intended that the general policies of section 1.7.1 pertaining to districts will be refined and amplified to apply to individual designated

districts and their particular attributes and features by means of heritage conservation district plans.

Generally, a heritage conservation district plan will:

- (i) be prepared prior to the designation of a district and will prescribe policies; conservation and design guidelines; and other pertinent material relating to the sound and prudent management of the district's unique character;
  - (ii) be adopted by Council after consultation with property owners and other interested agencies as considered appropriate;
  - (iii) be implemented by municipal review of permit applications for changes within the district. Additionally, the City may initiate, where feasible, public improvements within the district, and encourage property owners to seek grants for conservation work through a variety of government funding programs;
  - (iv) not be considered as a secondary plan and will not be incorporated into the Official Plan by way of amendment. Where, however, Official Plan policies and/or land use designations are considered to be unsympathetic to the protection of a particular heritage conservation district the City may amend the Plan to better reflect the appropriate planning and conservation of that area."
- (4) by adding thereto, the following as section 2.1.2.5:
- "2.1.2.5 OBJECTIVE: The maintenance, protection and enhancement of the Churchville Heritage Conservation District.

POLICIES:

- 2.1.2.5.1 The rural character of the district shall be maintained by encouraging the preservation of the river valley and its vegetated slopes, existing tree stands, treelined roads, agricultural lands and accessory farm buildings.
- 2.1.2.5.2 Within the designated district of Churchville existing heritage buildings, structures and properties should be conserved.
- 2.1.2.5.3 The design of new development either as freestanding structures or as alterations or additions to existing buildings should be low in height and generally respect the prevailing rural residential character of the area.
- 2.1.2.5.4 Public works should ensure minimal impact on the character of Churchville particularly its narrow treelined roads and broad valley lands.
- 2.1.2.5.5 Regard shall be had at all times in the conservation and planning of the area to the guidelines and intent of the Churchville Heritage Conservation District Plan.
- (5) by deleting therefrom section 4.2.1.19 and substituting therefor the following:
- "4.2.1.19 Council may designate by by-law certain roads or sections of roads which have attractive natural or man-made scenic vistas as Scenic Drives. Roads so designated are intended to be maintained in their existing state or enhanced wherever feasible provided that they do not jeopardize the safety of the travelling public. Scenic Drives may also be plaqued or otherwise signed along their routes in order to identify them to the travelling public and visitor.



In particular the City will endeavour to retain and protect:

- (i) existing paved road widths where they contribute to the scenic character of the designated drive;
  - (ii) existing trees and treelines within the road right-of-way;
  - (iii) other vegetation, plantings and features such as boulevards, hedgerows, ditches, grassed areas and fencelines; and,
  - (iv) transportation related heritage features, such as bridges, where they contribute to the special character of the road."
- (6) by adding thereto, the following as section 4.2.1.20:

"4.2.1.20 Within designated heritage conservation districts council will conserve existing streetscapes wherever feasible and shall attempt to retain existing road characteristics and associated landscape features."

10/90/JC/jo  
OPACHurch

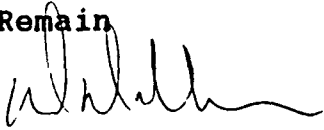
July 27, 1990

W. D. Williams  
R.R. 10 Brampton  
Ontario

The Planning Committee  
City of Brampton

Please accept this letter as my (and/or my agent) request to be heard on your meeting scheduled for August 13, 1990 regarding the proposal to have Churchville designated as a Heritage Village. Thank you.

I Remain



W. D. Williams  
Ph 4596589

RECEIVED  
CLERK'S DEPT.

JUL 30 1990

REG. No: 10709  
FILE No: G24A



F4-44

**RECEIVED**  
CLERK'S DEPT.

AUG 01 1990

REG. No.: 10881  
FILE No.: P45C

Hallstone Road.  
R.R. 10  
Brampton.  
Ontario. L6V 3N2

Tel. No. 451-0416

July 31st, 1990.

The Corporation Of The City Of Brampton.  
Office of the City Clerk.  
150 Central Park Drive.  
Brampton.  
Ontario. L6T 2T9

Dear Sirs,

My name is Elizabeth Mundy. I live on Hallstone Road in the village of Churchville.

Please be advised that I would like to speak to the item dealing with the proposed Heritage Designation for Churchville.

I understand that this item will be on the agenda at the Council meeting on August 13th, 1990.

Yours truly,

*E. J. Mundy*

Elizabeth Mundy.





150 Central Park Drive,  
Brampton, Ont., L6T 2T9  
793-4110

F4-45

# The Corporation Of The City Of Brampton

## Brampton Heritage Board (LACAC)

1990 08 02

Mr. R. D. Tufts  
Assistant Clerk  
City of Brampton  
150 Central Park Drive  
BRAMPTON, Ontario.  
L6T 2T9


Dear Sir:

RE: POSSIBLE DESIGNATION OF CHURCHVILLE  
DELEGATION - PLANNING MEETING 1990 08 13  
OUR FILE G33G

Please be advised that Mr. Colin Campbell, Chairman of the Brampton Heritage Board, wishes to appear as a delegation at the Planning Meeting on August 13, 1990.

Attached is a copy of a brief which Mr. Campbell will elaborate on at the meeting.

Yours truly,

  
Eileen Collie  
Secretary

EMC

encl.

F4-46

**FOR INCLUSION WITH PLANNING COMMITTEE AGENDA  
FOR AUGUST 13, 1990 MEETING IN CONNECTION WITH  
HERITAGE BOARD DELEGATION RE CHURCHVILLE DESIGNATION**

The Brampton Heritage Board unanimously and strongly supports the designation of Churchville as a Heritage District. Heritage buildings and areas are an irreplaceable part of our community environment which deserve protection just as the physical environment deserves protection. The Board's view is that Churchville is a significant asset which should be preserved for future generations of both residents of the village and of the city as a whole. The designation proposal is the result of a long and careful study in which public input from the residents of Churchville has been requested and received at every stage. A substantial majority of residents of the village have supported and continue to support the designation. While the designation necessarily involves some restriction on property owners, the Board's belief is that the restrictions are reasonable and flexible in nature and will be applied by a group including representatives of the residents of Churchville.

City Council has consistently supported at every stage the Board's efforts to designate Churchville, including approval and financing of the secondary plan study. The Board's delegation will request Council to continue its support and proceed to final implementation of the designation proposal.

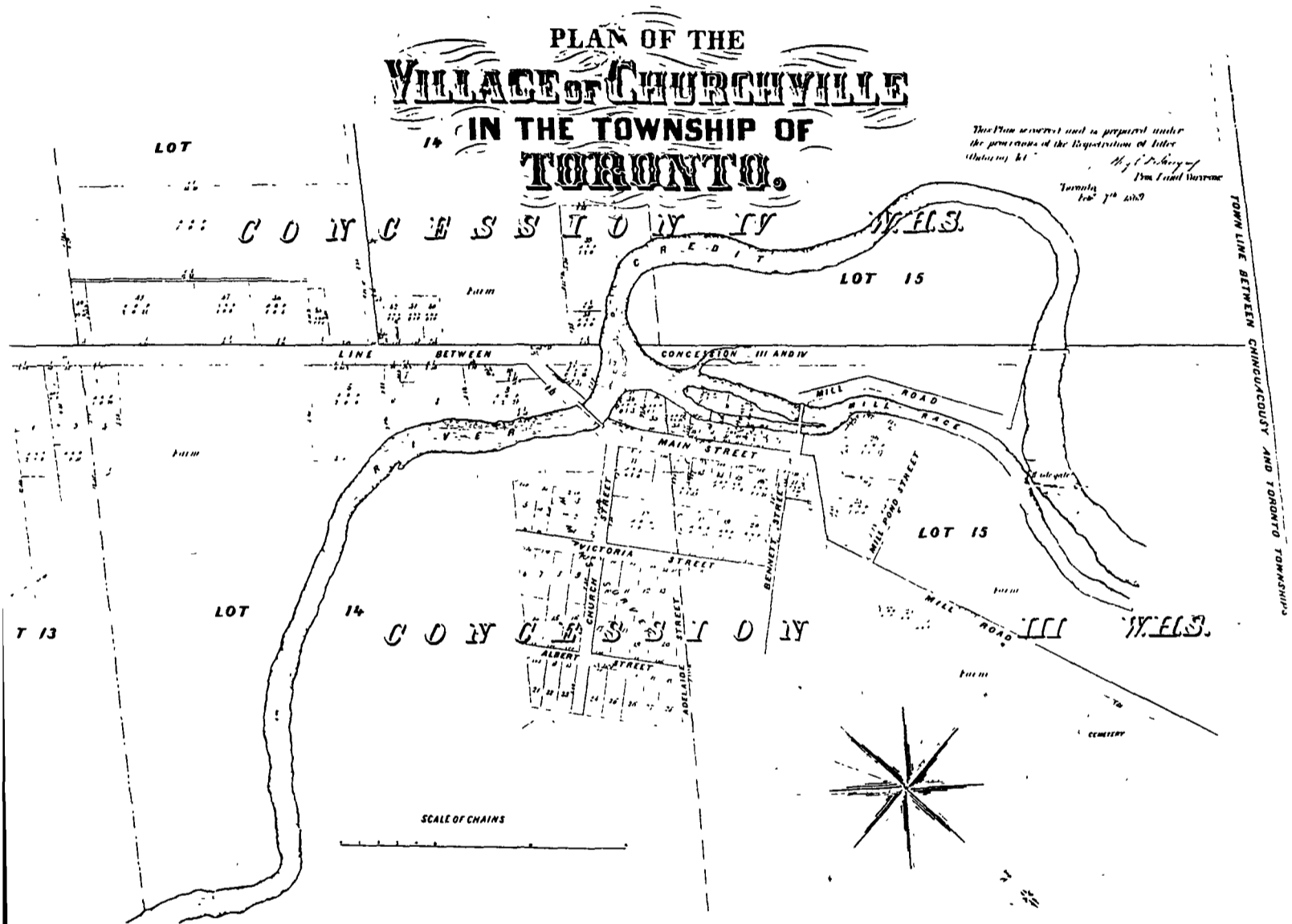
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CLERK'S DEPT.

AUG 02 1990

REG. No.: 10920  
FILE No.: 9389

# Village of Churchville Heritage Conservation District Study Background Report

Prepared for The City of Brampton



David Cuming and Associates  
Unterman McPhail Heritage Resource Consultants  
Wendy Shearer Landscape Architect Limited

**THE  
CHURCHVILLE  
HERITAGE CONSERVATION DISTRICT STUDY**

**BACKGROUND REPORT**

**OCTOBER 1989**

**(WORKING DRAFT, MARCH 1989)  
(DRAFT BACKGROUND, AUGUST 1989)**

**DAVID CUMING AND ASSOCIATES  
UNTERMAN McPHAIL HERITAGE RESOURCE CONSULTANTS  
WENDY SHEARER LANDSCAPE ARCHITECT LIMITED**





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## ACKNOWLEDGEMENTS

During the preparation of this background report a number of people were contacted by the consultants. Many provided information, advice and opinions regarding the diverse aspects of our work respecting the Churchville area.

The following are gratefully acknowledged and thanked for their assistance and contributions:

- Mr. John Corbett, Policy Planner, City of Brampton,
- members of the Steering Committee,
- City of Brampton Local Architectural Conservation Advisory Committee,
- all area residents who participated in the group meetings and provided information, photographs and other historical material.

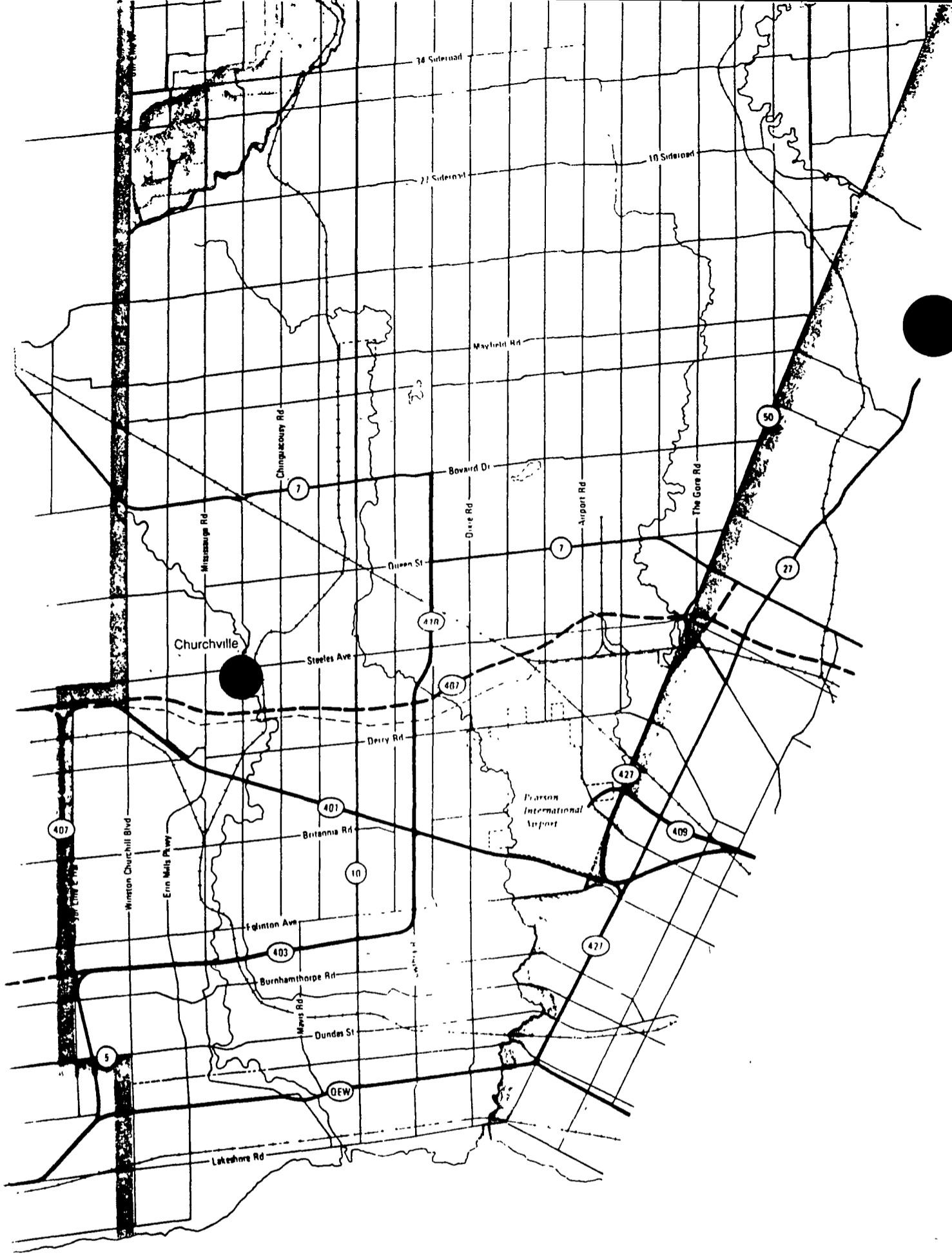
Finally, we wish to acknowledge the Ontario Heritage Foundation for the award of a grant towards the preparation of this study.

**SUMMARY AND CONCLUSIONS**

Pursuant to Part V of the Ontario Heritage Act the village of Churchville has been selected by the City of Brampton as a candidate for examination as a potential heritage conservation district.

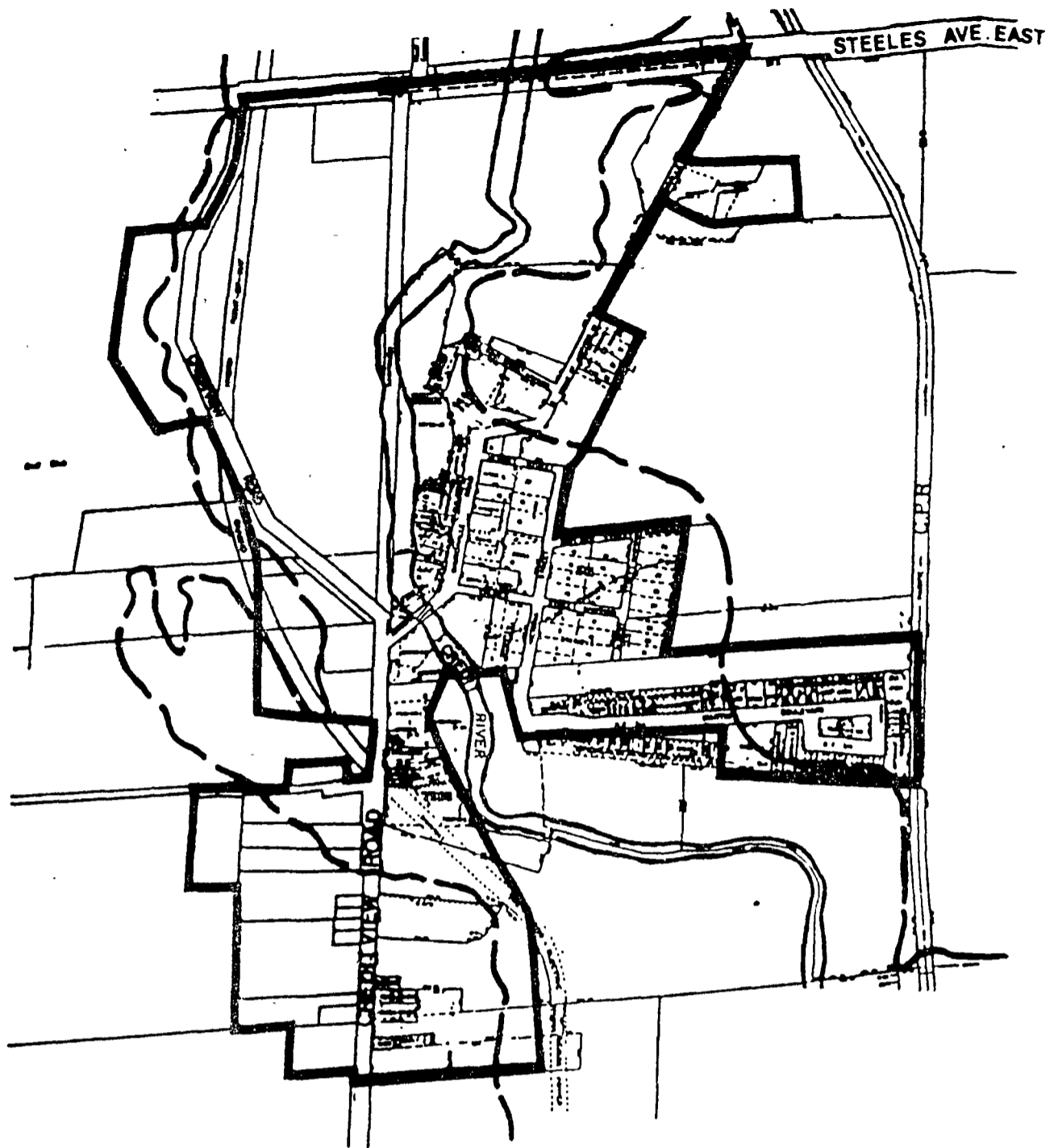
The Churchville heritage conservation district study area is situated in the southwest corner of the City of Brampton and generally located in the quadrant bounded by Mississauga Road to the west, Steeles Avenue to the north, the CP rail lines to the east and the City of Brampton municipal boundary to the south. (See accompanying Study Area Context map and Schedule "E(11)" of the Official Plan for the City of Brampton which defines the study area.)

The District Study comprises two major components: a background report: and, a district plan. This background report constitutes the examination of an area for future designation as a heritage conservation district, referred to in Section 40 of the Ontario Heritage Act. In many respects the background report establishes the reasons for designation of the Churchville area as a conservation district and provides the basis of "the merits of the application" for OMB approval of the district designation by-law.



Lake Ontario

CHURCHVILLE : THE REGIONAL CONTEXT



**CHURCHVILLE**

- LIMITS OF SETTLEMENT
- \* NOTE: See Polices 21.22-21.23
- ~** REGIONAL STORM FLOODLINE

SCHEDULE "E (II)"



1:8400

**CITY OF BRAMPTON**  
Planning and Development

MAY 1987

(ii)

The background report also forms the basis for the preparation of a district plan. The district plan will contain a number of recommendations regarding conservation practice, landscape and design guidelines, planning policies and implementation measures.

The background report examines:

- the historical context of the Churchville area;
- the architectural attributes of its heritage buildings;
- the landscape setting and scenic merits of Churchville and its environs;
- and, the overall planning context of this rural settlement area.

The village of Churchville is located in a particularly scenic portion of the Credit River valley. Dominated by its rural setting and modest vernacular buildings this settlement area has undergone significant changes since it was first inhabited by white settlers over 160 years ago. The copious supplies of water accounted for a thriving milling centre initially focussed on the lumber industry and later wheat. A variety of typical uses and associated buildings accompanied the growth of Churchville, but several economic downturns and a disastrous fire accounted for the demise of this once prosperous centre.

A number of buildings, however, did survive to the present day. Built predominantly of timber frame they represent a local tradition of

(iii)

modest mid-to-late nineteenth and early twentieth century, vernacular, rural structures. Some have been altered over the years with the addition of a variety of new synthetic claddings. Despite these changes these buildings are now becoming scarce within Brampton as urban development rapidly encroaches upon adjacent rural areas.

The rural character of Churchville provides a distinctive and important scenic context for these buildings. Narrow tree lined roads, views over the surrounding landscape, and the ever present influence of the Credit River and its steep valley sides provide a great diversity in such a relatively small area.

Planning policies for the village of Churchville and surrounding rural lands generally follow principles established in the Parkway Belt West Plan. Emphasis on low density, low profile development and the protection of distinctive natural features are planning objectives which complement traditional conservation principles. Only in certain regulations such as the building height permitted in the zoning by-law are there clear conflicts with the special character of Churchville.

The Churchville study area possesses a number of attributes that argue for its consideration as a heritage conservation district, notably:

- historical significance as an important nineteenth century milling centre in Peel Region;



(iv)

- scenic merit as a particularly attractive rural landscape setting in the Credit River valley;
- architectural interest in the surviving rural, vernacular, frame and masonry buildings scattered throughout Churchville; and,
- archaeological significance derived from a number of pre-historic archaeological sites, evidence of activity during the Laurentian Archaic (3000-5000 B.C.), Middle Woodland (3000 B.C.- 0 A.D.) and Iroquois (900-1500 A.D.) periods.

It is concluded that the Churchville area merits designation as a heritage conservation district under Part V of the Ontario Act.

**PART ONE**

## 1.0 INTRODUCTION

## 1.0 INTRODUCTION

### 1.1 Background

Under Part V of the Ontario Heritage Act a municipality may designate by by-law all or any defined areas within the municipality as a heritage conservation district. It has become conventional practice to study an area prior to prospective designation as a conservation district in order to identify the special heritage attributes and character of the area. The Ministry of Culture and Communications (formerly Citizenship and Culture) has advised in published guidelines that this is preferable.

The guidelines note that:

A heritage conservation district is an aggregate of buildings, streets and open spaces that, as a group, is a collective asset to a community in precisely the same way that an individual property is valuable to that community.

A district...may have architectural, historic, scenic, or archaeological aspects worth conserving. Above all else, a heritage conservation district has a special character or association that distinguishes it from its surroundings. Potential districts can be found in both urban and rural environments and may comprise residential, commercial and industrial areas, established rural landscapes or entire villages or hamlets. (Ontario's Heritage Conservation

District Guidelines; Ontario Ministry of Citizenship and Culture; 1985; page 11.)

Recognizing the unique heritage attributes of Churchville and the pressures resulting from rapid urbanization of the City of Brampton the Brampton Heritage Board requested and City Council agreed to, the preparation of a heritage conservation district plan for the Churchville area. Initiated in October 1988 the district study process comprises two major elements: a background report detailing the architectural, historical, landscape and planning context of the area; and a district plan containing policies, guidelines and recommendations respecting the future of the district once designated.

This document, the background report, is the first component of the district planning process.

#### **1.2 Purpose of the report**

Section 40 of the Ontario Heritage Act, R.S.O., 1980 permits a municipality to examine prospective heritage conservation districts prior to their designation by municipal by-law. Additionally in the required Ontario Municipal Board (OMB) hearing to approve the by-law under section 41 of the Act, the OMB must inquire into the merits of the application made by the municipality.

This background report details the heritage attributes of the Churchville study area and examines:

- the historical growth and development of the community (section 2);
- the landscape of Churchville, its discrete landscape units, scenic merits and detractions (section 3);
- the vernacular buildings of this historical settlement and their architectural attributes and historical associations (section 7); and,
- a prospective conservation district boundary which suitably seeks to delineate that area of particular heritage significance (section 6).

The report also includes a description of those planning policies that may impede or enhance successful heritage conservation (section 4) and provides an account of public information meetings held in June 1989 (section 5).

Although the principal purpose of this report is to provide reasons for designating the Churchville area as a heritage conservation district, the background report also serves as an important basis for the preparation of the heritage conservation district plan.

Once an area has been examined and a designating by-law approved by the OMB, any changes to the built environment within a heritage conservation district require a Council approved permit.

The Ontario Heritage Act does not specify what matters should be taken into account by Council in considering a district permit. It has become conventional wisdom, however, in the heritage conservation district designation process to prepare and adopt "a district plan" which will assist in the guidance of appropriate physical change within the district and indicate ways to enhance the landscape and encourage conservation of heritage fabric.

A district plan for Churchville accompanies the background report and should be read in conjunction with this material.

### **1.3 Format of the report**

This background report is divided into two parts. Part 1 examines the historical, architectural, landscape and planning context of the study area as well as an account of the public participation program and district boundary evaluation; and Part 2 contains a detailed illustrated inventory of heritage buildings within the area. The format follows the consultant's proposal prepared in response to the terms of reference prepared for this study by the City of Brampton.

## 2.0 HISTORICAL CONTEXT



## 2.0 HISTORICAL CONTEXT

### 2.1 Origins

Originally Church's Mills or Churchville was located in the top northern corner of the New Survey of Toronto Township on the Credit River just below the boundary with Chinguacousy Township. The former Toronto Township was surveyed in two parts: the "Old Survey", purchased in 1805 from the Mississauga Indians, was surveyed in 1806 by Samuel Wilmot; and the northern portion or the "New Survey" purchased in 1818 was surveyed in early 1819.

It is generally thought that United Empire Loyalist Amaziah Church built a sawmill on the site of Churchville in 1815 and that he was the founder of Churchville. This popular story has however never been proven. The survey records of 1819 which are the earliest documentation of a mill in the area mention that the third line allowance was deflected at Churchville in order to pass "a sawmill" on the Credit River. This may have been Church's mill although it is not named. Certainly there are no land records of Amaziah Church owning any property in the village area at this time.

The first settlers arrived in the Churchville area in 1821 soon after the Crown began to sell one and two hundred acre parcels of land in this area of the New Survey. The first recorded one hundred acre land

grant was to Jacob Brill on July 20, 1821. The settlers were largely attracted by Churchville's Credit River valley location and the surrounding white pine forests. Jacob Bradt erected a sawmill in the early 1820s and Amaziah Church built a gristmill in 1821. Churchville flourished and was considered to be one of the fastest growing towns in Peel County during the 1820s, quickly establishing itself as a service area for the new settlers in the northern end of the township. Land for the present cemetery is generally believed to have been donated by Churchville's founder Amaziah Church sometime prior to his death in 1831.

The first buildings in the village were strung along Main Street (now part of Churchville Road) between the bridge and the former mill site. The main road to the village from the south ran between the third and fourth concessions to the bank of the Credit River swinging easterly across a bridge to the right bank and on through the village on the banks of the Credit River to a second bridge at Eldorado Mills.

## **2.2 1830-1855: Boom years**

By 1831 Churchville had grown to include a post office and boasted a population of approximately 70 to 80 people. The village included Erastus Wiman's general store; Howland's store; Church's saw and grist mill; Richard Pointer's tannery; and Miner's distillery. The tannery was located immediately to the southeast of the present bridge.

Lumbering was the economic mainstay although later Churchville would become dependent upon flour milling. Prominent settlers in the area were the Asa Hall family, the Richard Pointer family and the Thomas Stoyell family.

By 1847, Churchville had grown to approximately 200 people and accommodated two grist mills; two saw mills, two tanneries; three dry goods and grocery stores; two saddle and harness makers; two wagon and cabinet factories; two cabinet shops; two cooperages; one female school; a common school; a Methodist episcopal meeting house and a mission headquarters for two circuit missionaries. A stage line to Toronto also passed through the settlement. Some of the existing buildings in the village are believed to date from this period of Churchville's history including Whitehall and the Letty House on Churchville Road. By the 1840s such family names as Burns, Fogarty, Murray, Atchinson, Manes, Wilman and McClure had appeared.

Churchville's population continued to grow during the 1840s and 1850s due to immigration influx to Upper Canada from Britain. In the 1850s land speculation due to the impending construction of a railway through the region resulted in high land prices in the area. By 1856 the village stretched down Creditview Road below the Credit River bridge and supported three blacksmiths; two carpenters; one cooperage; one flour mill; two grist mills; two hotels; two innkeepers; one justice of the peace; three general merchants; two millwrights; three ministers;



MAIN STREET LOOKING NORTH TO RAINES HILL , CIRCA 1890.

THE STREETScape CONSISTS OF A DIRT ROAD, FRAME DWELLINGS, WOODEN FENCES, AND A VARIETY OF TREES. ALL THE BUILDINGS ON THE EAST SIDE OF THE ROAD REMAIN TO THE PRESENT DAY. IN THE FAR DISTANCE IS THE MAY HOTEL OR LETTY HOUSE (A-18 IN THE BUILDING INVENTORY). TO ITS NORTH IS THE LIVERY STABLE /DWELLING WITH FULL LENGTH VERANDAH (A-19) AND TO THE SOUTH IS A SMALL FRAME LATH AND PLASTER HOUSE (A-17).

SOURCE : PEEL REGION ARCHIVES.



MAIN STREET LOOKING NORTH , CIRCA 1905.

THE STREETScape IS SLOWLY CHANGING FROM THAT OF 1890. TELEGRAPH POLES LINE THE STREET AND WOODEN FENCING HAS BEEN REPLACED BY WIRE. THE STEPS OF THE SMALL FRAME HOUSE (A-17) ARE GONE AND THE VERANDAH ON THE LIVERY STABLE (A-19) HAS BEEN REPLACED BY A SMALL PORCH PERHAPS REFLECTING A NEW USE AS A RESIDENCE.

SOURCE : PEEL REGION ARCHIVES.

one postmaster; two saw mills; one shingle factory; two shoemakers; two tailors; one tannery and four wagonmakers. At this time, Erastus Wiman surveyed the south side of what is now Church and Victoria, Albert and Adelaide Streets and subdivided the area into village lots. This became known as the 1856 Wiman Survey.

### **2.3 1855-1915: Declining decades**

The growth economy of Churchville slowed down considerably in 1855. The Grand Trunk Railway which had been routed through neighbouring Brampton and the weakened global demand for wheat after the end of the Crimean War all contributed to economic decline. Although the village managed to sustain its economy into the 1860s, by 1866 Churchville had reached its peak growth. The southern portion of the village was surveyed for village lots in 1868, and registered known as the Savigny Survey in 1869.

The Episcopalian, Wesleyan Methodist and Anglican churches had established themselves in the village during the 1850s and were grouped along Creditview Road just south of the bridge. The Wesleyan Methodists built a brick church on the east side of Creditview Road just slightly north of Hallstone Road in 1856. Eight years later a frame church was built on the west side of Creditview Road across from the brick church by the Methodist Episcopal Church. It was subsequently moved in 1910 to the east side of the road immediately to



ABOVE : MAIN STREET LOOKING SOUTH CIRCA 1900.SOURCE : ONTARIO ARCHIVES.  
BELOW : MAIN STREET LOOKING SOUTH CIRCA 1907.SOURCE : GOLDEN COLLECTION.





LOOKING SOUTH FROM RAINES HILL CIRCA 1909.

ALL THE HOUSES STILL REMAIN TODAY ALTHOUGH SOMEWHAT ALTERED. FROM LEFT TO RIGHT ARE BUILDINGS: A-19 , A-5 , AND A-3.

SOURCE : PEEL REGION ARCHIVES ; GOLDEN COLLECTION.





THE WEST SIDE OF CREDITVIEW ROAD LOOKING NORTH , CIRCA 1900.

THE METHODIST EPISCOPAL CHURCH CAN BE SEEN AT THE BOTTOM OF THE HILL PRIOR TO ITS RELOCATION ACROSS THE ROAD (D-4) JUST BEYOND IS BUILDING D-3.

SOURCE : PEEL REGION ARCHIVES.

the south of the brick church in 1910. The first area school was located on the site of the present United Church. The second school building was erected on Steeles Avenue on the left bank of the Credit River in the 1870s. The school on Steeles Avenue was reached by the former Mill Road across Lot 15 Con. IV to the school house lot.

The final blow to the economy of Churchville occurred in 1867 when neighbouring Brampton was selected as the new County Seat for Peel. Since Brampton was only five miles away, many businesses moved away from Churchville to Brampton seriously depleting its population. All of Churchville's mills ceased production between 1866 and 1877 and never reopened. In 1875 a disastrous fire destroyed much of the village leaving little evidence of its existence. Destroyed buildings were not rebuilt and people continued to leave. In 1877 the village was described in the Illustrated Historical Atlas of the County of Peel as having only a couple of small stores and a good hotel. Even the opening of the Credit Valley Railway line in 1877 to the east of the village could not help to revive the village economy. In the 1880s the line was absorbed by Canadian Pacific Railway.

#### **2.4 1915-Present: Rural recreation and residences**

By the turn of the twentieth century scarcely 50 people were still living in Churchville and all that remained was a church and a number of the older buildings. In 1918 the village post office closed.



A "PRETTY VIEW" IN 1909 OF THE RECENTLY COMPLETED STEEL BRIDGE (A-8) OVER THE CREDIT.

ALTHOUGH THE LARGE BARN IN THE CENTRE NO LONGER REMAINS BUILDINGS TO ITS RIGHT (A-9) AND LEFT (A-17) STILL SURVIVE TO THE PRESENT DAY.

SOURCE : PEEL REGION ARCHIVES.



STOP 50 ON THE RADIAL LINE AT THE INTERSECTION OF HALLSTONE AND CREDITVIEW ROAD.

THE BRICK METHODIST CHURCH TO THE RIGHT WAS DEMOLISHED IN 1952 ALTHOUGH THE  
MINISTERS HOUSE TO THE LEFT OF THE RADIAL STOP REMAINS TO THE PRESENT DAY (D-3).

SOURCE : NATIONAL ARCHIVES OF CANADA.

Although a small station on the Toronto Suburban Railway radial line from Toronto to Guelph was opened in Churchville in 1917 at the northwest corner of Hallstone Road and Creditview Road it did not have any economic impact on the little community. The line was generally used for transporting milk from township farms to the city and for carrying summer visitors from the city to the local countryside. Closed in 1931 due to its unprofitable nature, the tracks were dismantled in 1935 and the right-of-way sold to the Hydro Commission for a power transmission corridor. Traces of the former track bed are still visible and the former train shed now sits on the Manser property on Creditview Road.

During the 1920s and 1930s a number of small summer cottages were built along the Credit River in the Churchville area. One group of summer homes became known as Martin's Camp and was situated on the north side of the present Martin's Boulevard across from the park. Other cottages were located to the southeast of the bridge along the river bank. Many of these homes were converted to year round residences after World War II.

Due to its low-lying position on the banks of the Credit, Churchville has always been particularly vulnerable to regular flooding. (Various nineteenth century references from the 1850s onwards can be found.) In the early 1900s flooding destroyed several village buildings which appear not to have been replaced. In April 1950 the water level of the

Credit River rose twelve feet and forced many residents to flee. The bridge across the Credit was under water and business properties in the village along Creditview Road were deluged. Many village properties were also affected by floods in March 1951 and 1952, and Hurricane Hazel in 1953. In February and March of 1954, Martin's Camp was subjected to severe flooding forcing residents to flee to higher ground. Subsequently the homes in Martin's Camp were declared to be part of a flood plain and were expropriated and demolished in the mid-to-late 1950s by the newly formed Credit Valley Conservation Authority. The residential area known as Martin's Boulevard to the east of the village centre grew up in the late 1950s and '60s. A 1954 aerial photograph of the area shows a strip of orchards behind the houses on the north side of Martin's Boulevard but by 1971 only a few trees remained.

The last large population exodus from Churchville occurred in 1959 when approximately one half of Churchville's population was left unemployed due to the cancellation of the Avro Arrow contract by the Federal Government. The 1960s were a period of continuing decline with little or no commercial activity in Churchville. During this period Steeles Avenue was extended over the Credit River at the schoolhouse and the river course was changed.

Only a handful of buildings from the 19th century village still remain and a large number have been considerably altered by renovations. A

second small community has been established on Martin's Boulevard to the east of the village. Landmark buildings such as the large barn located on the hill behind Whitehall and a barn situated behind the Letty House in the heart of the village have disappeared in the recent past. Main Street and part of Mill Road are now known as Churchville Road. Bennett, Albert and part of Adelaide Streets shown on the 1856 Wiman Survey no longer exist although traces of their former right-of-way can still be seen. The last visible traces of Churchville's industrial past along Mill Road and Mill Pond Road at the north end of the village, have all but disappeared. In 1968, the former schoolhouse on Steeles Avenue was given to the Ontario Boy Scouts of Canada by the Board of Education, Town of Mississauga. The sole remaining church building is the United Church vacated in 1971.

In 1973, the Credit Valley Conservation Authority imposed land regulations on the village and in 1978 the area was made part of the Parkway Belt West. In 1974, Churchville was severed from its historical linkages with the northern part of the former Toronto township being incorporated into the City of Brampton under regional government. Some housing regeneration has occurred during the 1980s mainly due to its proximity to the encroaching suburban growth of Brampton to the east. In 1989 a berm will be constructed by the Credit Valley Conservation Authority through the village as a flood control measure.

## 2.5 Conclusions

The village of Churchville has witnessed a rich history over the past 160 years punctuated by boom-bust cycles, flooding and conflagration. The historical significance of this settlement derives from a variety of attributes and associations including:

- its early prominence as an important milling centre within the county of Peel during the first half of the nineteenth century;
- decline of the settlement associated with the rise of Brampton, as the County seat, routing of the Grand Trunk Railway and weakened global demand for wheat; and,
- its modest revival as a recreational and summer retreat associated with the Toronto Suburban Railway radial line.



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### 3.0 THE LANDSCAPE

### 3.0 THE LANDSCAPE

#### 3.1 Introduction

Human settlement in the Credit River watershed has been traced back nearly 7000 years with evidence of native Indian activity of the Laurentian Archaic (3000-5000 B.C.) and Middle Woodland (3000 B.C.-O.A.D.) periods. Modern Indian tribes have also inhabited the region including Petuns, Neutrals and Hurons. Archaeological evidence of Iroquois settlement (900-1500 A.D.) has been found near Churchville on the Credit River. These pre-historic activities have left very little evidence in today's landscape and most remnants are left only as sub-surface remains, usually visible only to the trained professional eye of the archaeologist.

Historical settlement of the Credit River valley by European settlers or United Empire Loyalist families, however, has had dramatic effects on the landscape. The domestication of the wilderness by white settlers has been alluded to in the historical context of the development of this area. Clearance of the forest, creation of bounded fields, roads and pathways, houses, mills and churches are obvious signs of change in the landscape. A number of other discrete changes in the landscape are also evident. Treelines, hedges, boulevards, fences, ditches, abandoned rights-of-way, are but a few of the landscape components that often enhance our surroundings, making them pleasant places to live in.



LINES IN THE LANDSCAPE : ABOVE TREES TRACE THE FORMER ALIGNMENT OF THE MILL ROAD AS IT MEETS STEELES AVENUE AND BELOW HYDRO POLES DELINEATE THE TRACK OF THE FORMER RADIAL LINE ACROSS THE VALLEY FLOOR.



Inevitably not all landscape changes enhance an area. Modern urban servicing design standards may conflict with a pervasive rural character, resulting in an environment which is not wholly rural and not quite urban or suburban.

The purpose of this section is to identify and describe the landscape of the Churchville study area. Examination of the area reveals that its landscape character is defined by the interaction of several landscape elements which, in the context of the surrounding rolling agricultural land and approaching suburban development, make Churchville a unique setting. The features dominating the landscape in the study area are: the river corridor; buildings and streetscapes; trees; orchards and uncultivated open spaces. Also there are significant views both within the study area and long vistas across the surrounding countryside.

The Credit River today meanders through an ancient, expansive river valley. The steep banks west of Churchville Road and Creditview Road indicate that the river once was a major force shaping the area. Now only during spring thaw does the river swell and flow with a volume and speed reminiscent of its former size. For most of the year the river flows gently between its shallow sided banks.

The river corridor affects many of the other landscape features of Churchville including the street layout, settlement patterns,



LONG VIEWS ACROSS OPEN LAND ARE AN IMPORTANT ATTRIBUTE OF THE CHURCHVILLE AREA . ABOVE ARE VIEWS ACROSS THE VALLEY FLOOR TO THE TREED SLOPES OF THE EASTERN SIDE OF THE RIVER BELOW ARE VIEWS LOOKING EAST FROM CREDITVIEW ROAD ACROSS FARMLAND TO THE TREED VALLEY SIDES OF THE CREDIT.



vegetation and scenic views. For example, views of the river from Steeles Avenue and from the bridge in the village core allow people to appreciate a diversity in the setting of the river from the well-maintained parkland and residential backyards to the wild, undisturbed river flats and the woods which run along the river east of the bridge.

The layout of the streets and the variety of man-made elements such as overhead wires, poles, light standards, mail boxes, signs, fencing and vegetation which define the edges of the streets all contribute to the "rural" appearance of Churchville. The area is quite unlike nearby suburban development: the Churchville landscape reflects the area's long settlement history and the dominant, pervasive role of the existing topography and river corridor.

Vegetation in the study area is extremely diverse. There are undisturbed areas of low-land deciduous forest and wetland grasses along the river, pockets of mixed hardwood forest along Creditview Road, manicured residential gardens and parkland as well as the linear geometry of apple orchards and birch and spruce treelines on the southern edge of Churchville. The variety of species and maturity of the trees are not only a measure of the long history of the area but are also important contributors to the overall rural character.

### 3.2 Landscape units

The study area is composed of several distinct landscape units defined primarily by the varied topography. Each unit offers a view into an adjacent unit giving a visual cohesiveness to the entire area. The edges of each unit are generally defined by a change in grade, frequently reinforced with vegetation or man-made elements such as a road or railway.

The following seven units have been identified through fieldwork:

- A Village Core
- B River Corridor
- C Residential Culdesac
- D Linear Residential Development - Creditview Road
- E Linear Residential Development - Churchville Road
- F Rural Agricultural Development - Creditview Road
- G Rural Agricultural Development - Churchville Road

The distinct visual character of each unit is a result of the interaction of a variety of landscape features:

- Buildings: size, scale, setbacks;
- Streets: layout pattern, surface materials, sidewalks, gutters, curbs, boulevards, parking, signage;
- Vegetation: type, size, maturity, condition, location (public and private);



- Lighting and services: type, location, visual impact in the landscape;
- Topography: degree of slope;
- Open space: type (parkland, field, floodplain), extent;
- Significant views: within the unit and into areas surrounding the study area.

The following discussion contains both a description of the seven landscape units and an evaluation of the relative significance of each of the landscape components in establishing the visual quality of the study area.

### **3.3 Village Core: Landscape Unit A**

This unit extends from the top of the ridge by "Whitehall" to the south side of the Churchville Road bridge and from the Credit River to the eastern edge of existing settlement on Victoria Street.

**Buildings:** ● One and one-half and two storey buildings with varying shallow setback from pavement edge of Churchville Road.

**Streets:** ● Churchville Road  
- asphalt pavement, flat, narrow, fine gravel shoulders, yellow centre line marking, no sidewalk, curbs or gutters;



THE VILLAGE CORE (LANDSCAPE UNIT A) IN THE FOREGROUND, RIVER CORRIDOR (UNIT B) TO THE RIGHT AND CREDITVIEW ROAD (UNIT D) AT THE TOP RIGHT

- front lawns extend to shoulder;
- pull off parking at community mail boxes at Churchville Road and Church Street;
- village signs at bridge.
- Church Street
  - narrow asphalt "lane", narrow gravel shoulders, shallow drainage ditches, chain link and wood fencing close to pavement.
- Victoria Street
  - asphalt paving in poor condition, tall grasses line road in drainage ditches toward park;
  - private fences and hedgerows define edge of street.
- Albert Street
  - grass right-of-way from end of Victoria Street, connects to Churchville Road at base of hill, defined by hedgerow and wire fencing.

Vegetation:

- mature conifers at north side of bridge;
- deciduous trees, very mature in private yards, no street trees;
- low hedgerows along most residential properties with foundation plantings at residences;
- native deciduous trees and shrubs on slope (primarily pioneer species) at north end of Churchville Road.

**Lighting  
and services:**

- wooden hydro poles and overhead wires on both sides of Churchville Road, on north side of Church Street, on east side of Victoria Road;
- streetlights on alternate poles;
- no catch basins.

**Topography:**

- no significant change of grade throughout the entire area with the exception of bridge approaches.

**Open Spaces:**

- undeveloped grassed field between Victoria Street extension and Churchville Road;
- developed parkland at the end of Victoria Street;
- private residential yards extending to river's edge.

**Views:**

- views from bridge upstream and downstream;
- view across field and CPR line to distant wooded ridge;
- view along Victoria Street into parkland and grove of mature trees;
- framed view of river flats from curve at the base of the slope.

**Evaluation:**

The landscape character of this area is defined by the combination of buildings, streetscape and open space to create a "rural village" atmosphere. Positive attributes of the area include:



THE VILLAGE CORE IS CHARACTERIZED BY A DISTINCTIVE RURAL ATMOSPHERE DUE IN LARGE PART TO THE ABSENCE OF TYPICAL URBAN OR SUBURBAN ROADScape FEATURES SUCH AS CONCRETE CURBS, GUTTERS AND SIDEWALKS. COMPARISON WITH HISTORICAL PHOTOGRAPHS OF CHURCHVILLE ROAD SHOWS THE IMPORTANT RELATIONSHIP OF BUILDINGS TO THE STREET AND THE BLURRING OF EDGES BETWEEN PRIVATE AND PUBLIC SPACES.

- the intimate relationship of buildings and the streets allowing close-up views of the houses and residential landscapes from the street;
- the non-grid street layout which responds to the curvilinear river corridor;
- numerous mature trees in private yards and the park;
- hedgerows and boundary fencing of a variety of types throughout the area;
- the grass right-of-way of Albert Street and Victoria Street;
- the absence of suburban-type concrete curbs and gutters, sidewalks resulting in blurring of the edge between the private "front yard" and the public street;
- views from the bridge up and down the river from Churchville Road east to the CPR line, from "Whitehall" south along Churchville Road;
- the neighbourhood park; and
- rural mail boxes.

Negative attributes of the area include:

- community mail boxes and pull off area extending the narrow gravel shoulder into grass boulevard detracts from view from bridge up Churchville Road;
- chain link fencing; and stumps at the daylight triangle at Church Street and Victoria Street.

### 3.4 River Corridor: Landscape Unit B

This unit extends along the river from Steeles Avenue, through the village core to the native woodlands south-east of the Churchville Road bridge. It is bounded to the west and east by valley slopes.

- Vegetation:
- river flats north of the bridge contain wetland grasses and lowland shrubs;
  - remnant tree lines in the flood plain indicate former road layout to the school site from the original mill site;
  - past mature black willows line both sides of river at village core;
  - south of the bridge, native (uncultivated) woods have full canopy and dense underbrush on both sides of river except where cleared in the park.
- Services:
- hydro line follows original radial line through floodplain.
- Topography:
- steep ridges define original river basin, present river course meanders through virtually flat flood plain.
- Open Spaces:
- undeveloped river flats;
  - lowland woods south of bridge;
  - parkland.

Views:           ● view from Steeles Avenue south and from Creditview Road east encompasses all of the river flats, the wooded ridge and the village core.

**Evaluation:**

The river corridor has a "wilderness" quality because of its undeveloped open space containing areas with two distinct characteristics: open river flats with low wetland shrubs and grasses north of the bridge and heavily wooded river banks south of the bridge.

Positive attributes of the area include:

- its openness and wide views from north Creditview Road to the village core across flats;
- natural uncultivated association of trees and shrubs suited to the wet growing conditions;
- remnant tree lines and radial railway embankment in the floodplain;
- meandering river course with seasonal variations in flows.

Negative attributes:

- exposed gabion baskets at bridge;
- severely pruned trees along Creditview Road;
- overhead wires and poles running through the floodplain.



### 3.5 Residential Cul-de-sac: Landscape Unit C:

This unit includes the residential development at the end of Martin's Boulevard separated from the village core by the slope running along the end of the park.

**Buildings:**       ● low ranch style, or "cottage" housing with similar narrow setback from street.

**Streets:**       ● Martin's Boulevard  
                   - tar and chip pavement with shallow drainage ditches on both sides and narrow gravel shoulders; community mail boxes.

**Vegetation:**   ● medium mature deciduous trees in central open space;  
                   ● uncultivated woodlands along south edge of the cul-de-sac;  
                   ● orchard remnants along north side;  
                   ● residential landscaping of foundation plantings, hedges and gardens.

**Lighting and services:**   ● overhead wires and wooden poles, streetlights on alternate poles.

**Topography:**     ● entire area at similar grade;  
                   ● raised rail bed defines eastern edge;  
                   ● change of grade at park edge.



MARTIN'S BOULEVARD (UNIT C).



THE MARTIN'S BOULEVARD COMMUNITY IS A RESIDENTIAL ENCLAVE SEPARATED FROM THE VILLAGE CORE BY DISTANCE AND TOPOGRAPHY AND DISTINGUISHED BY ITS DISTINCTIVE CUL-DE-SAC AROUND A CENTRAL OPEN SPACE.



Open Spaces: ● open grassed parkland in centre of cul-de-sac.

Views: ● view from top of slope east across centre open space encompasses entire neighbourhood;  
● view west encompasses park and mature trees.

**Evaluation:**

This landscape unit exhibits the character of a neighbourhood enclave because of its separation from the village core by distance and topography and its location at the end of a turn-around.

Positive attributes include:

- sense of residential community reinforced by circular street layout and central green open space;
- enclosure on eastern perimeter by raised CPR rail bed and on south by woods;
- well-maintained residential landscapes and mature trees in private yards;
- lack of suburban standard street details (curbs and gutters, sidewalk).

Negative attributes include:

- visually prominent community mail boxes at entrance to the neighbourhood and widening of shoulder at this area;
- overhead wires at central open space.

### 3.6 Linear Residential Development: Landscape Unit D

#### Creditview Road South

This unit includes the area from the intersection of Churchville Road south to the top of a long hill at the edge of the existing orchards.

Buildings:       ● building setbacks vary with some extremes; at top of hill setbacks narrow and become more consistent adding definition to this entrance into the village;

                  ● generally one-and-one-half to two storey houses.

Streets:         ● wide asphalt course textured paving;

                  ● new concrete rolled curbs curb and gutter to suburban standards;

                  ● catch basins, centre line marking;

                  ● adjacent properties drain to street.

#### Hallstone Road

● narrow pavement and shoulders, sharp ditches, timber and stump fences close to pavement edge;

● street climbs up gently rolling valley edge to fields beyond the study area.

Vegetation:     ● residential foundation planting, hedges, yard trees, no street trees;

                  ● native woods at east side of intersection.



IN THE FOREGROUND IS CREDITVIEW ROAD AS IT PASSES FROM AN AGRICULTURAL SETTING (UNIT F) TO A RESIDENTIAL ONE (UNIT D) THE VILLAGE CORE IS AT THE CENTRE (UNIT A) FLANKED BY THE RIVER CORRIDOR (UNIT B) ON THE LEFT AND CHURCHVILLE ROAD (UNIT E) AND AGRICULTURAL LANDS (UNIT G) TO THE RIGHT



HALLSTONE ROAD IS A PARTICULARLY SCENIC ENTRANCE INTO CHURCHVILLE. ITS NARROW WIDTH, SENSE OF ENCLOSURE AND SHORT SLOPE DOWN TO MEET CREDITVIEW ROAD ARE KEY CHARACTERISTICS.  
ABOVE : LOOKING EAST TO CREDITVIEW ROAD  
BELOW. LOOKING WEST UP THE VALLEY SLOPE



- Lighting and services: ● overhead wires and wooden hydro poles with street-lights or alternate poles on east side of road.
- Topography: ● long hill leads down into village core on Hallstone and Creditview Road;  
● raised embankment of former radial railway visible at corner of Hallstone Road.
- Open Spaces: ● wide road allowance at intersection of Creditview and Churchville Road.
- Views: ● open fields and yards visible between buildings especially on approach from Hallstone Road.

**Evaluation:**

This unit is typified by large lots with small-to-medium scale houses evenly aligned along an upgraded road.

Positive attributes of this area include:

- definition of entrance into village core reinforced by narrow setback of houses along top of hill and concrete block retaining wall, trees and guardrail close to pavement edge;
- distant view of village upon approach;
- country lane quality of Hallstone Road lined with timber and stump fencing and views of barns with paddocks.





CREDITVIEW ROAD JUST SOUTH OF THE VILLAGE HAS BEEN IMPROVED TO A STANDARD MORE APPROPRIATE TO AN URBAN OR SUBURBAN AREA . THE SMOOTH VERTICAL AND HORIZONTAL ALIGNMENT OF THE ROAD AND ITS WIDE PAVED SURFACE WITH CONCRETE GUTTERS AND SOFT GRAVEL SHOULDER RESULTS IN QUITE A DIFFERENT CHARACTER AND FEEL TO THE ENVIRONMENT.

Negative attributes of this area:

- suburban standard curb and gutter;
- lack of setting of Churchville Church memorial, present setting tends to semi-private rather than public;
- overhead wires on both sides of pavement;
- intersection of Churchville Road and Creditview Road is undeveloped, very open, poorly defined.

Creditview Road North

This unit extends from the intersection of Churchville Road north west to Steeles Avenue although the northern half of the unit is overlapped by the predominant river corridor (Unit B).

Buildings: ● one-and-one-half storey buildings on large lots, varying long setbacks from pavement.

Streets: ● narrow asphalt pavement with high crown and narrow gravel shoulders, uneven at wet areas, sloped to deep open ditches;

● chain link fencing along golf course.

Vegetation: ● mature willows along pavement at south east end;

● wetland shrubs and grasses in the ditches, especially at the main curve;

● at Steeles Avenue, east side, short tree row frames view over flats;



THE NORTHERN SECTION OF CREDITVIEW ROAD TRACES THE CURVILINEAR FORMER COURSE OF THE CREDIT RIVER. WETLAND GRASSES AND OPEN RIVER FLATS ATTEST TO THE PERVASIVE INFLUENCE OF THE CREDIT.  
ABOVE : LOOKING NORTH  
BELOW : LOOKING SOUTH



- at Steeles Avenue west side a pocket of mixed deciduous forest.

Lighting  
and services:

- overhead wires on wooden poles along west side of road and east side through the floodplain along the former radial railway line.

Views:

- views over floodplain are framed by small trees and shrubs at roadside;
- view across golf course to distant wooded ridge, village is well screened by river vegetation.

**Evaluation:**

The character of this area is dominated by an elevated road winding its way along the edge of the floodplain.

Positive attributes of this area include:

- a wide variety of species of trees, shrubs and grasses; some visible close at hand along pavement edge;
- framed views into the floodplain all along the road and west to wooded ridge;
- small pockets of mixed hardwood forest and swamp on west side of road.

Negative attributes of this area:

- chain link fencing;
- uneven pavement surface.

### 3.7 Linear Residential Development, Churchville Road: Landscape Unit E

This unit includes the area along the upper plateau of Churchville Road from "Whitehall" to Steeles Avenue.

**Buildings:**

- primarily one and two storey buildings, with varying setbacks from pavement on east side, new building somewhat closer to road edge than on west side.

**Streets:**

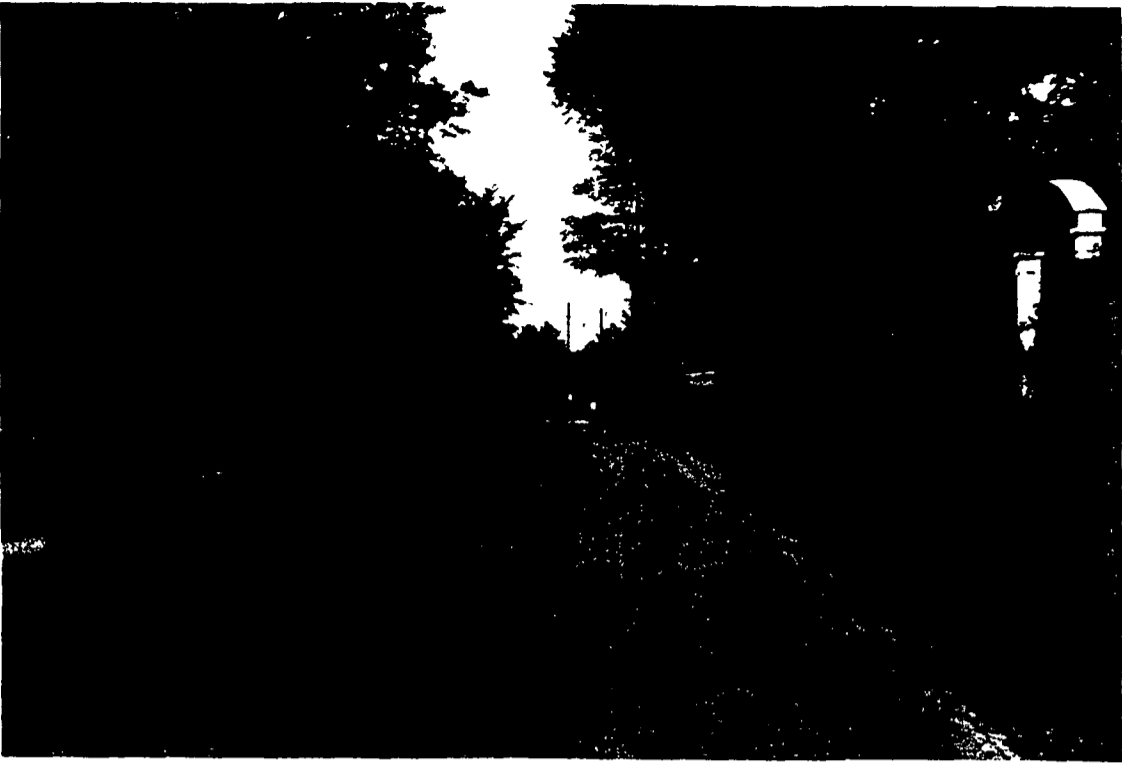
- unmarked, uneven asphalt paving;
- narrow shoulders, open ditches with varying sloped sides ranging from shallow to fairly deep;
- generally unmaintained grass boulevard although some residents mow lawn to shoulder;
- wire cable guardrail for short distance;
- mailboxes on east side of road.

**Vegetation:**

- mature deciduous and coniferous trees in yards and cemetery, no street trees;
- residential scale foundation plantings and hedges;
- mature woodlot at Steeles Avenue.

**Lighting and services:**

- wooden poles and overhead wires on both sides of street, streetlights on alternate poles, poles close to edge of pavement.



CHURCHVILLE ROAD IS AN IMPORTANT ENTRANCE INTO THE VILLAGE PERMITTING  
VIEWS OF THE CEMETERY, ROLLING AGRICULTURAL LAND AND THE RIVER VALLEY  
ABOVE : LOOKING NORTH TO STEELES AVENUE  
BELOW : LOOKING SOUTH TO RAINES HILL



- Topography:
- cemetery occupies rolling hilltop;
  - remainder of area on a similar level;
  - steep wooded embankment defines western edge of unit.

- Views:
- view over floodplain from road (where embankment runs close to edge of pavement) framed by trees;
  - view of open fields with wooded ridge and high-rise apartment buildings in the background;
  - view of cemetery from road on approach from south.

**Evaluation:**

This area is typified by large residential lots and newer houses aligned along the road.

Positive attributes of this area include:

- the view of the cemetery along its rolling treed site;
- the tree-filtered view of the floodplain where the top of the ridge runs very close to the edge of the road;
- views of open grassland (old fields) to the east;
- large mature trees in private yard and mixed deciduous woodlot at Steeles Avenue.

Negative attributes of this area:

- deep setbacks of some of the houses from the edge of pavement and the resulting loss of edge definition of the road;
- overhead wires on both sides of the road.

### 3.8 Rural Agricultural Use, Creditview Road: Landscape Unit F

This unit includes the area from the hydro transmission corridor, along Creditview Road north to the edge of the existing orchards.

- Buildings:**
- at extreme south of study area farm building set back at quite a distance from pavement edge.
  - building forms range from large barns, small out buildings to one-and-one-half to two storey houses.
- Streets:**
- at south end unmarked asphalt pavement with narrow gravel shoulders, shallow, mowed grass ditches, no catch basins;
  - wire fencing on west side; no fencing on east.
- Vegetation:**
- mature tree line of white birch along the west side of the road defines edge of agricultural land, highly visible, contrasts with mature Norway spruce of farm lanes;
  - mature maples on east side of road
  - well-pruned orchards.
- Lighting**
- streetlights end towards south edge of study area.
- Topography:**
- gently rolling tablelands to edge of original river valley.
- Open Spaces:**
- large private yards and orchards at farms.





THE DISTINCTIVE RURAL LANDSCAPE OF CREDITVIEW ROAD (UNIT F)



THE SOUTHERN PORTION OF CREDITVIEW ROAD IS A DISTINCTIVE RURAL ENTRANCE TO CHURCHVILLE. CULTIVATED FIELDS, ORCHARDS, SILOS AND AN ASSORTMENT OF FARM BUILDINGS ARE A DISTINCTIVE CONTRAST TO THE CLUSTERED SETTLEMENT TO THE NORTH.

ABOVE : VIEWS TO THE NORTH  
BELOW : VIEWS TO THE SOUTH



Views:           ● views to fields beyond hydro transmission corridor.

**Evaluation:**

Creditview Road is dominated by active agricultural uses: orchards, farm buildings and lanes along a "country road".

Positive attributes of this area:

- visual definition of approach into village by linear arrangement of trees along road and lanes - white birches contrast with Norway spruce.
- size and scale of complex of farm buildings;
- well-maintained grass-carpeted orchards of heavily pruned trees;
- views across the geometric grids of the orchard.

Negative attributes of this area:

- hydro transmission lines across south border of area;
- tree stumps or damaged mature trees lessen the impact of tree line along the road.

**3.9 Rural Agricultural Use, Churchville Road: Landscape Unit G**

This unit includes the area between the eastern edge of the settlement and the CPR rail land.

Vegetation:       ● at the present time open pasture (grassland) with few small shrubs along wire fence rows.

- Topography:
- gently rolling fields;
  - rail embankment becomes increasingly steep toward south (at Martin's Boulevard).

- Views:
- view of cemetery and suburban development north east of study area;
  - view across fields to embankment and distant wooded ridge.

**Evaluation:**

Churchville Road is dominated by open old fields and fence rows no longer actively used for agriculture.

Positive attributes of this area:

- open views to distant countryside allows for visual separation of densely developed area from study area.

Negative attributes of this area:

- visual uniformity of old field lacks vertical interest in the landscape.

**3.10 Conclusions**

Churchville is an attractive settlement due in large measure to its scenic, treed setting within the Credit River valley. Dominated by the valley slopes, broad river flats and surrounding agricultural land, Churchville's rural atmosphere is further enhanced by its modest venacular building stock, narrow tree-lined roads, hedges, fences,

abandoned rights-of-way and scenic views of the river corridor.

The detailed inventory and evaluation of the landscape of the study area has identified key components essential in defining the overall character of Churchville. The District Plan will identify ways in which the key components can be conserved, maintained and/or enhanced and the impact of negative attributes can be reduced or removed.

Recommendations will be prepared for both municipal or other public initiatives (such as utilities, C.V.C.A.) and for private undertakings.

These recommendations will address:

- planting of trees, shrubs, hedgerows;
- building setbacks, scale, potential development sites;
- street improvements: widths, alignments, edge treatment;
- signage, street furniture (mail boxes, lighting);
- fencing materials.

#### 4.0 PLANNING POLICIES

## 4.0 PLANNING POLICIES

### 4.1 Background

The special character of a conservation district derives largely from the heritage attributes of the physical environment: buildings, structures, the spaces around them, and distinctive vegetative plantings such as trees and tree lines. District conservation is directed towards protecting these features from adverse physical change and ensuring that new development complements the existing environment.

The use of land and buildings within a designated district falls not under the purview of the Ontario Heritage Act but the Planning Act and other provincial legislation. Clearly, policies, procedures and regulations affecting the use of land and buildings, as well as other aspects of the environment have direct and indirect bearing on the physical appearance and character of a conservation district.

Planning policies that encourage new development around a prospective district or redevelopment within the district may well be at variance with conservation objectives for that area. In urban areas where land uses are typically segregated and classified as residential, commercial, industrial or open space, analysis of conservation and planning issues is relatively straightforward; as is the case with rural areas. Churchville's location in a rural, river valley setting belies the fact that it sits on the urban edge of Brampton and is witnessing all the stresses of the rural-urban fringe: visual

encroachment of suburban development and development pressures around the village.

Additionally, Churchville is subject to a variety of provincial and municipal planning objectives, expressed through a number of planning and policy documents. The following sections describe those policies, regulations and by-laws that affect the area and have a particular bearing on the successful implementation of a heritage conservation district.

#### **4.2 The Parkway Belt West Plan (July, 1978)**

The Parkway Belt West Plan established a multi-purpose utility corridor, urban separator, land reserve and linked open space system stretching from Dundas in the south west to Markham in the north east. Churchville is located mid way between these points in the northern link (Milton to Woodbridge).

The plan set out a number of goals and objectives including directions as to how the plan will be implemented. Traditional planning mechanisms such as official plans, zoning by-laws and development agreements featured prominently but municipalities were also encouraged to initiate other actions to attain the goals and objectives of the plan including:



...maintenance of properties; ensuring the appropriateness of building designs and materials; preservation of buildings of architectural and historical significance;...(Section 5.1.5)

Heritage conservation is clearly anticipated as an activity capable of enhancing the objectives of the Plan.

Churchville features two major area classifications. The Credit River Valley from Steeles Avenue to Derry Road is designated in the Public Use Area with the majority of lands identified as Public Open Space and Buffer Area. The east-west Hydro transmission corridor and the future Highway 407 corridor are also identified as linear facilities to the south of Churchville. Lands around Churchville Road, Martin's Boulevard and Hallstone Road are designated in the Complementary Use Area.

A variety of provisions are made for each of these areas and sub area classifications. Generally the thrust of these provisions is to provide for corridors, open space and other development emphasizing low intensity, low density uses that in all cases must generally:

- preserve natural features such as streams, valleys, tree stands hedgerows and orchards;
- maintain open space character;
- provide low height, low mass and low lot coverage.

The Northern Link (Milton to Woodbridge) sought particular objectives in the area of Churchville. Here the Link is intended to define the southern limits of the Brampton Urban Area as well as the northern limits of the Mississauga Northwest Urban Area (Sections 6.4.2.c and d). Ontario Hydro transmission facilities and the future Highway 407 corridor all featured in this Link. The Credit River Valley, as a prominent natural feature, was to be preserved and tree stands were to be protected. Design, development and use of Public Open Space Areas also required minimizing any detrimental effect on woodlots, hedgerows and the Credit River Valley (Section 6.4.3.v).

The importance of the Parkway Belt West Plan is that it clearly identifies rural Churchville as part of a buffer between two large urban areas. Of equal importance is that the Plan also sets the tone and intent for such areas, stressing limited infilling, low density/low intensity uses and substantial protection and maintenance of trees, treelines, hedgerows and the Credit River Valley. Additionally it is anticipated that the protection of heritage buildings will also complement these other objectives.

Accordingly the Parkway Belt West Plan in the immediate vicinity of Churchville appears to complement rural heritage conservation.

#### 4.3 Regional Municipality of Peel Draft Official Plan (October, 1988)

The Regional Official Plan is a strategic plan for Peel with a variety of objectives to ensure an orderly pattern of growth and development including the protection of areas which exhibit prehistoric, historic, archaeological and environmental significance (Section 2.1.g). Regional Concerns respecting Heritage Resources are elaborated upon in section 2.2.4 with a clear intent to support heritage conservation initiatives throughout the Region (Sections 2.2.4.1 to 2.2.4.8).

Of particular importance is the Long-Term Land Use Plan, Schedule A, identifying Churchville as a Designated Settlement Area, within the Parkway Belt West Planning Area and the Long Term Urban boundary. (This latter designation is now understood to be a drafting error). Lands immediately to the west, north and east are indicated as Rural Lands. Schedule 2, the Long Term Transportation Plan, sees Churchville generally bounded by the major arterial routes Mississauga Road (west), Steeles Avenue (north) and Chinguacousy Road (east) with Highway 407 to the south. The Credit River valley lands in the vicinity of Churchville are identified as Natural Areas in Figure A2.

The Regional Official Plan's implications for Churchville are generally broad brush. The village is anticipated to accommodate limited infilling within a rural enclave relying largely on the policies of the Parkway Belt West Plan. Urban growth indicated in the City of Mississauga extends as far north as the City of Brampton boundary and

the future Highway 407. This has implications for traffic volumes along Creditview Road as a north-south link between Derry Road and Steeles Avenue. (This is discussed further in section 4.7.)

#### **4.4 City of Brampton Official Plan (Office Consolidation May, 1987)**

Schedule A, General Land Use Designations, to the Official Plan indicates Churchville as approximately 1700 metres to the west of the Urban Boundary. Land use designations recognize the rural character of the area with existing residential areas along Creditview Road, Churchville Road and Martin's Boulevard indicated as Rural Settlements (Infilling). The cemetery and valley lands to the west of the Churchville Road bridge are designated Open Space. Other land use designations around the Settlement Area are Private Commercial Recreation to the west, Parkway Belt West to the south and south east, and Agricultural and Specialty Agricultural to the north east.

Within Churchville development is guided by objectives and policies relating to the minor infilling of this rural settlement permitting low density, low intensity forms of development (see Schedule "E(11)" and Sections 2.1.2.2 and 2.1.2.4). Infilling is restricted to lands fronting on existing, open road allowances and where proposed lots are located between two non-farm residential dwellings.

Residential, convenience commercial, village crafts and home workshops are permitted provided that the design is of a scale commensurate and consistent with the local, rural setting.

Schedules H and I, (Major Transportation Elements and Major Road Network; and Major Road Right-of-Way Widths respectively) indicate Creditview Road as a Collector Road with a right-of-way width of 23 to 26 metres (76 to 86 feet). Both Creditview and Churchville Roads are anticipated continuing as at grade intersections with Steeles Avenue to the north; but Creditview Road at Highway 407 is planned as a proposed grade separation, implying a continuing north-south linkage between Steeles Avenue and Derry Road.

Section 4.2, roads, identifies a hierarchy of roads as well as the required function and design characteristics of these facilities. Creditview Road is particularly scenic through the valley lands of Churchville and its relatively narrow two-lane width may be at variance with the intent of such policies. Section 4.2.1.19 indicates that Council may designate certain roads or sections of roads as Scenic Drives where natural or man-made scenic vistas occur. There is no explanation if designation also implies that such roads are to be protected or enhanced.

Municipal initiatives with respect to conserving heritage features are included under General Provisions, section 1.7 Heritage Conservation; and Implementation, section 7.12 Heritage Conservation. Both sections

describe the means by which conservation may be encouraged and includes those provisions required by the Ontario Heritage Act in order for a municipality to designate by by-law a heritage conservation district.

Section 1.7 notes that the Ontario Heritage Act:

... provides the legislative basis for designating Heritage Conservation Districts...

and section 7.12.1 further amplifies that

The City may encourage the preservation of structures, sites and districts with historical or architectural merit by means of one or more of the following

- (1) designating structures, sites or districts that have historical or architectural merit in accordance with criteria established by the Brampton Heritage Board;

While these policies enable a municipality to designate a conservation district there is no indication of municipal initiatives or intent following designation. Appropriate policies will be recommended in the District Plan.

#### **4.5 By-Law 139-84**

Sheets 3 and 4 of Schedule A of By-Law 139-84 delineate a variety of land-use and development zones within the Churchville Settlement Area.

Predominant zones are Residential-RH and Floodplain-F, covering the existing residential development and the floodplain of the Credit River Valley respectively.

The Residential Hamlet zone permits a variety of uses including a single-family detached dwelling, group home and home occupation. A number of minimum requirements are set out regarding lot area, width, depth, side yards and so on. A minimum gross floor area of 100 square metres is specified, but there is no maximum gross floor area indicated. Additionally a maximum building height of 10.5 metres is established. Conceivably there is potential to permit a new residence to be built in such a zone of approximately three storeys in height with a floor area constrained only by external yard requirements. The resulting mass and scale of such a residence would in all likelihood be out-of-keeping in terms of scale and massing with its existing smaller scale neighbours in Churchville i.e. the monster home syndrome.

Floodplain zoning permits those uses related to flood and erosion control and traditional open space uses. The erection, alteration or use of buildings or structures unrelated to flood or erosion control are not permitted in this zone and conservation authorities throughout Ontario have attempted to discourage or remove buildings and structures from flood prone land. Typically such areas possess distinctive heritage buildings or sites such as bridges and mills. The floodplain zone in Churchville includes the former Churchville Public School (ca.

1875), the pony truss bridge (ca. 1907) and a number of man-modified features relating to the former road and bridge alignment (nineteenth century) south of Steeles Avenue. Additionally there are probably subsurface archaeological remains of the mill and milling operations within this flood plain zone which could be affected by permitted flood and erosion control structures e.g. flood barriers and berms. This issue is discussed further in section 4.7.

While existing zoning provisions generally respect the character of the existing environment and implement the objectives and policies of the official plan respecting Churchville there is potential for permitted changes within the area to adversely affect the character of Churchville. Specific recommendations regarding zoning by-law provisions and design guidelines will be contained in the District Plan.

#### **4.6 Part IV Designations**

Under Part V of the Ontario Heritage Act, which enables a municipality to designate a conservation district, subsection 41(2) states that:

No property designated by a council of a municipality under Part IV shall be designated as part of a heritage conservation district under this Part.



Part IV of the Ontario Heritage Act enables municipalities to designate individual properties of architectural or historic interest or value. With the Churchville Settlement Area two properties are designated under Part IV:

- Whitehall (By-law 133-85); and
- Churchville Cemetery (By-law 225-88)

Two options exist in the context of the provisions of Part V: exclude these properties from the district, or repeal the designating by laws under section 31 of the Act. The former option may exclude the property owners from receiving grants from the Heritage Conservation District Fund if established while the latter course of action has merit in providing a coherent focus for district conservation generally. Specific recommendations will be included in the District Plan.

#### **4.7 Planning and Development Issues**

Churchville is located in the rural-urban fringe or the urban shadow of Brampton and Mississauga. Its rural character described earlier in section 3 relies on an eclectic mix of buildings, structures, open spaces and a variety of unique landscape features. Land use and planning policies are influential in defining, protecting and creating desired future environments. Inevitably there are often conflicts

amongst the variety of land uses and associated development, none more so than where rural and urban areas meet.

Certainly open space recreational and hobby farms uses are generally complementary in the fringe area. But problems arise, however, when the amenities of urban living are sought within the amenities of a rural environment. Large urban residences are often out-of-keeping in rural areas either as infilling of existing settlements, expansions of settlements or as isolated estate residential development. Associated services such as new paved roads, or widened existing roads with new lighting to urban standards may well erode or degrade those attributes that define a unique rural character or quality.

Churchville has not escaped urban pressures. Tablelands to the north east of the village core have been the subject of a request to amend the Official Plan to provide for estate residential development. The request was denied because it did not meet the objective of preserving good agricultural land and it had the potential to detrimentally affect Churchville's unique character. The significance of these lands is that they provide views to the cemetery and treelined railroad bed, and continue to enhance the rural character of Churchville at a major entrance to the community. Development pressures on this land strongly suggest that its inclusion within a conservation district aided by direction in the District Plan may assist in providing detailed

guidance on features to be protected and the overall form of development.

Additional pressures may also result from future developments to the south of Churchville. Although less immediate, there is considerable potential to increase vehicular traffic on Creditview Road. Derry Road is to be realigned in Mississauga. By passing Meadowvale, a designated heritage conservation district, the new road will not provide an intersection at Creditview Road because of large differences in elevations. Instead Creditview Road is intended to be realigned becoming part of Markborough Properties internal road system, immediately north of Derry Road. (Highway 407 which will not be constructed by 2001, and questionable by 2011, will feature grade separation at Creditview Road.) Increased traffic on Creditview Road north of Derry Road will not only provide pressure to widen the present paved surface but also has the potential to disrupt a relatively quiet rural environment. Landscape analysis in the preceding sections has indicated that the narrow treelined roads throughout Churchville are a distinctive feature and make important contributions to the character of the settlement. Widening of Creditview Road would disrupt and detrimentally affect this character. There is sufficient justification, therefore, to consider closing Creditview Road in order to avoid the adverse effects of such widening on the heritage character of the village.

Recommendations in the District Plan will provide guidance on policy issues and landscape design relating to the direct and indirect effects of neighbouring urban growth.

A critical development occurring during the preparation of this report was the finalization of engineering work on the proposed flood barrier in the Credit River Valley through Churchville. Comments were made by the consultants to the City of Brampton and are contained in Appendix A to this report.

#### **4.8 Conclusions**

The majority of planning documents relating to the Churchville Settlement Area generally support the maintenance and protection of the rural character and environs of Churchville. The Parkway Belt West Plan takes precedence as a provincial planning policy that encourages low density, low intensity development while seeking the preservation of natural features and maintenance of open space character. Municipal planning documents are intended to conform with the Parkway Belt West Plan and while there are no departures in principle (aside from a drafting inaccuracy in the City's Official Plan) the Regional Municipality of Peel Official Plan denotes the Churchville area and this portion of the Parkway Belt as long-term urban, a designation that may be inappropriate for the long term initiatives in this area.

City of Brampton planning policies are generally supportive of maintaining the rural character of Churchville both within the settlement area boundaries and the surrounding lands.

In order to refine and direct more purposefully policies and guidelines respecting Churchville's ongoing conservation and protection the District Plan will include recommendations regarding:

- tree preservation;
- reappraisal of the Region's long-term urban boundary;
- classification of Creditview Road in the local official plan;
- addition of new heritage conservation policies in the local official plan;
- requirements in the zoning by law; and
- Part IV designations.

**5.0 PUBLIC PARTICIPATION**

## 5.0 PUBLIC PARTICIPATION

### 5.1 Background

Successful planning and conservation initiatives rely to a great extent on the involvement of members of the community in the future of a designated conservation district.

As part of the preparation of this background report two public meetings were held in Churchville on June 7 and 8, 1989. All property owners within the study area were invited to attend. The consulting team provided a summary of the work that had been undertaken i.e. a description of the architectural and historical evolution of the study area; a discussion of Churchville's landscape attributes; planning policies that affect the area; and a general discussion on the provisions of the Ontario Heritage Act. Presentations included the use of colour slides to illustrate buildings, landscape units and certain conservation issues.

### 5.2 Issues

A discussion period followed the presentations and a number of issues addressed, notably:

- the implications of the district plan and permit application procedures; (Consultants described permit procedure as per the Act as well as the concept of a District Advisory Committee made up of community representatives);

- district designation's effects on taxes, or property values; (Consultants advised that there were no Ontario studies to indicate either positive or negative effect on property values; consultant's opinions were that designation enabled heritage property owners to avail themselves of grants - a direct financial benefit);
- concerns over the "monster home" syndrome in Churchville; (Consultants advised that the low intensity, low profile residential development was a predominant characteristic of Churchville and larger residences were out of keeping; massing and height of buildings would be addressed in the District Plan);
- notification procedures for the designating by-law; (Consultants advised that this is undertaken by the municipality as directed by the Ontario Municipal Board);
- treatment of residential properties; (Consultants advised that a key principle in conservation activity is the avoiding the destruction of heritage fabric including materials and architectural detailing);
- the design of new construction; (Consultants advised that district designation is not concerned with trying to replicate former architectural styles; emphasis is on ensuring contemporary design fits well with the existing character of Churchville);



- inclusion of prehistoric archaeological sites within the district; (Consultants were aware of the general location of these sites but could not disclose such specific information in the district plan; it was generally agreed that the inclusion of these heritage sites into the district was appropriate and desirable);
- the kinds of alterations that require a permit; (Consultants advised that a central concern with alterations is to discourage those that destroy the heritage character or specific features of a building or property, reroofing an asphalt shingle roof with asphalt shingles would not be considered an alteration, nor would minor painting of window trim. Additionally, it is not the intention of designation to compel the restoration of heritage property); and
- presentation of the district plan to residents; (City staff indicated that due to the interest shown in the district designation and planning process the consultants would be invited back to present their recommendations).

**6.0 BOUNDARY DELINEATION**

## 6.0 BOUNDARY DELINEATION

### 6.1 Background

The Churchville conservation district study area was originally defined as the settlement area boundary shown in the City of Brampton's Official Plan. As part of this district study adjoining lands were also examined to ensure that the heritage character of Churchville was properly identified and hence conserved in the process of change and development.

Historical research revealed that the village of Churchville was once a thriving settlement supporting grist and saw mills, as well as numerous other uses and buildings. Although the settlement suffered through several crises including economic downturns and conflagration a number of buildings survived to the present day. Additionally Churchville's unique network of streets also survived, some as part of the present road system, others simply as abandoned rights-of-way or treelined tracks in the landscape.

Those remaining buildings are certainly of local historical significance as reminders of the former activities and uses in Churchville. Additionally the buildings are good representative examples of vernacular building styles and techniques, although some have been marred by unsympathetic alteration and additions.

In many urban areas it is often the case that heritage buildings and their respective streetscapes are the key determinants in the delineation of a prospective district. Rural settlements, however, are characterized less by a singular concentration of buildings than the spaces between buildings and the overall setting of the village or hamlet.

In this regard the location of Churchville within the river valley of the Credit is particularly significant. Prominent valley sides and banks, surrounding table land, distinctive tree-lined road approaches and active farmland are predominant and pervasive influences that differentiate this settled area from that of its neighbouring suburbs.

In the delineation of a rural heritage conservation district it is important to include wherever possible all those features that contribute to the special character of the area. In this regard the landscape analysis of this study not only complemented the heritage building survey but also provided the context for defining the boundaries of the Churchville conservation district.

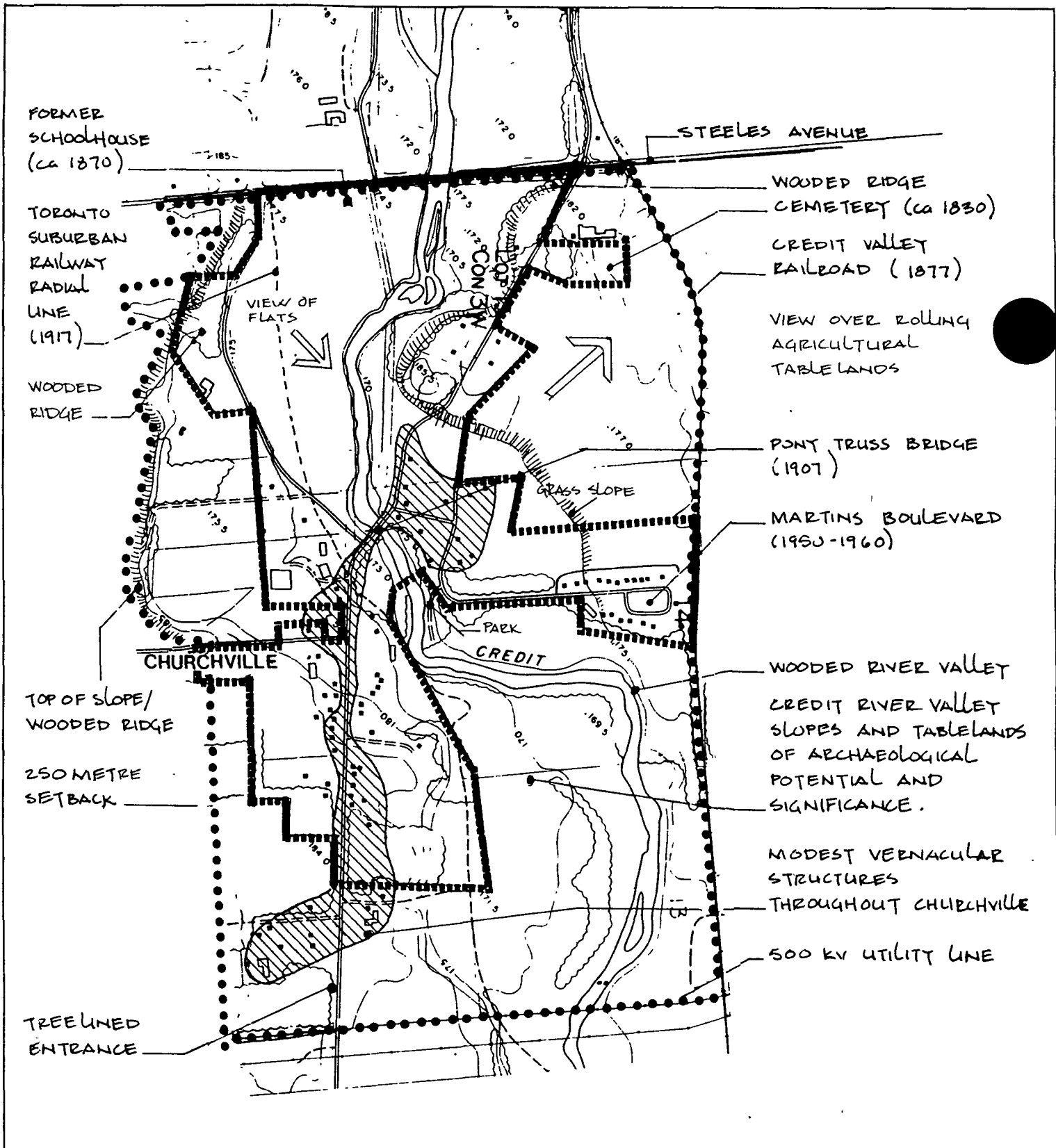
Churchville's existing settlement boundaries described in the City of Brampton's official plan encompassed many of the area's heritage buildings. Other notable features such as valley slopes to the west, agricultural lands to the south and northeast, portions of the Credit River and several significant archaeological sites and important areas

of potential remained outside of this settlement area. All, however, contributed to the rural atmosphere and heritage character of Churchville.

Accordingly the key objective in defining the district was to delineate an area which accounted for the distinctive and special character of Churchville. Inevitably land outside of the settlement area was included, particularly prominent landscape features and archaeological sites.

In summary a number of features determined the delineation of the proposed district boundary, namely:

- many modest vernacular heritage buildings located throughout the Churchville area;
- important entrances into the village via Churchville Road and Creditview Road in the north; and Creditview Road and Hallstone Road in the south and west;
- significant natural features such as the Credit River; its broad flat valley and steep slopes to the west and east;
- prominent man-made features including Steeles Avenue to the north, the Ontario Hydro 500Kv line to the south and the CP rail line to the east; and,



Proposed Heritage Conservation  
District Boundary   •••••

Proposed Heritage  
Conservation District  
Major Features

Village of Churchville  
Heritage Conservation District Study

David Cuming and Associates  
Unterman McPhail Heritage Resource Consultants  
Wendy Shearer Landscape Architect Limited

- several significant archaeological sites and areas of high potential located throughout the Credit River valley and surrounding lands.

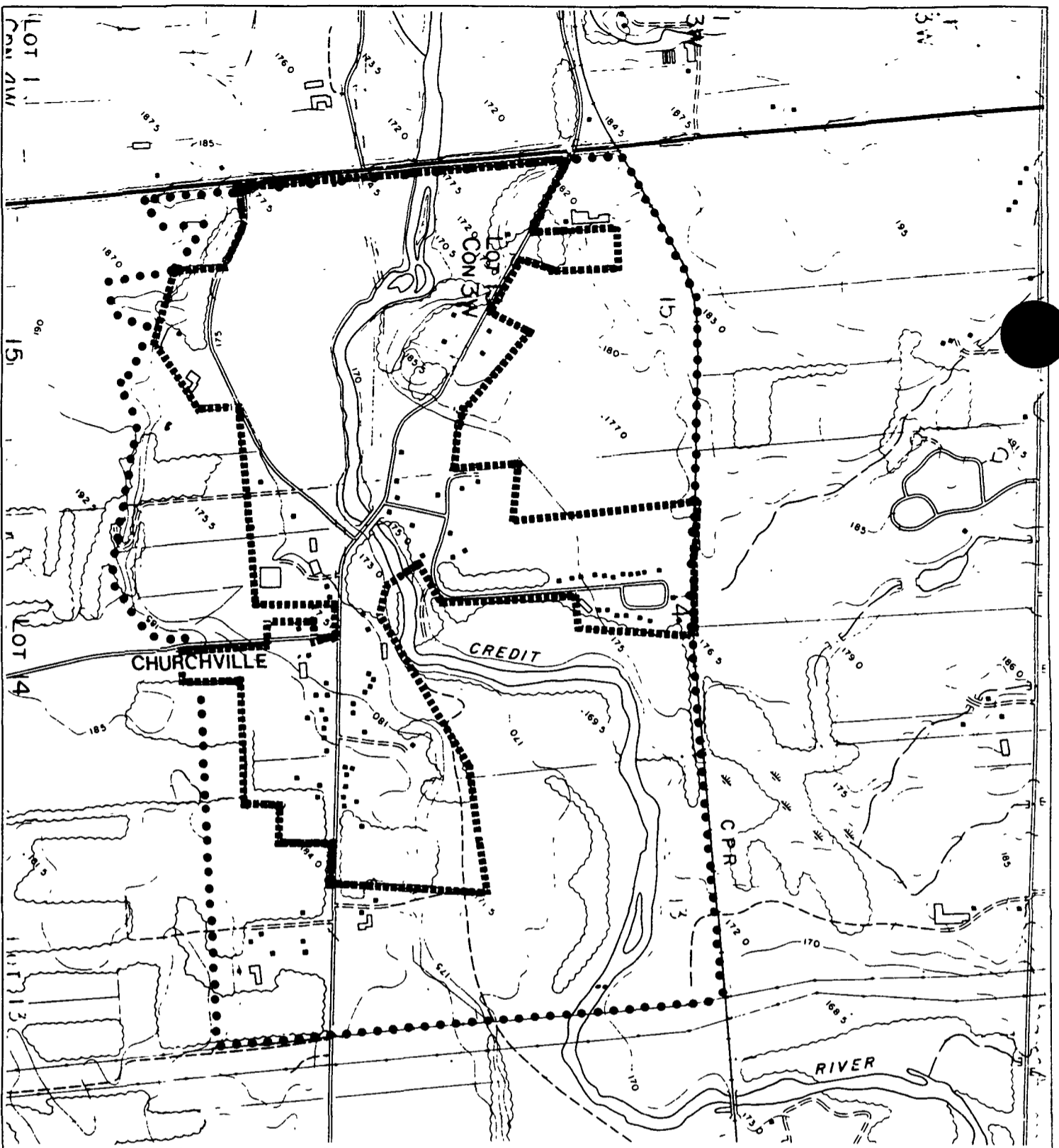
## 6.2 The District Boundary

The major objective in delineating the proposed Churchville heritage conservation district boundary was to ensure that the village's special character and its constituent elements e.g. cultural landscape units, built heritage resources, subsurface archaeological features, distinguishing valley characteristics, and major entrances and associated views; were all contained within a single identifiable unit.

An equally important objective in district delineation was to include lands that in particular instances were associated with a prominent feature worthy of protection. Most notable examples of this were the setbacks from the top-of-slope on the west side of the Credit and the boundary west of Creditview Road which encompassed prominent treelines.

The following proposed district boundary aids in the achievement of these objectives. Generally the boundary reflects prominent man-made or natural features as follows:

- Steeles Avenue East demarcates the northern limits of the district. A major arterial road set above the flood plain of the Credit River, this busy route is a significant visual and physical barrier.



Proposed Heritage Conservation  
District Boundary ●●●●●

Proposed Heritage  
Conservation District Boundary

Village of Churchville  
Heritage Conservation District Study

David Cuming and Associates  
Unterman McPhail Heritage Resource Consultants  
Wendy Shearer Landscape Architect Limited



- The CP rail line to the east, from Steeles Avenue in the north to the hydro transmission line to the south. This boundary encompasses Churchville Road and views over adjacent agricultural lands; Martin's Boulevard; and the east banks of the Credit River.
- The hydro transmission corridor to the south. This is a dominant landscape feature which together with the anticipated Highway 407 route will provide a definite edge or point of entry to the village of Churchville.
- A 250 metre setback from Creditview Road demarcates the western boundary from the hydro line northerly to Hallstone Road. The boundary here encompasses rural buildings and a prominent backdrop of trees. From Hallstone Road the western boundary follows a 20 metre setback from the top-of-slope northerly to meet Steeles Avenue. The slopes are an essential characteristic feature of the valley.

The proposed district boundary includes a substantial portion of lands that are contained within the Parkway Belt West. These lands are identified in the Parkway Belt West Plan in a number of Public Use and Complementary Use areas. It is anticipated that the conservation ethic inherent in district designation and expressed in the accompanying District Plan will enhance municipal and provincial planning objectives for this area of the Parkway Belt.

PART TWO

**7.0 HISTORICAL BUILDING SURVEY**

## 7.0 HISTORICAL BUILDING SURVEY

### 7.1 Background

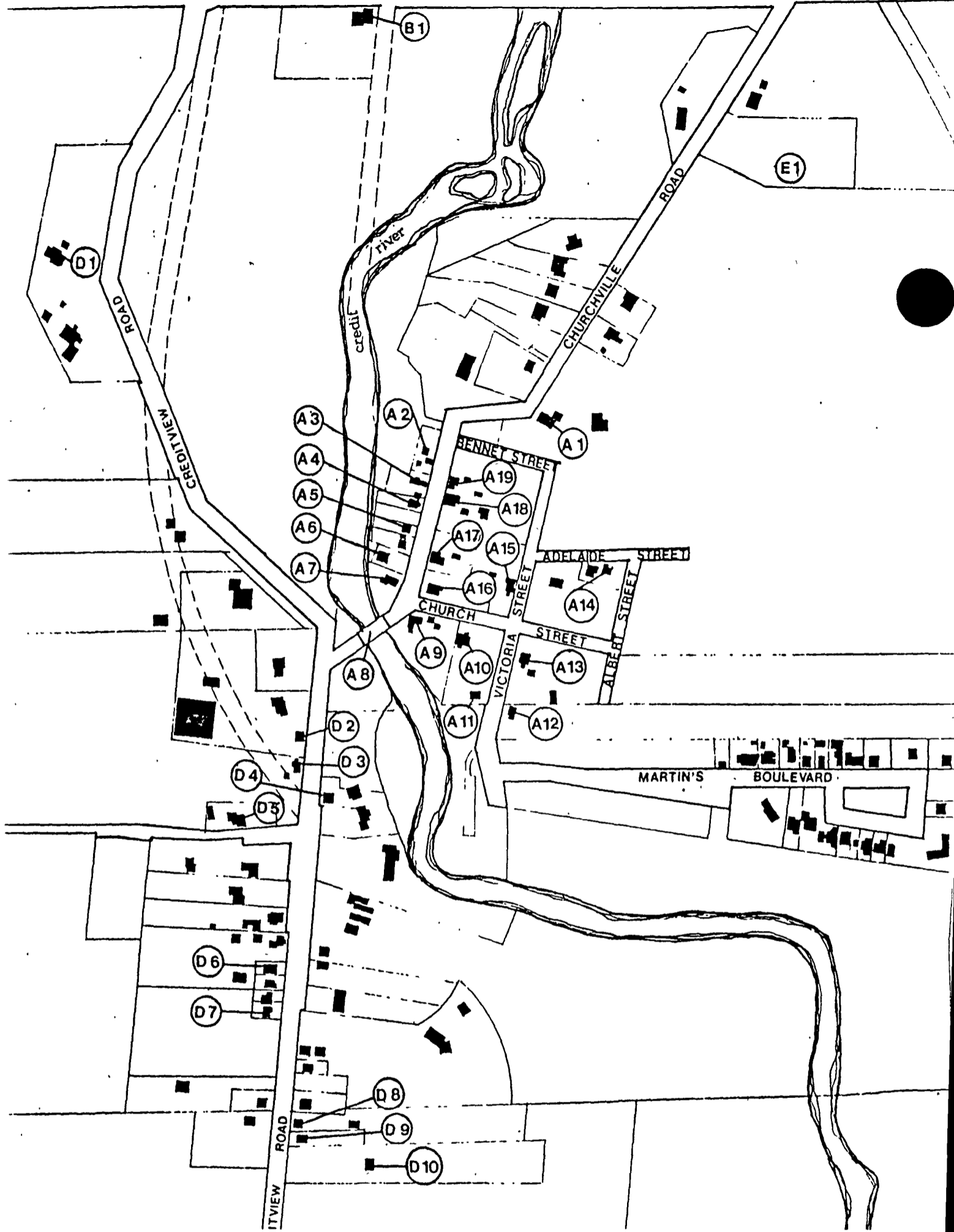
The historic building survey constitutes a record of the buildings as found in January 1989. The study area has been divided into landscape units and each historic property is identified by a key number within the mapped landscape unit. Each property description includes an estimate of the construction date and an architectural description.

The text is accompanied by a variety of black and white photographs. The smaller photographs were taken as part of the 1989 building survey work. Historical photographs have been taken from the Credit Valley Conservation Report 1956; the Peel Archives; the Archives of Ontario; the National Photographic Collection, Public Archives of Canada; and local sources, notably the Golden family.

The historical housing stock in Churchville consists of a number of mid to late nineteenth century vernacular buildings interspersed with early twentieth century vernacular houses and post 1970s infill housing. Some of the older buildings have apparently been moved from their original locations. Others have converted to housing from their original use. Martin's Boulevard, a 1950s subdivision to the east of the older village core, was included in the village boundaries during the 1970s. The majority of Churchville's nineteenth century buildings consist of one and a half storey, three bay frame structures. It would

appear from historical photographs that a number of the houses had exterior walls of lath and plaster ca. 1900.

Many of the frame structures have been recently reclad in contemporary man-made materials, sometimes covering over original historical building fabric. In other instances porches and dormers have been added to houses. These present a variety of conservation issues. The District Plan will not only provide general guidance on the repair and maintenance of these heritage buildings but also address the long term issue of recladding materials as well as advice on appropriate alterations and additions.



B1

E1

D1

A3

A2

A1

A4

BENNETT STREET

A19

A5

A18

A6

A17

A7

A15

ADELAIDE STREET

A16

A14

CHURCH STREET

A8

A9

A10

A13

A11

A12

CHURCH STREET

D4

D2

D3

MARTIN'S BOULEVARD

D5

D6

D7

D8

D9

D10

ITVIEW ROAD

LOCATION: A-1

CONSTRUCTION DATE: circa 1840

ARCHITECTURAL  
DESCRIPTION:

Known as Whitehall, this two storey, five bay Classical Revival building is one of Churchville's finest properties and is presently designated under Part IV of the Ontario Heritage Act. It is located at the top of the hill overlooking Churchville Road and the former mill site by the Credit River. Local historians suggest the building was once a dining hall for a former inn across the road. A large barn and outbuildings were located behind the house until the late 1960s. Whitehall has a medium pitch gable roof which was likely covered with wooden shingles. An early photograph shows two brick chimneys on either gable end. The roof has a slight overhang. The frame building is clad in tongue and groove clapboard siding with simple corner board. The double hung, four pane windows originally had louvred wooden shutters on the front elevation. The focal point of the building is the well executed front entrance. The surround includes a flat projecting cornice with plain frieze which is divided by the square tops of paired fluted pilasters which frame the 1/1 sidelights. The wooden door contains two lower raised panels, a glass mid-section and two small moulded panels above. A rear brick addition was added later possibly to house a kitchen. The front foundation is composed of stone with the rear addition supported by stone piers.







LOCATION: A-2

CONSTRUCTION DATE: circa 1920-30s

ARCHITECTURAL  
DESCRIPTION:

These two tiny frame buildings adjacent to the old Mill Road are both one storey in height. The small, older structure is reputed to have been a storage shed, while the larger was a garage for the neighbouring house. A kitchen has been added to the later building. The older building was originally sheathed in board and batten siding.

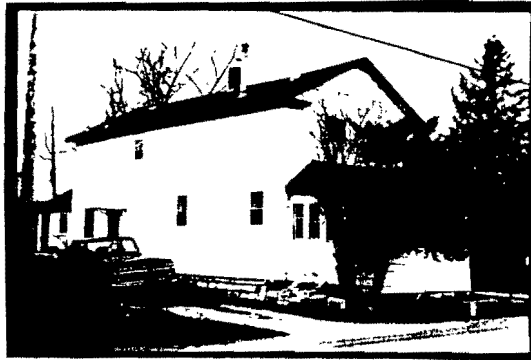


LOCATION: A-3

CONSTRUCTION DATE: circa 1830-40

ARCHITECTURAL  
DESCRIPTION:

One of Churchville's earliest extant structures this house, situated on Lot 27 of the Savigny Survey on the west side of Churchville Road, once served as a grocery store as well as a residence. A photograph dated ca. 1900 shows the front gable residence with a wooden shingle roof, returned eaves, lath and plaster exterior walls and an open one storey front porch. In a ca. 1909 photograph, the front porch has been replaced by an open boxed stairway to the main entrance and a decorative picket fence around the front yard. Today the house has an enclosed front porch, aluminum siding, a small rear addition and a hip roof side porch with a hip roof on the north elevation. The original central brick chimney still breaks the ridge of the roof. It is believed that the barn presently sitting to the north west of the house is the same barn shown in a ca. 1900 photograph to the south of the house. It had been moved by ca. 1909.



LOCATION: A-4

CONSTRUCTION DATE: ca. 1930-40s

ARCHITECTURAL  
DESCRIPTION:

This simple frame one and a half storey frame residence is situated on the west side of Churchville Road opposite the former Mays Hotel (now Letty home). In a circa 1909 photograph, this site is a vacant lot. A shed dormer has been added to the front elevation along with a covered front porch. The residence was originally covered in clapboard.



LOCATION: A-5

CONSTRUCTION DATE: circa 1850-60

ARCHITECTURAL  
DESCRIPTION:

This building has been substantially altered within the last thirty years. An historical photograph circa 1909 shows a vernacular frame house clad in clapboard with a three bay front facade and a one storey open verandah across the front facade. Today, the original square headed window openings have window units with segmental heads. A central gable dormer has been added to the second floor over the main entrance. Only the original boxed return eaves on the side gable roof remains of the original exterior detailing. A garage has been added to the south side of the building.



LOCATION: A-6

CONSTRUCTION DATE: unknown

ARCHITECTURAL  
DESCRIPTION:

This one storey cottage with a medium pitch gable roof and boxed eaves faces onto Churchville Road. The building which resembles a large garage is covered in a composition shingle material. The front facade contains a slightly off centre front door with a set of paired 2/2 windows on each side. These elements are protected by a gable-like awning supported by a set of brackets. A brick chimney punctuates the ridge of the gable to the rear of the house. This building was moved to the front of the lot in January 1989.



LOCATION: A-7

CONSTRUCTION DATE: ca. 1840; front addition ca. 1900

ARCHITECTURAL  
DESCRIPTION:

Known locally as the Golden House, this building has undergone major changes in its appearance since the early 1900s. Historical photographs ca. 1890s/early 1900s show a two storey lath and plaster structure set on grade with a side gable roof covered in wood shingles. A general store and post office were located in the north end of the building and a residence in the south end. An earlier use of the building includes a wagon-wheel shop. Although Thomas Fogarty is listed as a wagon wheel make in the 1846-47 Churchville directory, this lot was not purchased by his wife Susan Fogarty until 1859. The store was left to Thomas and Susan Fogarty's daughter, Charlotte Golden, in the early 1900s and was run by the Golden family as a community general store until the 1960s when it became a residence. The most interesting feature of the ca. 1900 front addition is the symmetrical placement of the two gable dormers on the front facade. The front porch and former store windows have now been enclosed. A small addition exists at the rear of the building and an attached garage with overhead accommodation is located on the north facade where a two storey frame blacksmith shop once stood.





LOCATION: A-8

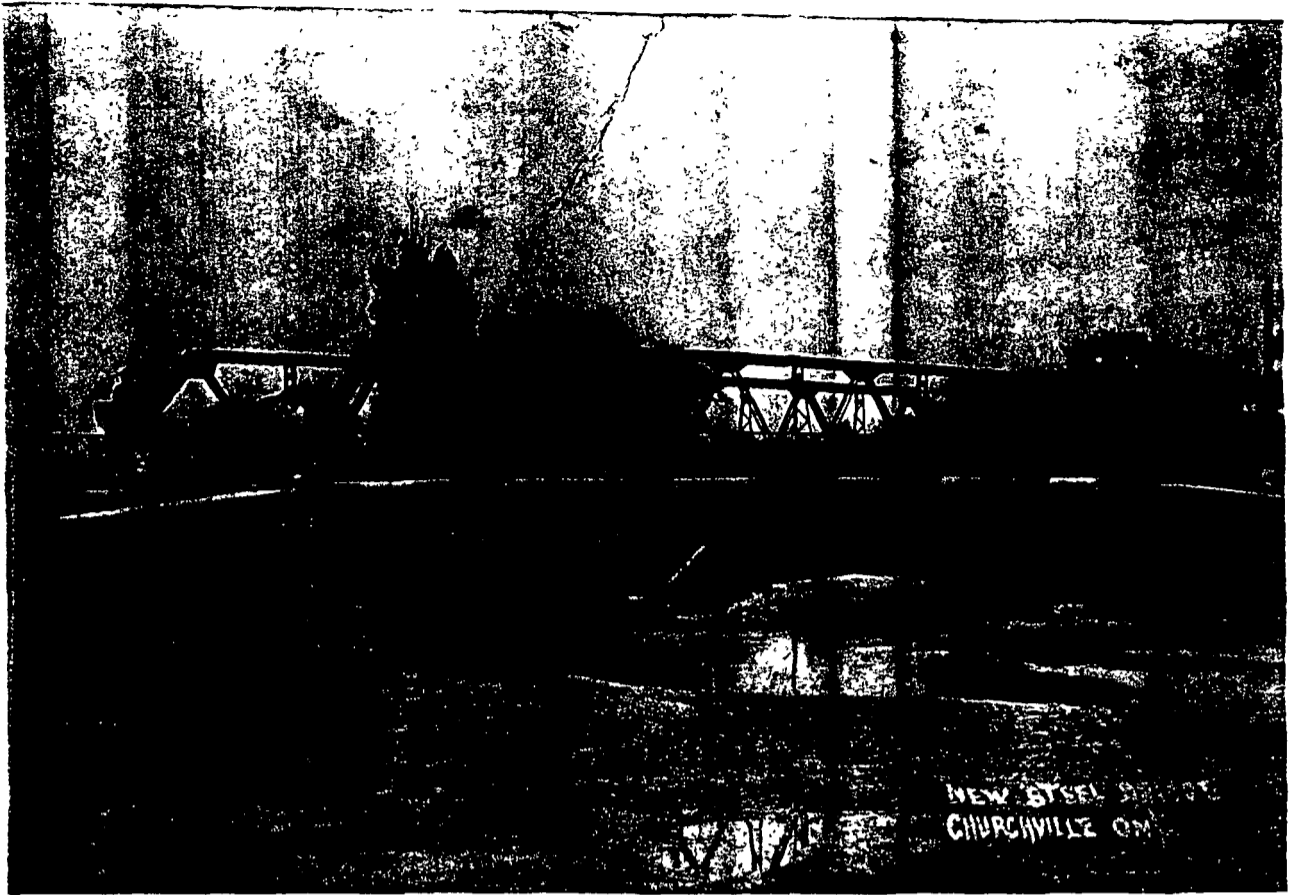
CONSTRUCTION DATE: ca. 1907

ARCHITECTURAL  
DESCRIPTION:

This crossing of the Credit River has existed since the first survey of the area in 1819. During the nineteenth century several wooden bridges spanned the river in this location. The present steel pony truss bridge was built ca. 1907. The bridge serves as a gateway to the village from the south and is generally perceived as a landmark in the surrounding village landscape. The present abutments are recent replacements.





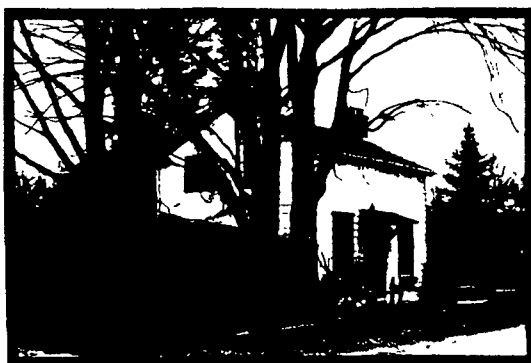


LOCATION: A-9

CONSTRUCTION DATE: circa 1850s

ARCHITECTURAL  
DESCRIPTION:

The house, located at the southwest corner of Church St. and Churchville Road, was originally built as a residence circa 1850s. It was also used as a slaughter house for the Golden's Store at one time. An early 1900s historical photograph shows the one and a half storey frame house with a low pitched wooden shingle gable roof, two end chimneys and a rear one storey kitchen addition with a single chimney. A large one storey driveshed or barn stands to the east of the house. The front door and windows are framed by simply detailed wooden trim with a classical influence. Aluminum siding now covers the clapboard walling and an exterior brick chimney has been constructed on the west elevation.



LOCATION: A-10

CONSTRUCTION DATE: circa 1930s-40s

ARCHITECTURAL  
DESCRIPTION:

The asymmetrical front facade of this bungalow style home has a front door under a small projecting enclosed gable. The building has a hip roof with a slight overhang and three triple windows with side single hung units exist stretching across the front of the building. The exterior walls have a rendered coating.



LOCATION: A-11

CONSTRUCTION DATE: circa 1930

ARCHITECTURAL  
DESCRIPTION:

This small abandoned cottage is located adjacent the park on the west side of Victoria Street. Possibly built as a summer residence, this square one storey building has an enclosed front porch. The exterior appears to have a rendered coating material.

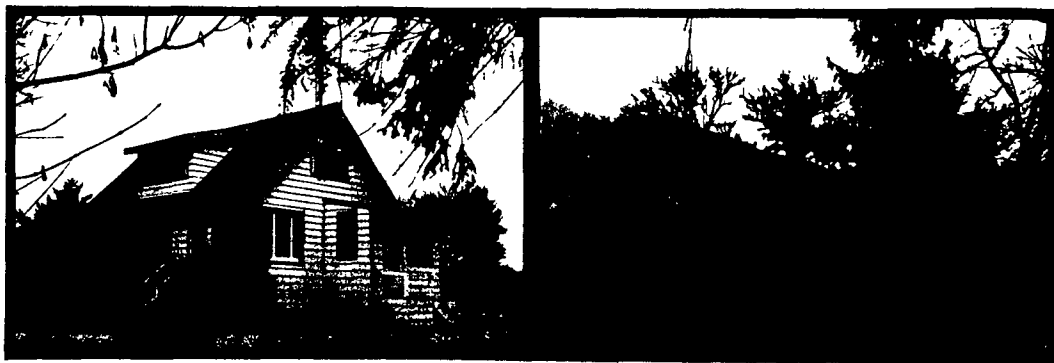


LOCATION: A-12

CONSTRUCTION DATE: circa 1920-30

ARCHITECTURAL  
DESCRIPTION:

This vernacular styled, one-and-a-half storey frame cottage has an asymmetrical plan. The side gable roof has paired windows on either end and one central shed dormer. The first floor is well lit by two sets of triple windows on the front facade and a set of corner units on the south facade. The building was originally clad in 1"x4" clapboard siding and possessed a wooden shingle roof. A basement exists under the building.



LOCATION: A-13

CONSTRUCTION DATE: circa 1920-1930

ARCHITECTURAL  
DESCRIPTION:

Unlike its neighbour, A-12, this vernacular cottage is one storey high and sits on a high concrete foundation clad with fieldstone. The main section of the house is built of brick. The front facade is dominated by a large chimney and also contains a window and door. A small addition has been built on the south facade which contains the main entrance to the home. The side gable roof has a wide overhang supported by wooden rafter ends which have been decoratively finished. This property also contains a number of older buildings.



LOCATION: A-14

CONSTRUCTION DATE: circa 1900

ARCHITECTURAL  
DESCRIPTION:

Local accounts claim that this house was relocated to its present site. Situated well back from the north end of Victoria Street, this one and a half storey vernacular frame building is clad in wooden siding and has a gable roof and a central shed dormer. Each side elevation has a single window unit in the gable peak and the ground floor front elevation has a full length porch with a band of twelve light windows to illuminate the area. The area below the windows is covered with wooden shingles.



LOCATION: A-15

CONSTRUCTION DATE: date unknown

ARCHITECTURAL  
DESCRIPTION:

Originally a smaller structure this vernacular building has an irregular appearance due to numerous alterations and additions. It is one and a half storeys high with a rendered exterior cladding.





LOCATION: A-16

CONSTRUCTION DATE: circa 1930-40s?

ARCHITECTURAL  
DESCRIPTION:

This twentieth century one storey frame building is prominently situated at the corner of Churchville Road and Church Street. A blacksmith shop is believed to have been located on this site in the nineteenth century. A pre-World War I photograph of the village shows the corner as vacant land. An addition is now being constructed adjacent the north side of the house.



LOCATION: A-17

CONSTRUCTION DATE: circa 1850s

ARCHITECTURAL  
DESCRIPTION:

This one and a half storey frame house is set on a stone foundation with a side gable roof. The front elevation which originally consisted of three bays with a central entranceway now has three windows. The door was converted to a window soon after World War II and the classical revival hood mouldings which once decorated the front two windows and the doorway were removed during the 1970s. Another classical revival detail is the returned eaves on the gable ends. Historical photographs from the early 1900s show that an open boxed stairway once led up to the front doorway but was later removed. The exterior which is now covered with aluminum siding once had a white lath and plaster cladding and the upper window sash on the south elevation had 6/6 lights. Two large brick end chimneys balanced the front facade and the roof was covered with wood shingles. The rear one-and-a-half storey wing with a gable roof is also shown as part of the ca. 1900 house.



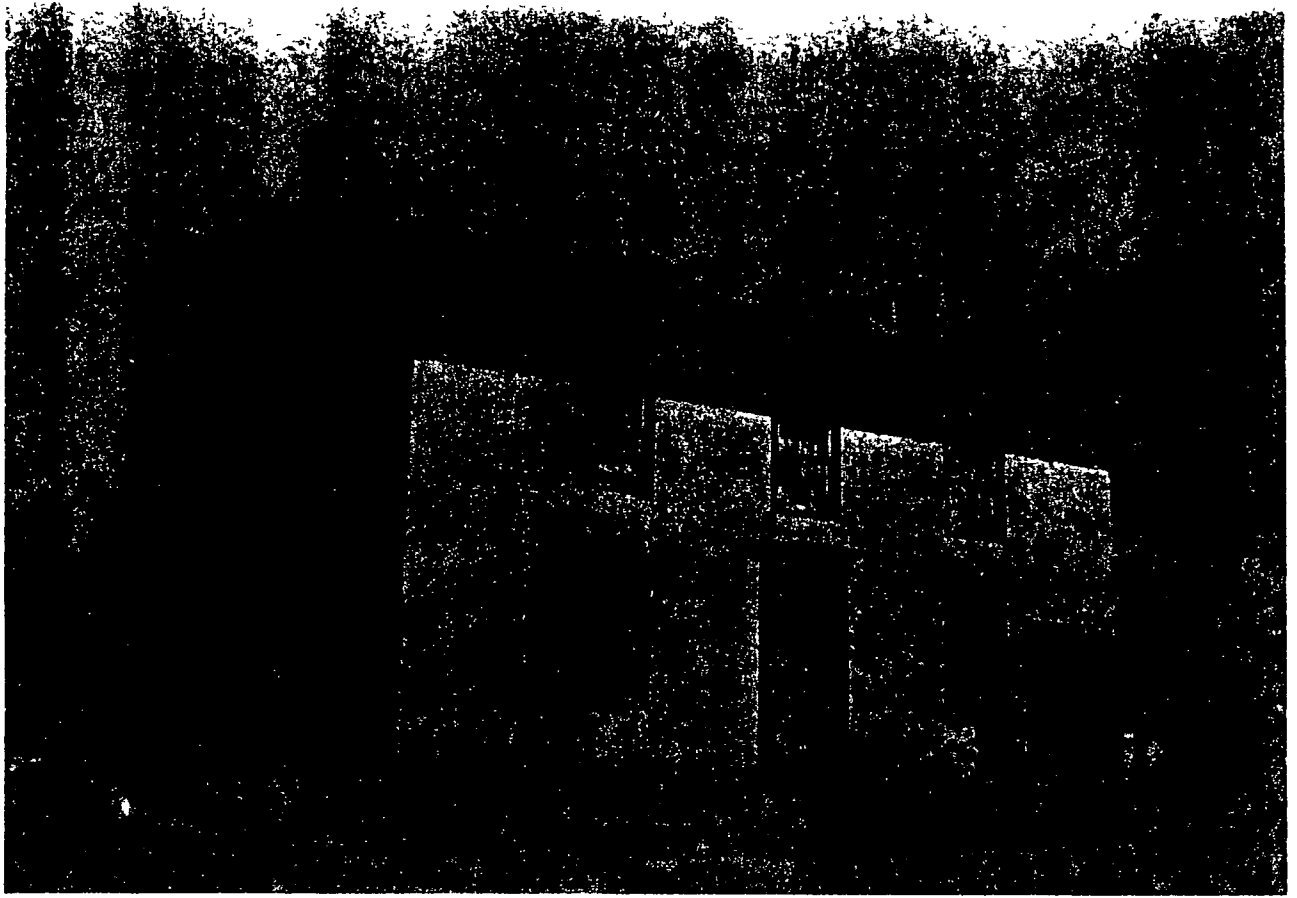
LOCATION: A-18

CONSTRUCTION DATE: circa 1830-1840

ARCHITECTURAL  
DESCRIPTION:

Formerly the May Hotel, the Letty House is one of Churchville's oldest structures and one of its best preserved nineteenth century buildings. Influenced by the Classical Revival period, this two storey salt box style home reflects the building techniques of the early to mid 1800s. The medium pitched side gable roof has a wide roof overhang and although sheathed with a metal roof today was originally covered in wood shingles. Of the two original end chimneys, the south one is still in place. The front facade is now symmetrical and composed of three bays, however, historical photographs show that an entry door was once located in the south corner of the front facade. The main entrance door is nicely accented with a classical door surround consisting of a moulded cornice supported on plain pilasters. Above the wooden front door is a rectangular shaped vertically divided transom. A number of windows still have their original 6/6 lights. The building sits on a small raised foundation of rubble stone with a rendered exterior wall covering. A large barn which stood to the rear of the property was destroyed recently by fire.





LOCATION: A-19

CONSTRUCTION DATE: circa 1840

ARCHITECTURAL  
DESCRIPTION:

This one-and-a-half storey frame structure is thought to have been the livery stable for the adjacent May Hotel at one time. The street facade once had three bays with two windows flanking a centrally located doorway. It has now been considerably altered with the addition of two bay windows. From photographs, it would appear that the earliest exterior wall covering was lath and plaster. From the early 1900s up until the 1970s it had clapboard siding. It now consists of modern aluminum siding. The medium pitched side gable roof has been altered with the addition of a large shed dormer on the front facade. A one storey open verandah with the same roof slope as the house once ran across the full width of the main facade circa the late 1800s, early 1900s. It was replaced early in the 1900s by a gable portico over the front entrance. The portico had decorative fretwork and posts. The one storey addition to the rear of the house was once covered with vertical board siding. The general shape of the original structure can still be seen in the present building but little else remains of the earlier appearance of the building.



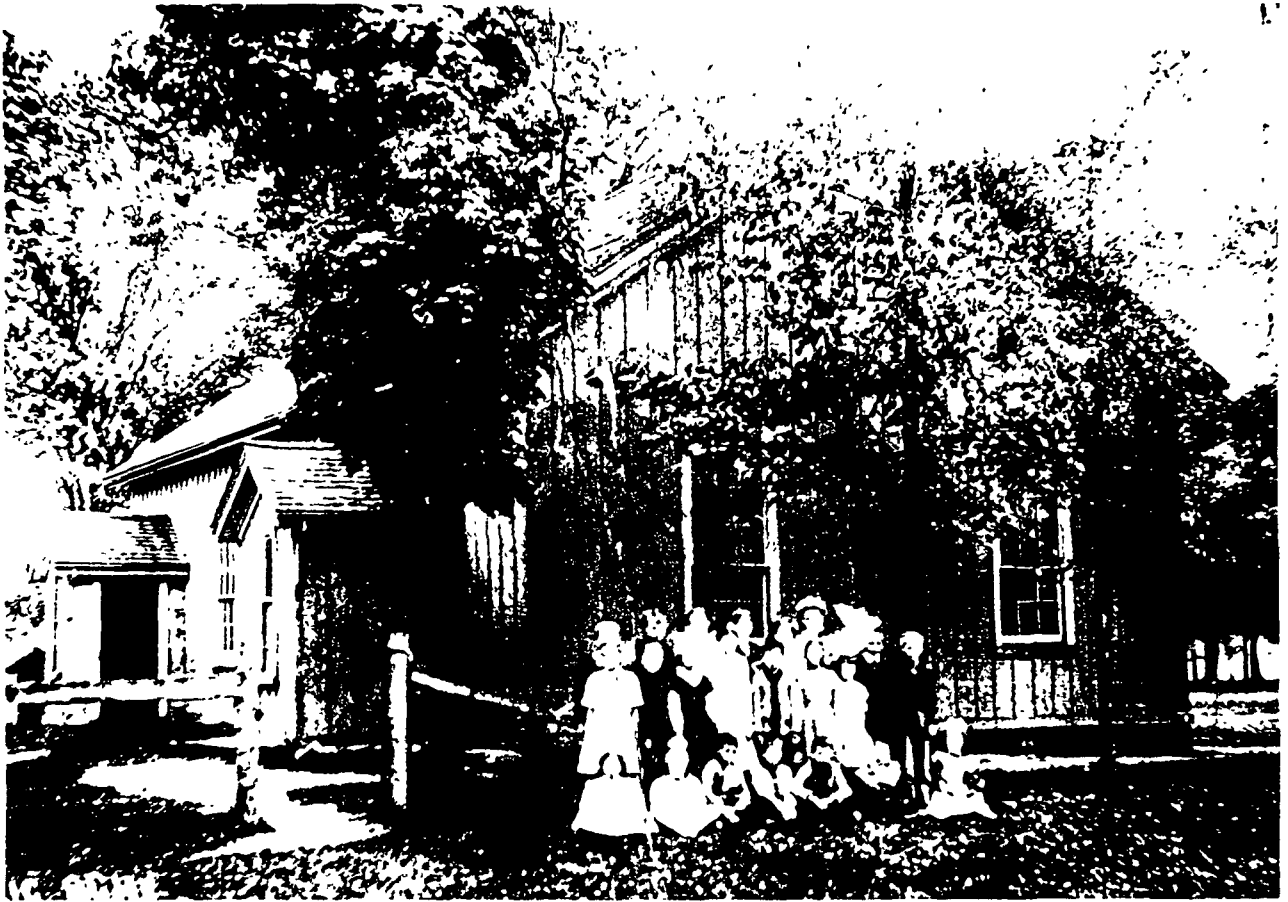
LOCATION: B-1

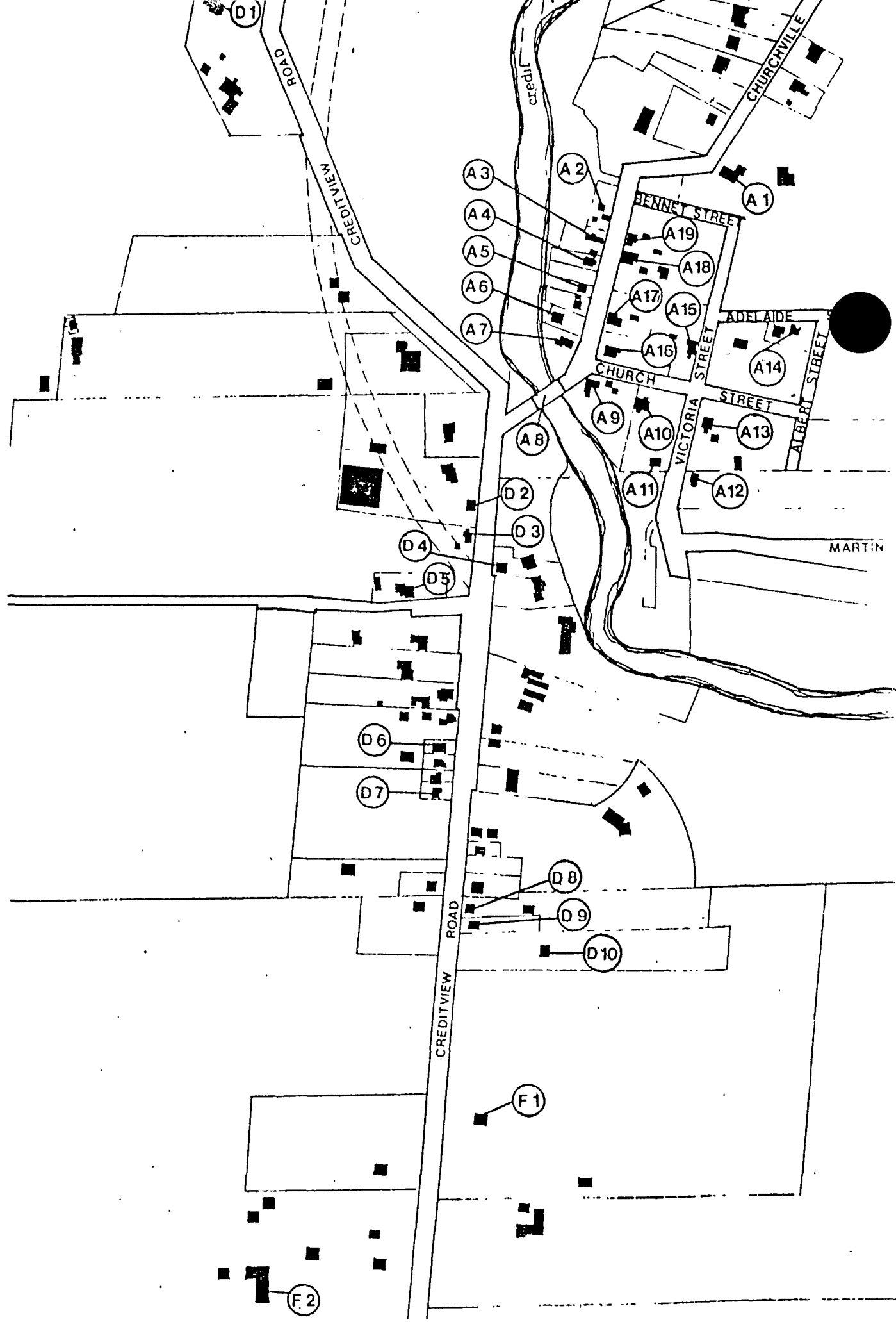
CONSTRUCTION DATE: circa 1870

ARCHITECTURAL  
DESCRIPTION:

The 1877 Illustrated Historical Atlas of Peel County shows a school located in the top north east of Lot 15, Con. 4 of Toronto Township. Believed to have been built in the early 1870s this was the second school building serving the Churchville area. Early photographs show a board and batten frame building with a wood shingle gable roof, segmentally arched double hung windows and two entrance door vestibules on the east side. Originally a one-room school house, it was expanded to two rooms in 1927. Closed in 1963 due to declining enrolment, the site was sold by the Mississauga Board of Education to the Ontario Boy Scouts of Canada in 1968. Presently used as the Brampton Boy Scouts Headquarters, the building has been considerably altered with new windows, an addition and new siding.









LOCATION: D-1

CONSTRUCTION DATE: mid 19th century

ARCHITECTURAL  
DESCRIPTION:

Situated well back on the west side of Creditview Road as it follows the west bank of the Credit River below Steeles Avenue is the former John Murray farm. Murray was living on Lot 15 Con. 4 in 1837 and it is generally believed that he had a house on this property as early as 1840. It is not known whether the present building is the same one. Certainly by 1877, a house and surrounding orchard owned by George Murray was shown on Lot 15, Con. 4 in the Illustrated Historical Atlas of Peel County. The low hip roof with its wide overhang and boxed eaves tends to support the earlier construction date as does the Flemish bond brickwork pattern. The east facing front facade is three bays wide with a central door and 6/6 double hung window sash on both floors. A porch which once surrounded the house has been removed. The small central window over the door was perhaps a full-size window or a door to the front porch at one time. A single brick chimney exists on the south elevation. This building of undetermined age shows some influence of late vernacular classical styling. According to local accounts the exterior brickwork was refaced in 1983 and a walkway to a three car garage was built in the past few years.



LOCATION: D-2

CONSTRUCTION DATE: 1922-1924

ARCHITECTURAL  
DESCRIPTION:

This vernacular style bungalow built by Mr. Rollings is one and one half storeys in height. It originally had a central front entrance but the door has been bricked over and the window enlarged on the main elevation. The main entrance was moved to the former side entrance. Shed dormers were added at a later date. This building was constructed on the site of the original farmhouse and at one time had a barn and several outbuildings associated with it.



LOCATION: D-3

CONSTRUCTION DATE: circa 1860

ARCHITECTURAL  
DESCRIPTION:

Opposite the United Church on the west side of Creditview Road, this vernacular one and a half storey brick house once served as the residence for the minister of the congregation. It is three bays wide with a central main entrance door and flanking 1/1 double hung windows. The gable roof with returned eaves originally had two end chimneys. However, only the north one remains. The small portico over the front entrance is a modern addition as is the existing front door. Apparently the original front door had nine panels with lower decoration. An historical photograph circa 1920s shows that the original south elevation window sashes were 6/6 lights and that there was a one storey brick addition on the south side of the house. Several outbuildings also appear in the photograph.



LOCATION: D-4

CONSTRUCTION DATE: 1864

ARCHITECTURAL  
DESCRIPTION:

Lot 5 of the Savigny Survey was purchased in 1856 by the Wesleyan Methodists who proceeded to build a brick church on the site. In 1864 the existing frame church which was constructed by the Methodist Episcopal Congregation was erected on the west side of Creditview Road across from the brick church. Following the unification of the branches of the Methodist church in 1884 the former brick church was used as a sanctuary and the frame church building as a Sunday School. Shown in its original location on the west side of Creditview road in an historical photograph circa the late 1890s the frame church building was moved to the east side of the road immediately to the south of the brick church around 1910. The two Methodist church buildings were transferred to the United Church of Canada in 1925. The brick church was demolished in 1952 and the present frame church building was enlarged with a rear addition and a new front vestibule in order to accommodate services. In 1974 a stone cairn was placed on the site of the former brick church building commemorating all who had contributed to the Churchville church since its beginnings. Now vacant, the frame church building has tongue and groove clapboard siding, large double hung multi-paned windows and a front gable with a returned eaves detail.





LOCATION: D-5

CONSTRUCTION DATE: circa 1860

ARCHITECTURAL  
DESCRIPTION:

This house is composed of two sections. The rear portion is believed to have been an apple storage house and was moved to its present site in the late 1850s or early 1860s. The one and a half storey front section was apparently added during the 1860s. It originally had board and batten siding and a three bay facade with a central doorway. A large picture window has now been inserted in the west corner of the front facade eliminating the west window. A second addition was erected to the rear of the building during the 1950s. The entire structure has been reclad with clapboard siding.



LOCATION: D-6

CONSTRUCTION DATE: circa 1850s

ARCHITECTURAL  
DESCRIPTION:

Shown on the 1869 Savigny Plan of the village of Churchville as part of Lot 47, this small three bay, one and a half storey frame building is situated on top of a hill on the west side of Creditview. Designed in a vernacular manner, the house has a simple rectangular plan, a side gable roof with a small overhang, few exterior architectural details, a central front entrance and wooden shiplap siding. A portion of the front elevation of the house shown in an historical photograph circa 1890s indicates that it originally had a wooden shingle roof. An enclosed front porch and shed dormer have been added to the front elevation. A rear addition extends from the back of the house.

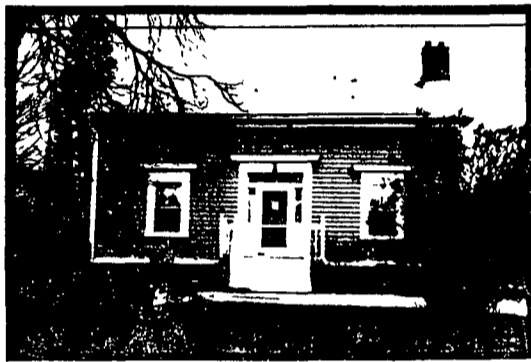


LOCATION: D-7

CONSTRUCTION DATE: circa 1840s

ARCHITECTURAL  
DESCRIPTION:

Included in the 1869 Savigny Plan of the Village of Churchville as Lot 48 this property was owned by the town doctor in the early 1900s. The house is a one-and-a-half storey frame building with original clapboard siding, a three bay wide front facade with a central entranceway and a side gable roof. The heavy window hoods, the door entablature, fluted side pilasters and rectangular multi-paned transom and half sidelights of the main doorway are distinctive traits of the classically inspired Greek Revival style of Architecture. The house originally had a chimney on each gable end to balance the facade. A modern exterior chimney is presently located on the north elevation.





LOCATION: D-8

CONSTRUCTION DATE: circa 1840s (front section)

ARCHITECTURAL  
DESCRIPTION:

This house is believed to have been built in three different periods. The front section facing the road is two storeys high with a centre front gable and side gable. Decorative vergeboard has been removed from the eaves with only a vestige remaining in the peak of the front gable. Decorative brackets which once accentuated a former open front verandah are still visible on either side of the present enclosed porch. The plank on plank construction has been covered with stucco. The middle one storey section is believed to have been built around 1890 and the one storey rear section was probably added during the early 1900s. Local accounts claim that beams from the former Anglican Church (demolished in the early 1900s), were used to build this addition.



LOCATION: D-9

CONSTRUCTION DATE: circa 1840s

ARCHITECTURAL  
DESCRIPTION:

This small vernacular one and a half storey frame house originally had lath and plaster exterior cladding and a salt box roof configuration. The exterior of the building has been substantially altered over time with the application of an imitation brick wall cladding on the front elevation, aluminum siding on the other elevations and the construction of a large two storey addition to the rear of the building. The only visible evidence of its earlier construction date are the two wooden pediments over the two front windows, the moulded and eared front door trim and its salt box configuration. The original construction method featured plank on plank walls.



LOCATION: D-10

CONSTRUCTION DATE: circa early 1900s

ARCHITECTURAL  
DESCRIPTION:

Designed in the manner of a vernacular four square house, a style popular at the turn of this century, this two storey red brick house has a stone foundation, square plan, medium pitch hip roof and two bay front facade. Stone window sills and lintels have been used to relieve the plain wall treatment. At one time, a one storey verandah spanned the width of the front facade but it was removed during the 1950s. Both the north and south facades have a one storey bay window.



LOCATION: E-1

CONSTRUCTION DATE: circa 1830

ARCHITECTURAL  
DESCRIPTION:

Established around 1830, the Churchville Cemetery is located at the top of Churchville Road below Steeles Avenue West. It is the burial place of Amaziah Church as well as many other prominent local families. The cemetery is an important landscape feature and contains individual monuments of significant historical merit and is an important landscape feature. It is presently designated under Part IV of the Ontario Heritage Act.





LOCATION: F-1

CONSTRUCTION DATE: circa 1890s

ARCHITECTURAL  
DESCRIPTION:

The present two storey brick farmhouse was built in 1898 by local Brampton builder W.B. McCullough for George Wilson. In 1877 the Illustrated Historical Atlas of Peel County shows that John Wilson owned Lots 12 and 13, Con. 3 on the east side of Creditview Road. Both lots are shown as having houses with orchards. The present house has not been substantially changed except for the roofing material which was originally wooden shingles and the enclosure of a side porch. The property also consists of a one storey clapboard shed to the south east of the house and five farm buildings including the original board and batten sided barn.



LOCATION: F-2

CONSTRUCTION DATE: circa 1850s

ARCHITECTURAL  
DESCRIPTION:

Set back on the west side of Creditview Road on Lot 13, Con. 4, this simple one and a half storey brick house is now part of Pengilley Farms. According to the 1859 Tremaine Map of Peel County this property was owned by Thomas McClure Sr. The 1877 Illustrated Historical Atlas of Peel County shows a house and orchard in the approximate location of the present building as belonging to the estate of James McClure, son of Thomas McClure. The house is three bays wide with a low sloped gable roof. The return eaves and central doorway with a rectangular transom and sidelights are typical details from vernacular classical revival architecture of the midnineteenth century. At one time a one storey verandah ran across the front facade of the house but it has now been replaced with a flat roof porch with wooden columns and hand rail at the main entrance. Double hung, 6/6 light window sashes are found on the front facade.



**APPENDIX A**

**Correspondence re: Proposed C.V.C.A. Floodworks**



January 31, 1989

Mr. John B. Corbett, M.C.I.P.  
Policy Planner  
The Corporation of  
The City of Brampton  
150 Central Park Drive  
Brampton, Ontario  
L6T 2T9

Dear Sir,

Re: Proposed C.V.C.A. Floodworks, Churchville

As part of the Churchville Heritage District Study, the consulting team has reviewed the proposed flood proofing measures which the C.V.C.A. intends to construct this summer. The most recent engineering drawings were provided to us for our comments by Philips Planning & Engineering Limited with the approval of the C.V.C.A. These plans are not yet finalized and as a result an opportunity exists to incorporate additional features in the design of the earth dyke and flood wall that will lessen the impact on the overall character of the village.

Churchville has a unique and interesting history centred around the industrial utilization of the Credit River. As evident from the attached historical plan, there were extensive mill buildings and water channels at the west end of Mill Pond St. In all likelihood, there are archaeological remains of these installations that would offer both educational and interpretive value to the community.

We recommend that the C.V.C.A. consult with an historical archaeologist in order to prepare a preliminary archaeological assessment of the area prior to the start of excavation and construction. This assessment should identify the archaeological resources and evaluate the impact of the proposed floodwork on the resources. As well, the C.V.C.A.

36 Water Street South, Cambridge, Ontario, N1R 3C5  
(519) 740-1176

should consider having the historical archaeologist on site during the initial construction phase to provide advise on any mitigating measures that may be undertaken.

In addition to this recommendation we suggest that an effort be made to balance the visual impact of the floodworks with a restored landscape. This would be achieved by limiting the area of disturbance during construction so as retain as many of the existing trees as possible and by replanting large trees and shrubs along the floodworks once the work is completed.

The following comments refer to specific sections of the proposed floodwork.

Drawing 1 of 18:

Because the view from the top of the hill encompasses both the village and river we suggest that large trees be replanted along the street side of the floodwall to replace the eleven mature trees that will be removed. (Photo 1)

The access to the former Mill Pond Street is evident from Churchville Road. (Photo 2)

Drawing 2 of 18:

Because the floodwall is so close to Churchville Rd. particularly at the Fire Department we suggest that the treatment of the wall surface should be varied for interest. The wall could be planted with climbing vines, faced with a timber screen or have a textured pattern from the forming process. (Horizontal reveals or vertical shadow lines)

The trees along the property lines running to the river should be retained, (for example between the Berger and Burton Residences) so that the view from the bridge up the river is intact (Photo 3).

Drawing 3 of 18:

At the present time, the entrance into the village proper is defined by the bridge and is reinforced by the trees and shrubs that are planted close to the main intersection. Eleven of these trees and shrubs will be lost to accommodate the floodwall and dyke and extensive replanting should take place in this area to recreate the sense of "entrance".

Drawing 4 of 18:

The proposed design will not impact on the village character.

Drawing 5 of 18:

We recommend that the earth dyke be relocated to the present road location so that the view of and access to the park and river is retained. With construction of the road or the dyke additional replanting adjacent to the road should be undertaken to replace those trees that are lost to construction. The grove of trees to the north east of the road (Photo 4) should be protected during construction. If the dyke is constructed as proposed there will be approximately 44 trees lost which will have a great impact on the enjoyment of the park by the community.

The design of the 2 parking lots and the 2 access driveways should be co-ordinated with an overall park plan that identifies the need for parking and other park facilities. The guiderails along the road and driveways could be designed to provide the security of a highway standard yet have the visual quality appropriate to the rural setting. Facing the steel cables with timber has proven in similar cases to provide the character desired.

In summary, we suggest that the following issues be considered by the C.V.C.A.

1. archaeological impact of the floodworks.
2. visual impact of the floodwall particularly where it is located close to the road and the loss of mature trees and shrubs.
3. the physical separation of the community park from the remainder of the village if the dyke is located as it is currently proposed (through the centre of the park)

The present floodwork proposal does retain the main view from the bridge upstream (Photo 3) and with replanting and realignment of the dyke to the present road location the view downstream will remain intact (Photo 5). We believe that the overall historic character of Churchville can be retained with the careful detailing and design of the floodworks.

The safety of the residents and the appreciation of the village by the entire community can be enhanced by the C.V.C.A. project.

Yours very truly,

WENDY SHEARER LANDSCAPE ARCHITECT LIMITED

Wendy Shearer  
c.c. D. Cuming

After borrowing money from the Bank of Upper Canada, Silverthorne re-established his mills again, and aided the economy of Meadowvale by continuing to provide local people with positions in his mills. The residential growth of Meadowvale in the 1850's is directly attributed to Silverthorne, for at that time, he divided a great deal of his property into village lots. By 1855 Meadowvale's population had risen to around 200 people.

As the Crimean War raged in Europe, the flour from Silverthorne's mill was in terrific demand. Wheat was obtained from as far away as Orangeville and after it was gristed in Meadowvale, it was shipped by wagon to Port Credit.

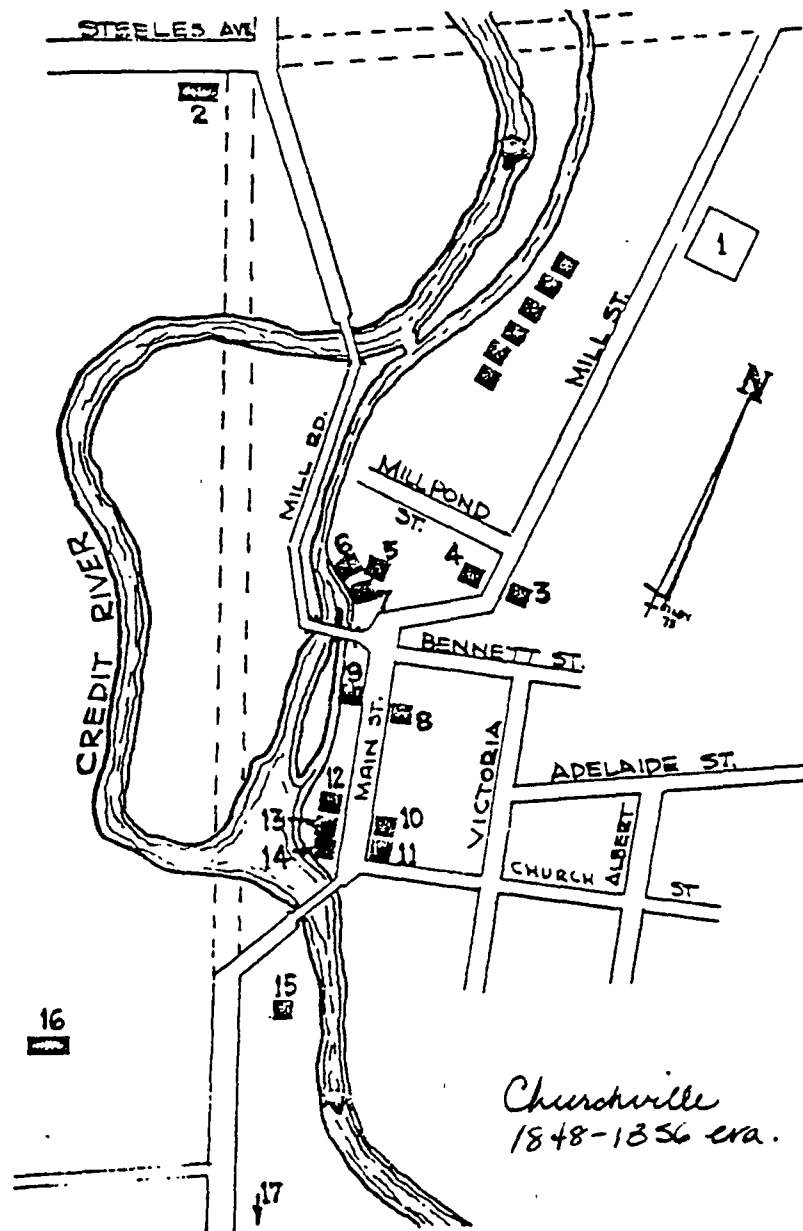
Churchville also reaped the benefits from the Crimean War and her population was now well over 300 people.

The following chart is a comparative look at the commercial growth of both towns in 1856:

	Meadowvale	Churchville
Agricultural Implements Manufacturing	1	
Blacksmith	1	3
Carpenters		2
Coopers	1	1
Farmers	1	
Flour Mills	1	1
Grist Mills	1	2
Hotels		2
Innkeepers		2
Justice of the Peace		1
Manufacturers	1	
General Merchants	1	3
Millwright		2
Minister	1	3
Postmaster	1	1
Saw Mills	2	2
Shingle factory		1
Shoemaker	1	2
Tailor		2
Tannery		1
Wagonmaker		4

With the end of the Crimean War in 1856, a slowdown in the grist mills of Upper Canada checked the progress of the two towns, Meadowvale being hit the hardest. During the course of the Crimean War, Silverthorne accumulated 10,000 bushels of wheat at \$2.50 per bushel. When news of the end of the war reached Canada 10 weeks later, Silverthorne was left with the 10,000 bushels of wheat at a collapsed value of \$1.25 per bushel. He claimed bankruptcy and his mills were taken over by the firm of Gooderham and Worts owners of most of the shares in the Bank of Upper Canada.

The most decisive obstacle to the future prosperity of Meadowvale-Churchville occurred in 1855 when the Grand Trunk Railway was constructed through Malton and Brampton. It was now more economically sound to ship wheat to Brampton and from there to Toronto. With a current trend towards industrialization, Brampton's excellent location attracted settlement and since Churchville was more advanced than Meadowvale it stood to lose the most.



*Churchville  
1848-1856 era.*

- CHURCHVILLE**
- |                     |                     |                    |
|---------------------|---------------------|--------------------|
| 1. cemetery         | 6. saw mill         | 12. blacksmith     |
| 2. school           | 7. grist mill       | 13. carriage shop  |
| 3. hotel            | 8. hotel            | 14. store          |
| 4. hotel cook house | 9. store            | 15. tannery        |
| 5. distillery       | 10. hotel           | 16. church         |
|                     | 11. blacksmith shop | 17. slaughterhouse |



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



Village of Churchville  
Heritage Conservation District Study

THE DISTRICT PLAN  
AUGUST, 1990

Prepared for the City of Brampton



DAVID CUMING AND ASSOCIATES  
UNTERMAN McPHAIL HERITAGE RESOURCE CONSULTANTS  
WENDY SHEARER LANDSCAPE ARCHITECT LIMITED

Village of Churchville  
Heritage Conservation District Study

THE DISTRICT PLAN  
SEPTEMBER, 1990

Prepared for the City of Brampton

DAVID CUMING AND ASSOCIATES  
UNTERMAN McPHAIL HERITAGE RESOURCE CONSULTANTS  
WENDY SHEARER LANDSCAPE ARCHITECT LIMITED

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## THE CHURCHVILLE HERITAGE CONSERVATION DISTRICT PLAN

### SUMMARY OF RECOMMENDATIONS

The Churchville Heritage Conservation District Plan is divided into three major parts. Each part contains recommendations respecting aspects of conservation, planning and implementation.

Wherever possible the recommendations contained in the heritage conservation district plan are contained below in their entirety. The only exceptions are those recommendations describing particular text changes to planning documents or those describing administrative processes. The reader is requested to refer to the main text of the heritage conservation district plan for further information.

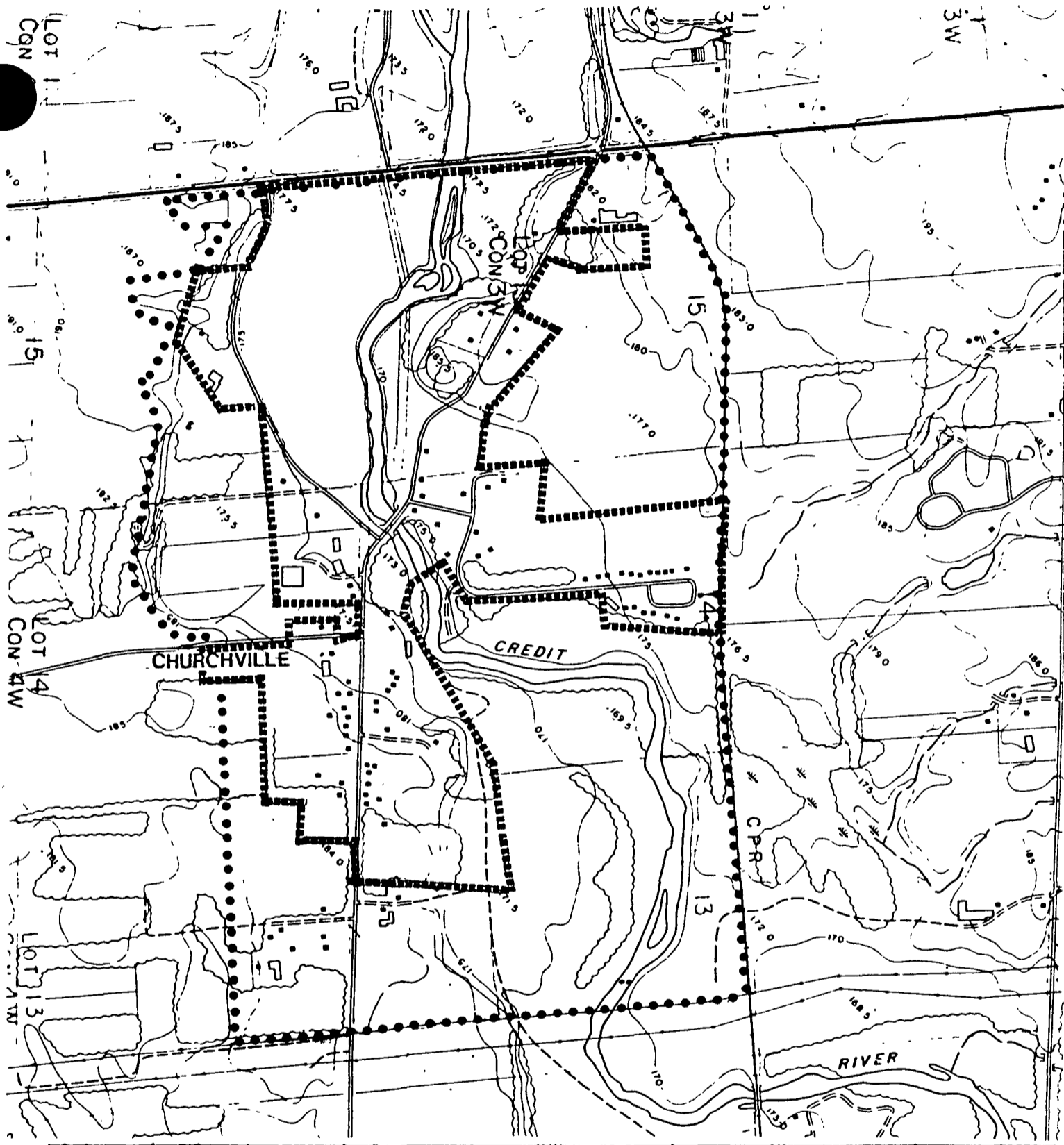
#### **PART I : DISTRICT DESIGNATION**

##### ***Recommendation 1***

It is recommended that pursuant to subsection 41 (1) of the Ontario Heritage Act, council of the City of Brampton designate by by-law that area of the municipality identified generally as Churchville and surrounding lands as a heritage conservation district, more accurately depicted as "Proposed Heritage Conservation District" in the accompanying map.

##### ***Recommendation 2***

It is recommended that the designating by-laws under Part IV of the Ontario Heritage Act (affecting Churchville Cemetery and "Whitehall") be repealed under Section 31 of the Act upon Ontario Municipal Board approval of the district designation by-law.



Proposed Heritage Conservation  
 District Boundary ●●●●●●●●  
 Settlement Area ■■■■■■■■

Proposed Heritage  
 Conservation District Boundary

Village of Churchville  
 Heritage Conservation District Study

David Cuming and Associates  
 Unterman McPhail Heritage Resource Consultants  
 Wendy Shearer Landscape Architect Limited

**PART II : CONSERVATION, DESIGN AND LANDSCAPING  
GUIDELINES**

***Recommendation 3***

In order to guide sound conservation and prudent management of the designated heritage conservation district of Churchville it is recommended that Part II of this heritage conservation district plan be adopted by the Council of the City of Brampton.

**PART III : PLANNING, DEVELOPMENT AND  
IMPLEMENTATION**

***Recommendation 4***

It is recommended that Churchville should be located outside of the long term urban area boundary in the Draft Regional Official Plan.

***Recommendation 5***

It is recommended that additional policies are incorporated into section 1.7.1.1 of the City of Brampton Official Plan.

***Recommendation 6***

It is recommended that additional policies are incorporated into section 7.12 of the City of Brampton Official Plan.

***Recommendation 7***

It is recommended that additional policies are incorporated into section 2.1.2 of the City of Brampton Official Plan.

***Recommendation 8***

It is recommended that additional policies respecting conservation of Scenic Drives are incorporated into section 4.2.1 of the City of Brampton Official Plan.



***Recommendation 9***

It is recommended that Hallstone, Creditview and Churchville Roads be designated as Scenic Drives throughout the heritage conservation district. If considered desirable this designation may also be considered for that portion of Hallstone Road outside of the district west to Mississauga Road, and those portions of Churchville and Creditview to their intersection north of Steeles Avenue. Appropriate signage of these Scenic Drives may be considered by Council.

***Recommendation 10***

It is recommended that additional policies respecting conservation of streetscapes are incorporated into section 4.2.1 of the City of Brampton Official Plan

***Recommendation 11***

The following are recommended as amendments to the Residential Hamlet RH zone in Churchville, listed in priority and considered to be maximum limits to building form:

- Maximum building height of 8.75 metres (28.7 feet).
- A floor space index of 0.17 or a ratio of approximately 1:6.

***Recommendation 12***

It is recommended that section 45.1.2 of the Zoning By-law be amended to read:

45.1.2

- (a) No person shall, within any floodplain zone, erect, alter or use any building or structure for any purpose except that of flood or erosion control.

- (b) Notwithstanding the foregoing where such structures are of heritage interest or value, buildings may be altered or adaptively re-used in a manner in keeping with their distinguishing features and with regard for public safety.

***Recommendation 13***

It is recommended that a tree preservation by-law be adopted by Council which applies only to publicly owned property within the designated district and prohibits the felling, uprooting, willful damage or destruction of trees without the consent of City Council on the advice of the district committee.

***Recommendation 14***

It is recommended that a detailed traffic management study of Creditview Road be undertaken in the future to assess the merits of road closure and the impacts on the environment and the local and Regional road network.

***Recommendation 15***

It is recommended that if the tablelands to the east of Churchville Road are developed that the following be undertaken:

- an archaeological assessment of the property with suitable mitigation measures proposed in the light of significant findings;
- suitable landscaping measures be adopted with particular attention to Churchville Road as a major entrance into the village;
- protection of the slopes in the southern portion of the site such that they are not physically or visually breached by any form of development;

- the promotion of a mix of contemporary residential building types, low in profile with simple roof forms, executed in wood or stucco wherever feasible, with any required larger homes being suitably buffered or located in less visually sensitive areas; and,
- regard be given to those specific measures identified in the landscape conservation and enhancement section of this plan as it pertains both generally and specifically to the subject lands.

***Recommendation 16***

It is recommended that a committee be established for the management of this conservation district, to be known as the Churchville Heritage Conservation District Committee, reporting to and advising the Planning and Development Committee of the City of Brampton.

***Recommendation 17***

If there is a continued provincial commitment to the Conservation District Funds program under the Ministry of Culture and Communications' grants program "*Preserving Ontario's Architecture*" it is recommended that the City establish a conservation district fund for the Churchville district with a municipal contribution to be decided upon by City Council in light of prevailing budget commitments.

***Recommendation 18***

It is recommended that a proposed permit application process for public and private property owners is adopted.

***Recommendation 19***

It is recommended that where any application or proposal for one of the following is located within or partially within the designated district the district committee shall be circulated for comments:

- a variance or a consent;
- a plan of subdivision;

- zoning amendment;
- road closure;
- road widening;
- slope or bank stabilization; and,
- all activities of the CVCA.

## **1.0 INTRODUCTION**

### **1.1 Purpose of the District Plan**

This heritage district conservation plan follows on from the first stage of the district study process i.e. the preparation of the Background Report. The background report detailed the heritage attributes of the Churchville area and provided the rationale for designating the settlement as a conservation district under Part V of the Ontario Heritage Act.

The district plan is intended to provide the basis for the careful management and protection of the area's heritage resources including: buildings, landscape features, and archaeological sites. Additionally the plan provides guidance on relevant planning and development matters that may affect the unique character of this valley settlement.

Accordingly the plan should be used and consulted by a variety of people and agencies including:

- property owners;
- City Council;
- municipal staff;
- Local Architectural Conservation Advisory Committee (LACAC);
- the District Committee;
- the Credit Valley Conservation Authority; and,
- those provincial ministries and agencies having jurisdiction or interests in and around the Churchville area.

## **1.2 Format of the District Plan**

The district plan comprises three main parts. Each comprises a number of distinct sections addressing the many diverse aspects of heritage conservation and planning within Churchville.

Certain sections contain specific recommendations for municipal action and require enactment of by-laws or changes to municipal planning policies. Other sections include design guidelines or advice on conserving or maintaining architectural details or historical building fabric.

Specifically, Part I makes the key recommendation concerning the designation of Churchville as a heritage conservation district.

Part II addresses the principles of district conservation and contains a number of goals and objectives respecting buildings, landscape, archaeology, land use and new development. Conservation guidelines are included and guide property owners in caring for and maintaining their heritage buildings.

Other sections in this part describe guidelines for alterations and new construction with the objective of providing a minimum standard of appropriateness for change within Churchville.

Specific guidance is provided on landscape improvements to features in Churchville as well as general advice on landscape design.

Part III contains a number of recommendations respecting planning, development, funding and implementation initiatives primarily for municipal action within the district.

PART I : DISTRICT DESIGNATION

## **2.0 HERITAGE CONSERVATION DISTRICT DESIGNATION**

### **2.1 District character: A summary**

The village of Churchville is located in a particularly scenic portion of the Credit River valley. Dominated by its rural setting and modest vernacular buildings this settlement area has undergone significant changes since it was first inhabited by white settlers almost 160 years ago. The copious supplies of water accounted for a thriving milling centre initially focussed on the lumber industry and later wheat. A variety of typical uses and associated buildings accompanied the growth of Churchville, but several economic downturns and a disastrous fire accounted for the demise of this once prosperous centre.

A number of buildings, however, did survive to the present day. Built predominantly of timber frame they represent a local tradition of vernacular rural structures. Some have been altered over the years with the addition of a variety of new synthetic claddings. Despite these changes these buildings are now becoming scarce within Brampton as urban development rapidly encroaches upon adjacent rural areas.

The rural character of Churchville provides a distinctive context for these buildings. Narrow tree lined roads, scenic views over the surrounding landscape, and the ever present influence of the Credit River and its steep valley sides provide a great diversity in such a relatively small area.

Additionally, a number of archaeological sites are located in and around Churchville attesting to the enduring attractiveness of the Credit valley as a settlement area.



## 2.2 District designation

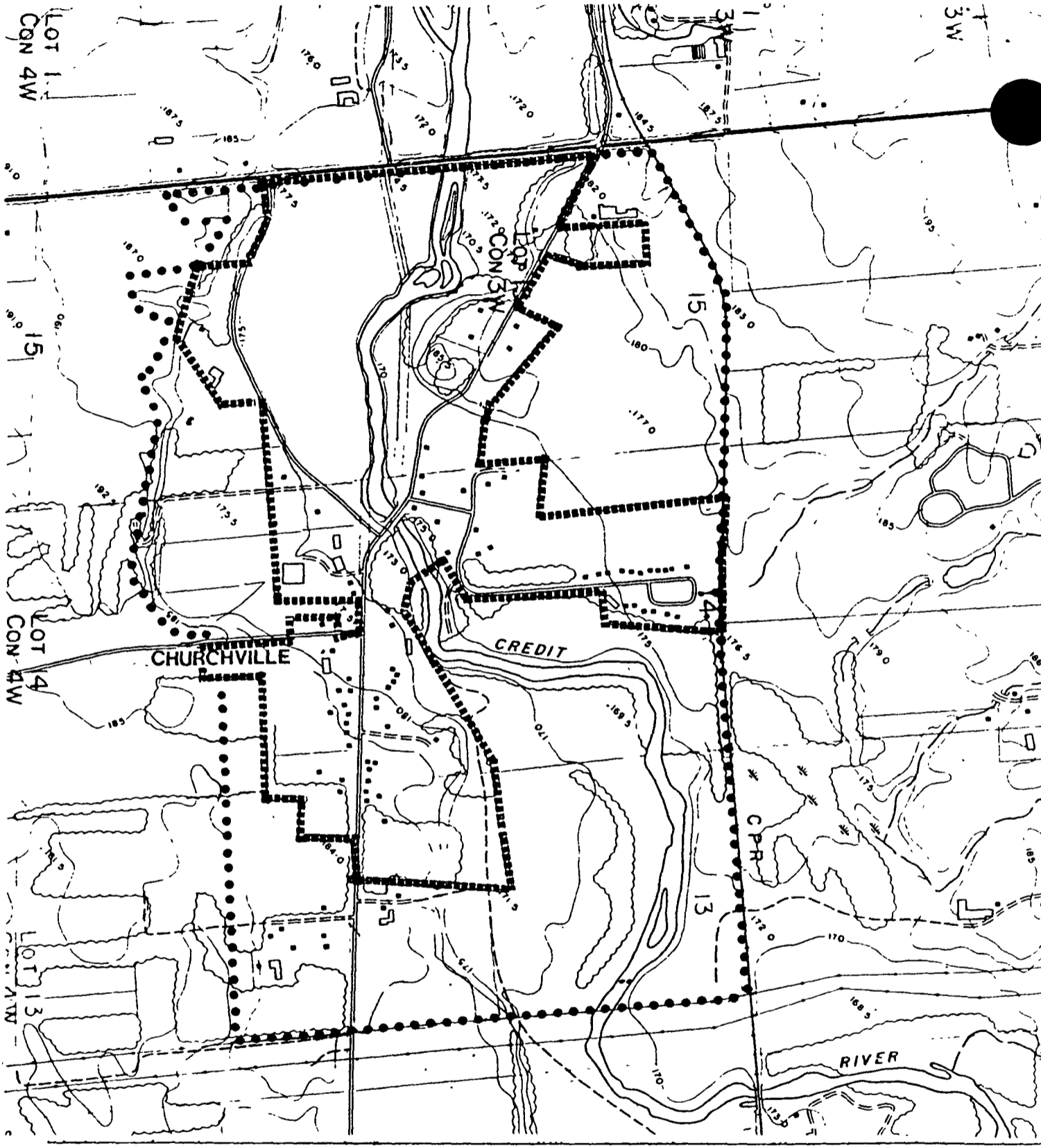
Part V of the Ontario Heritage Act enables a municipality to designate by by-law all or any portion of a municipality as a heritage conservation district provided that there are official plan provisions respecting the establishment of such districts.

Sections 1.7 and 7.12 of the Official Plan of the City of Brampton contain policies that provide for the designation of conservation districts. The Background Report to this plan identified a number of heritage attributes that supported the designation of Churchville and environs, notably:

- historical significance as an important nineteenth century milling centre in Peel Region;
- scenic merit as a particularly attractive rural landscape setting in the Credit River valley;
- architectural interest in the surviving rural, vernacular, frame and masonry buildings scattered throughout Churchville; and,
- archaeological significance derived from a number of pre-historic archaeological sites, evidence of activity by people of the Laurentian Archaic (3000 - 5000 B.C.), Middle Woodland (3000 B.C. - 0 A.D.) and Iroquois (900 - 1500 A.D.) periods.

### *Recommendation 1*

*It is recommended that pursuant to subsection 41(1) of the Ontario Heritage Act Council of the City of Brampton designate by by-law that area of the municipality identified generally as Churchville and surrounding lands, more accurately depicted as "Proposed Heritage Conservation District" in the accompanying map.*



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Proposed Heritage  
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Village of Churchville  
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### **2.3 Property de-designation**

Part V of the Ontario Heritage Act does not permit properties designated under Part IV of the Act to be part of a heritage Conservation district. It is important that there is a cohesive focus to the whole district and its heritage buildings and landscapes.

#### *Recommendation 2*

*It is recommended that the designating by-laws under Part IV of the Ontario Heritage Act affecting Churchville cemetery and "Whitehall" be repealed under Section 31 of the Act upon Ontario Municipal Board approval of the district designation by-law.*

## PART II : CONSERVATION, DESIGN AND LANDSCAPING GUIDELINES

### *Recommendation 3*

*In order to guide sound conservation and prudent management of the designated heritage conservation district of Churchville it is recommended that Part II of this heritage conservation district plan be adopted by the Council of the City of Brampton.*

### **3.0 DISTRICT PLANNING, CONSERVATION POLICIES AND GUIDELINES**

#### **3.1 District planning principles**

The background report to this District Plan described and inventoried the variety of distinctive features within the Churchville area. These included not only a variety of heritage buildings in a particularly scenic valley setting but also a number of important archaeological resources scattered throughout Churchville.

The village is also characterized by its rural setting comprising primarily small scale residential buildings and uses served by an irregular configuration of narrow treelined roads. A number of provincial and local planning policies generally support the maintenance, protection and complementary development of this settlement and its surroundings.

This District Plan is intended to provide more specific guidance in the management of change and development within this unique setting of the City of Brampton in a way that respects: the modest but important collection of rural vernacular building stock; the quality of the public spaces particularly the scenic valley setting as well as important streetscapes; and the wishes and views of individual property owners.

Wise conservation and sensitive management of change can only be promoted by a clear statement of goals and objectives for the designated heritage conservation district. While only general in nature, goals and objectives provide a framework for more specific guidance and action as well as direction towards the kind of environmental management anticipated in a conservation district.

#### **3.2 Goal**

- To maintain, protect and enhance the Churchville heritage conservation district.

### **3.3 Objectives: Heritage buildings**

- To encourage the ongoing maintenance and repair of individual heritage buildings by property owners.
- To support the continuing care, conservation and restoration of heritage buildings wherever appropriate by providing guidance on sound conservation practice and encouraging applications to funding sources for eligible work.

### **3.4 Objectives: Landscape**

- To encourage the maintenance and protection of the rural landscape character of Churchville.
- To maintain and preserve natural features such as the Credit River, valley slopes, existing trees, treelines, hedgerows, fields and grass lands within the area.
- To encourage the protection and retention of existing road and streetscapes within Churchville and to avoid or minimize the adverse effects of public undertakings.
- To enhance public spaces with appropriate landscaping.

### **3.5 Objectives: Archaeology**

- To avoid wherever possible the disruption or disturbance of known archaeological sites or areas of archaeological potential.

### **3.6 Objectives: Land use**

- To encourage the maintenance of a continuing stable residential and agricultural environment within the district.
- To support existing uses and adaptive re-uses wherever feasible within the existing building stock.

- To discourage those land uses which would be out of keeping with or have detrimental effects upon the residential or agricultural character of the district.

**3.7 Objectives: New development**

- To encourage new development only where it respects or otherwise complements the prevailing low profile of existing buildings and structures within Churchville.
- To discourage the demolition of existing heritage buildings and their replacement by new development.

## **4.0 CONSERVATION GUIDELINES**

### **4.1 Introduction**

The intention of this district plan and in particular the following conservation guidelines is to attempt to ensure the wise management of physical change and development within the unique heritage environment of Churchville. Change is to be expected. It is important, however, that in the process of change and development valued heritage features are protected or conserved.

The building style found in Churchville is typical of rural Ontario vernacular architecture. Its distinctive feature is characterized by cohesiveness of scale, mass, decorative detailing and building materials. Although many individual buildings and properties have been altered over the decades the overall nineteenth century village character has been retained.

Some of these changes resulted from new uses or the adaptive re-use of property; others simply from evolving tastes and fashions.

In order to ensure that the character of the district and its component buildings and spaces are maintained and enhanced guidelines are provided in this and following sections. It is anticipated that most conservation issues in the district will be addressed through the plan's policies and guidelines. The following principles form the basis for advice to property owners or decision making by the City of Brampton.

### **4.2 District conservation principles**

- Heritage buildings are to be retained and re-used wherever possible and the demolition of heritage buildings will be strongly discouraged.
- The distinguishing characteristics of a heritage property should not be destroyed and the alteration or removal of historical fabric or distinguishing architectural features should be avoided.



- Alterations and changes that have occurred in the past may be of significance in the development of a particular heritage building and its environment and should be protected.
- Stylistic and architectural features or examples of craftsmanship that distinguish a particular building or environment should be treated with sensitivity and where deteriorated should be repaired rather than replaced.
- Replacement of architectural features should match the material being replaced in composition, design, texture, colour and size.
- Historical, physical or pictorial and documentary evidence should guide the repair or replacement of missing architectural features of an individual heritage building. Guesswork or using architectural elements borrowed from other buildings should be avoided.
- Surface cleaning of structures should only be undertaken when accumulated dirt adversely affects the historical fabric of a heritage building and undertaken only by the gentlest means possible. Sandblasting, high pressure water washing, strong chemical cleaning and other methods that damage building materials must be avoided.
- Contemporary design of alterations and additions will be encouraged where they do not destroy significant historical, architectural or cultural features.
- Contemporary design of alterations should be encouraged where they are of a size, location, colour and material that is compatible with the prevailing character of the building, streetscape and district.
- All public works should seek to avoid adverse effects to individual heritage buildings, archaeological sites, walls, fences and distinctive trees and treelines within the district.
- New construction comprising freestanding buildings should respect the prevailing character of adjacent buildings, the streetscape and

district and be compatible in location, height, setback, orientation, materials, colour, roofline, fenestration, scale and proportion.

#### **4.3 Building conservation**

Today's owners of heritage property may be considered as stewards or custodians with responsibilities to transmit to future generations a rich built-heritage. Maintaining buildings in good physical condition and ensuring viable and satisfactory uses are also the cornerstones of conserving older heritage buildings.

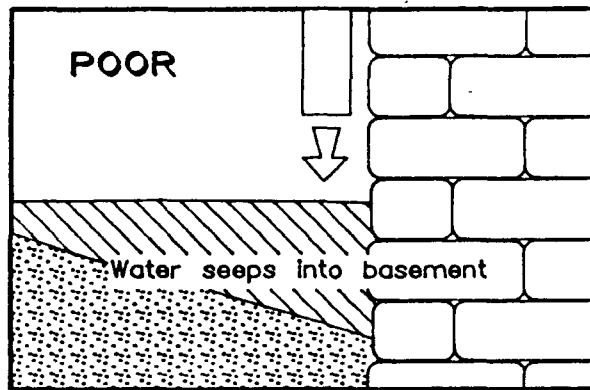
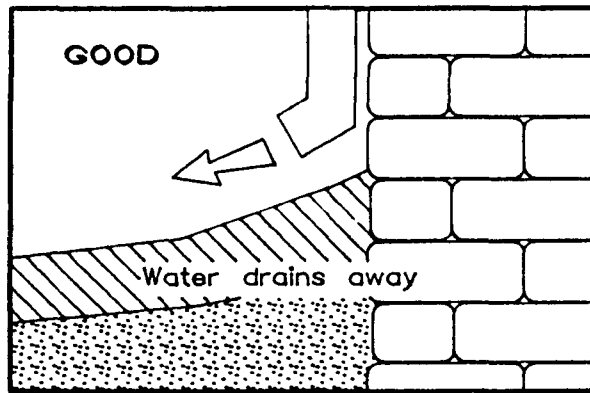
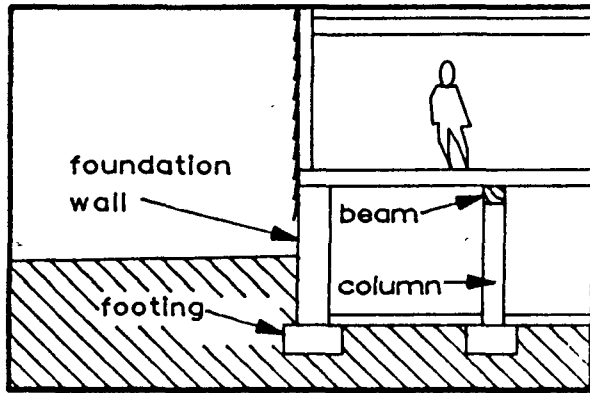
The deterioration of building elements or materials is a natural phenomenon. It can be significantly slowed by sound repair and maintenance or considerably accelerated by inadequate attention to such things as water damage, paint failure and so on. The process of "conservation" comprising remedial measures necessary to prevent decay, must be used to promote the longevity of building materials.

Generally the issues within the Churchville district relate mainly to the continuing maintenance and repair of historic building fabric, appropriate alterations and additions to existing heritage structures and new construction. Repair and maintenance is the minimum conservation action and yet the most effective action required to maintain a building since it often insures against harmful and irreparable damage.

The following provides general guidelines on the maintenance, repair and restoration of existing heritage buildings within the district.

#### **4.4 Foundations**

Building foundations which are sound and watertight are essential to the good health of the district's structures. The early discovery of problems can normally be corrected inexpensively and efficiently. If problems are allowed to persist untreated, irreversible damage such as excessive settlement may occur.



The importance of the regular inspection of basements and foundation walls cannot be overstressed. Using a flashlight look for signs of moisture, cracks, deflection of structural members and settlement. Settlement can take years to occur and normally does take place during the first years of the structure's life. Often older buildings which have settled reach an equilibrium. However, changes in ground water levels, earth movements, new tree plantings too close to a structure, new additions and disconnected downspouts can result in further destabilization of the structure and foundation.

Another problem with basements, crawl spaces and foundations is a lack of proper ventilation which can cause fungal growth. Undetected growth can also cause stress on sill plates which may affect the performance of the basement foundation and walls above.

Repairs to foundation should be undertaken only after consultation with a professional engineer or architect who has a knowledge of heritage buildings systems. Make repairs where possible using traditional building practices and using sound building science principles.

Make sure proper exterior drainage is in place and direct water away from the building. Install drainage tile if necessary to control excessive moisture. When excavating, remember that there may be archaeological remnants associated with the structure or property.

Generally the guidelines for masonry restoration of walling (see section 5.6) should be applied to any exposed external foundation walls whether they are brick, stone or concrete block. Areas exposed to extreme environment conditions at the lower foundation walling may require a slightly stronger masonry mortar to prevent accelerated deterioration.

#### **4.5 Structure**

Structural systems of buildings often vary in size, shape and design. Techniques employed by a variety of builders and designers will also contribute to differences in construction methods and choice of materials.

Inspect and record structural stability problems; note cracking, deflection, fungal or insect attack; stabilize weakened structural members and systems with a method which can be reversed if necessary.

The effects of settlement; problems with leakage or cracks should be monitored for activity before work is considered. Inactive cracks and/or leaning wall can be in a static state and no longer cause for concern.

Remember it is most important to ensure that major repairs ensuring structural soundness of a building are made first before completion of work to the exterior elements like brick, stone, stucco and even wood siding. Structural repairs to masonry or stucco should be completed with non-ferrous metal hardware to prevent rusting and oxide jacking i.e. expansion of metal through rusting will split masonry units.

When restoring, replace specialized joinery work and unusual or rare engineering or technical innovations only when necessary. Specialized work will require a skilled craftsman or a professional engineer with heritage training or experience. Proper plans and specifications may be required to execute the project.

The building owner should consider supplementing the existing structural system when damaged or inadequate. This is a preferable solution.

#### **4.6 Walling**

Generally, the historic buildings of the Churchville area were either sided in wood over a frame structure or timber frame covered with stucco. A handful were constructed with brick. At present a number of the wood clad buildings found in Churchville are covered with synthetic siding.

Walls should be examined for cracks, spalling, stains, leaks, mortar erosion, local distress, leaning or bowing, efflorescence, blisters and loose or falling building fabric. Prioritize the work which must be considered for repair and future maintenance, and then take appropriate action.

### Brick

Repairs to localized areas should match the original as closely as possible in size, colour, texture, surface treatment and strength for reasons of appearance and durability. With brick, it is critical that mortar which bonds the original walling units is examined for texture, colour, type of jointing and composition. A good match of the above noted qualities will contribute to a better completed job. The choice of replacement brick should follow similar criteria in terms of type, unit size, colour, texture and composition. Maintain wherever possible decorative brick elements. The maintenance of brick walling will help preserve the building fabric.

Major restoration should follow guidelines developed in the Annotated Master Specification for the Cleaning and Repair of Historic Masonry, available from the Ontario Ministry of Culture and Communications, Heritage Branch, Toronto.

When replacement brick is to be used, it should be chosen carefully. Salvage brick can be used in areas where exposure to excessive weathering is not likely to occur. Remember strength and durability are properties "old" bricks should be examined for when considering their re-use.

The retention of original heritage finishes or coatings on masonry including paint, whitewash and parging should be maintained when possible. The cleaning of masonry can be considered useful in the prevention of deterioration and the restoration of original appearance. However, it is critical to the success of a cleaning operation that the "patina" be maintained. The patina of age is part of the building's history. This will involve specialized care by a competent contractor. The "good as new" appearance usually means too aggressive an approach to cleaning is being recommended. Make sure that all cleaning operations are carried out during a frost-free period by skilled operators and that test patches are completed in inconspicuous areas before any work is undertaken. Be wary of sandblasting in any circumstances and remember caustic chemicals used improperly can be just as harmful.

Many historic masonry structures contain softer, more elastic mortars with a high lime and low cement content. Modern mortar is generally harder and its use can be harmful for older buildings when employed with soft or friable masonry materials. A general rule with masonry repointing is to make sure the mortar is weaker than the surrounding masonry. It is easier and cheaper to repoint masonry walling rather than replace historic masonry units.

Repointing is required when the mortar is badly deteriorated or when water penetration has occurred and weakened the material. Do not repoint old mortar sections in good condition. Clean out deteriorated mortar with a hand chisel back to sound surfaces rather than using power chisels. The composition of the new mortar should match the qualities of the old in strength, colour and texture.

#### Stucco

Stucco has been a much used exterior cladding in Ontario architecture. It is a type of external plastering or rendering of lime or lime and cement mortar which is placed on lath. It produces a uniform finish which is rain resistant and which adds architectural effect to the building surface with its texture, detailing and colour. Traditionally stucco was seldom painted but took its colour from the aggregate and any permanent pigment mixed in the finish coat.

Common failures of stucco include bulging, cracking, deterioration at the ground line and at the roofline. Moisture penetration and structural settlement are prime causes in stucco failure. Stucco can be repaired in several ways:

- Ensure that textured or decorated stucco surfaces are accurately recorded before repairs begin. Note the thickness of the stucco relative to the wood trim and maintain this dimension in order not to hide or destroy the function of detailing i.e. sill drips.
- New stucco should never be applied over an existing surface since this can hide damaged surfaces and destroy architectural detailing.



STUCCO IS A TRADITIONAL EXTERIOR CLADDING AND USUALLY  
COMPRISES A RENDERING OF LIME OR LIME AND CEMENT MORTAR  
PLACED ON LATH.



Remove unsound stucco to lath or a sound base and duplicate original formulation in strength, composition and texture.

- Patching and new stucco surfaces should match the historic finish, colour and texture and any special markings found on original stucco surface.
- Do not paint stucco surface if not already painted.
- To date no effective method of cleaning stucco has been developed.

### Synthetic Siding

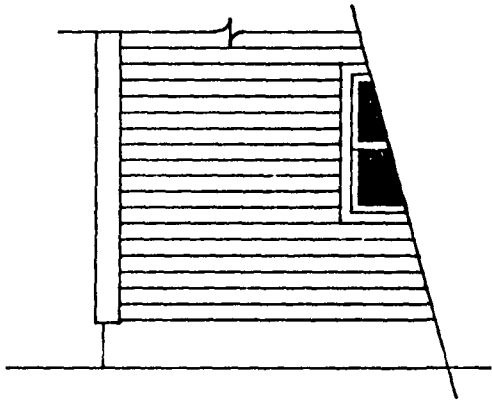
The exterior historic character of a heritage building is largely established by its style and decorative detailing which are in turn influenced by the detail, colour and surface characteristics of the walling material. Wooden siding as well as brick structures are often reclad in modern synthetic siding rather than renewing the original building material. In the case of historic building this can lead to significant changes to the exterior appearance of the building.

Synthetic siding courses the visual texture of the building and destroys the architectural scale of a house by altering size and spacing of the original wooden siding. Its application generally means the removal of decorative and other trim such as cornerboards, and window and door trim. Wooden siding and brick units are often damaged by nailing the synthetic siding directly to the original building fabric or by adding furring strips to the original walling material. The inability of synthetic sidings to bend often leads to vertical placement in problem areas thus spoiling the original lines of a historic building.

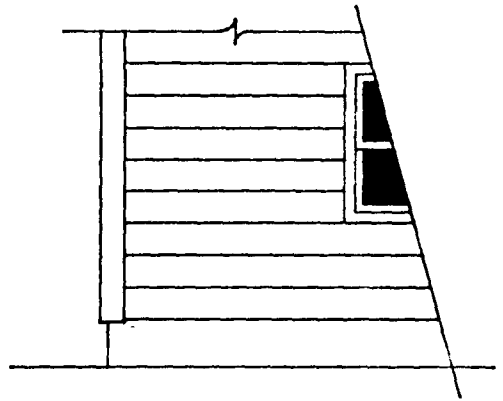
The application of synthetic siding also affects the general maintenance and repair of the historic building by contributing to moisture problems if applied over a building which needs repair and it prevents the inspection of the underlying building fabric. Synthetic siding tends to be prone to denting. It is not maintenance free and its insulation value is not significant.



WOODEN SIDING IS A TRADITIONAL CLADDING AND SHOULD BE CONSERVED WHEREVER POSSIBLE. TRY TO AVOID THE USE OF SYNTHETIC SIDING ON HERITAGE BUILDINGS.

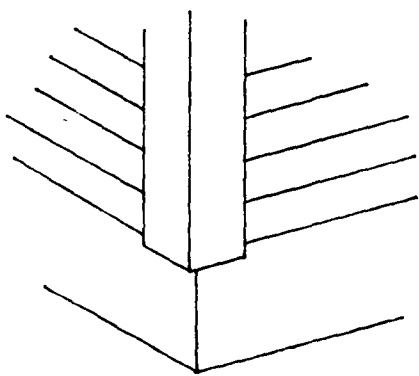


YES

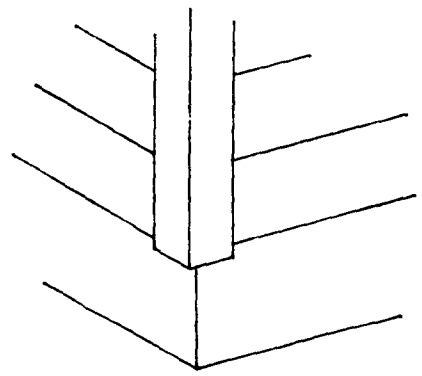


NO

Original siding width and profile should be maintained when re-siding.



YES



NO

#### **4.7 Roof**

Respect the original roof configuration and roofing materials and any architectural details such as dormers, cupolas, vents and cresting.

Assess the condition of the roof yearly. Look for or examine: broken, loose or missing shingles, corroded, broken or loose fasteners; the condition of the valleys, flashing and ridge; level and plumb roof planes.

Repairs should be made before considering entire roof replacement. Even small patch repairs should be carried out in a conscientious manner and match the original material.

Make sure rainwater gutters are regularly cleaned to prevent backup and ice dams.

The choice of roofing material replacement should be carried out after a proper cost analysis taking into account grant monies. Selection of a modern or alternative roofing material should respect the colour, dimensions and texture as well as visual impact of the original roof and the effect on the streetscape.

If planning to restore a roof to its original condition, investigate the roof area and/or examine historic photographs and other documentary sources to identify the original roofing material. The predominant historic roofing material used within the Churchville district appears to have been wood shingles. Make sure colour, textures and dimensional qualities respect the original material. Hire an experienced contractor familiar with proper installation techniques. Property owners can assist by directing the contractor to certain information sources if there are any questions regarding details for flashing, ridges and junctions.

#### **4.8 Exterior Woodwork**

Wood is the most common building material and has always been relatively inexpensive and readily available in Ontario from the beginning of European settlement. Many communities such as Churchville grew up around small sawmills which provided ample building material for local consumption.

As a result the majority of the early local buildings were constructed in frame with wooden cladding. Most exterior woodwork is softwood with pine being the most common and widely used.

The construction method for frame structures varies greatly as building techniques developed with advancements in technology. The earliest structures were generally log and then heavy timber construction. This was followed by wooden platform framing and balloon framing which relied on machine sawn lumber.

The proper method of conservation for heritage frame structures begins with the assessment of the type of construction employed in the building. This will allow for the development of proper strategies for maintenance, repair and restoration.

Signs of rot, insect infestation, fungi, mechanical damage and structural fatigue are common problems. Understanding the nature of decay will allow for a better choice of repair and maintenance options. Look for blistering paint or a total absence of a surface covering as a signal of a potential problem.

In undertaking repairs use the gentlest means to strip or clean wood or finishes, being mindful not to remove or harm sound wood. Small cosmetic repairs can often be accomplished with compatible wood fillers which are then painted. More serious problems may require wood insertions or splices. When total decay has occurred, new wood should be used to duplicate the original structural or decorative element. Make sure a competent carpenter is hired to undertake the work. Maintenance of wooden elements will require regular inspections to ensure there is no damage from excessive moisture - wood's number one enemy.

When considering restoration work it is important to use a skilled craftsperson who has knowledge of practice, tools and wood. All structural and decorative elements should be examined for failure. Assessment of the type of repair should be considered in conjunction with historical documentation. Reconstruction of building elements should be based on

historic photographs. Working or shop drawings should be prepared from these before replication of the element is commissioned.

With repairs to smaller areas by patching, it is recommended that a filler which contains maximum strength and durability be selected. Any splicing should be completed in the same type of wood. Make sure the cut section is similar so the graining matches.

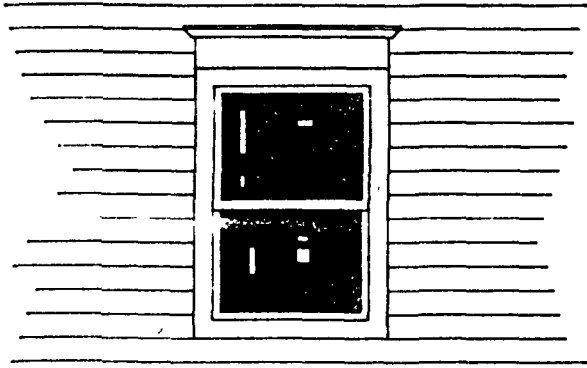
Wooden detail and ornamentation are found on even the most modest historic buildings since the nineteenth and twentieth centuries maintained a considerable craft tradition in woodworking despite mass produced millwork. All decorative work will require moulding profiles to be taken to ensure that elements such as cornices, gingerbread, balusters, brackets, finials etc., are properly duplicated for restoration. The restored elements should be protected by a non-toxic water repellent to prevent future decay. Regular painting is one of the best methods to ensure the protection of exterior woodwork. Do not rely on caulking to prevent water absorption. Properly detailed elements should be self-draining, if possible.

Wooden cladding is more typically used horizontally such as clapboard, drop, bevel or shiplap siding. Vertical board and batten siding was used with some regularity in rural houses and farm buildings. Wood siding should be repaired wherever possible. New replacement wooden siding should match the original in form, style, dimension, profile and method of installation.

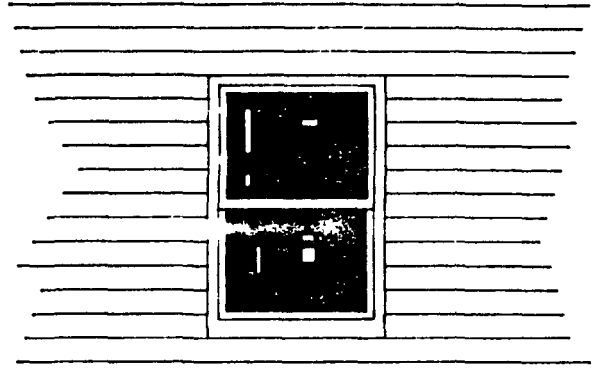
#### **4.9 Windows and doors**

These important building features historically are an integral part of the architecture of the district's heritage buildings. They also reflect changes in the original design and often exhibit fine quality craftsmanship.

The inspection and assessment of these features for structural soundness is of critical importance. Retention and repair of original window frames, sash, glass and door panelling is recommended. Badly decayed areas in an otherwise sound window or door should be repaired using compatible filler materials or appropriate joinery detailing. Retain existing glazing where possible and save door and window hardware during repairs. Never

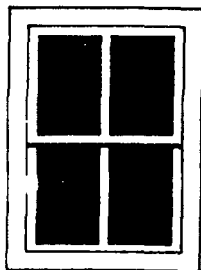
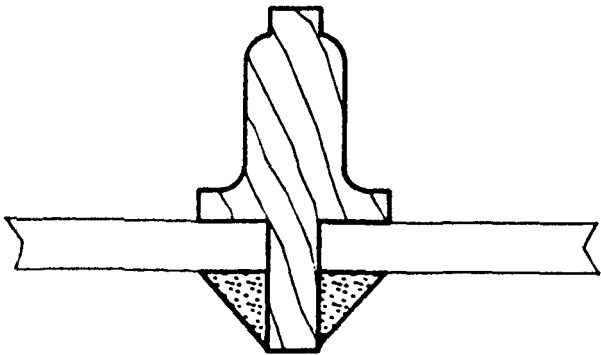


YES

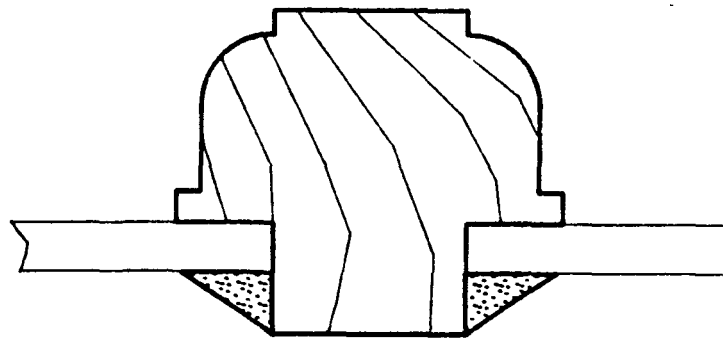


NO

Do not remove window trim  
when re-siding or  
installing new windows.



YES



When replacing original  
windows match the muntin  
profile where possible.



NO

enlarge window or door openings or make them smaller since this has a deleterious effect on the heritage character of the building. The one exception occurs when an original door or window opening is being restored.

Replacement wooden windows or doors should be completed in kind. Aluminum, coated metal or vinyl units are not recommended. A replacement window or door should match the original in style, shape and placement. Available historic photographs or other archival records will be required to meet the above criteria.

When restoring a building to its original appearance new replacement sash should maintain the muntin profile and dimensions of the original window. This may require new shaping blades or knives to be cut to reproduce the moulding profile. Try to make double hung windows work properly. Don't forget, storm windows and doors are also heritage features. When new glazing is required it should resemble some of the qualities of older, single pane glass where possible.

Entrances which include transoms and sidelights often exhibit a high degree of craftsmanship. The retention of this skilled work is desirable and worthy of restoration through proper conservation techniques. The employment of experienced master carpenters may be necessary to complete this level of workmanship.

Prepare for the restoration of these elements by using moulding profiles and photographs to develop shop drawings.

#### **4.10 Paint**

Painting is probably the common maintenance work encountered by property owners. The removal of painted exterior surfaces on an eight to fifteen year period is a generally accepted contingent upon environmental conditions.

Paint removal should be considered only after a thorough inspection of the surface. Look for signs of mechanical wear, cracking, scaling, peeling, blistering, loss of gloss, soiling chalking or mildew. With these conditions



in mind prepare the surfaces properly. Realize that new paints can bond poorly to old paints if the surfaces are not prepared by sanding, scraping and the use of a good primer coat. Since paint adheres poorly to burnt wood, it is not advisable to use a blow torch for removal. Always take precautions when removing lead based paints. Lead fumes are toxic.

Choose a colour scheme which is sympathetic to the structure and its design elements as well as the neighbourhood. Original paint colours may be exposed when removing old paint from historic buildings making it possible to match these earlier colours.

Original paint colours can be determined by paint analysis when carried out by a professional. If no traces of the original paint exist, representative colours for the period can be determined from contemporary trade magazines and catalogues.

Make matches with dry samples. Remember not to confuse a prime coat with finish colours. Also, older paints have a tendency to yellow and/or darken from the original colours.

#### **4.11 Energy conservation in heritage buildings**

The problem with most approaches to the issue energy conservation in buildings by various government agencies and private industry sources is that they have been developed with new buildings in mind.

Older heritage structures can often be adversely affected by some of the measures or products used in the search for a better, more energy efficient structure. A very helpful book published by the Ministry of Culture and Communications titled, Heritage Energy Conservation Guidelines shows how to be respectful to the older building's architectural merits while upgrading the energy efficiency and comfort of the structure.

The book focuses on two major themes:

- 1) make use of the energy features built into our older homes, i.e. use heavy drapes or close shutters in winter and open windows and vents in summer on the side opposite the sun; and,

- 2) control heat loss through caulking, sealing and the proper maintenance of the heating plant, rather than with cheap metal double glazed windows and blown in wall insulation.

Technical methods for raising the comfort level of our homes or other buildings are outlined in the book. Insulating only when major work is being completed to the structure is suggested. Roof/attic insulation is also recommended where possible.

#### **4.12 Cemetery conservation**

The Churchville cemetery contains a variety of grave markers in various materials and state of repair. No specific work is recommended at this time but should the City contemplate future action the following guidance is offered. (It should be noted that legal requirements of the provincial Cemetery Act must be met before undertaking any major work in a cemetery.)

It is important to carefully record and inventory all grave markers, graves and monuments in a cemetery before carrying out any repair work. Age, inscription, type and condition of the stone, degree of tilt, old repairs and an overall assessment of the artwork should be noted for each marker. A site plan or map, which may be available from the local cemetery authority, should be used to illustrate the relative placement of each marker. Photographs should be taken prior to any repair work.

Conservation efforts should emphasize maintenance, stabilization and the arrest of deterioration. Repairs should only be undertaken in the gentlest manner and with the least intervention possible when dealing with the stones. Basic principles for the conservation of a cemetery include the following:

- retaining and conserving markers in their original position if at all possible;



ARCHITECTURAL DETAILING SUCH AS THE SPINDLE WORK, BRACKETS, COLUMNS AND BALUSTRADING, AS WELL AS THE SHUTTERS, PROVIDE A RICH TEXTURE TO CERTAIN BUILDINGS WITHIN CHURCHVILLE. EVERY EFFORT SHOULD BE MADE TO RETAIN AND PROTECT THESE ELEMENTS .

- only consider removal of markers to a protective shelter or a commemorative wall if there is no other means of protecting them from further damage;
- previous repairs should be left alone if they are not causing a problem;
- landscaping and drainage problems should be corrected to protect monuments from moisture and vegetation;
- the use of power lawn mowers in cemeteries is a major cause of damage to the stones. Hand clippers should be used around markers or protective barriers erected around the markers to prevent chipping and damage to the stones;
- stones which do not tilt more than 10 degrees should not be straightened;
- righting stones tilting between 10 and 20 degrees should be accomplished by using plastic coated or wooden tools, excavating the base of the stone, tilting upright by hand and backfilling the hole with a soil/sand mixture. Do not set stones in concrete since concrete is subject to frost heave and contributes to the migration of damaging salts to the historic marker;
- seek professional advice from a trained stone conservator for any major repair work such as resetting a marker in a stone base, repairs to obelisk style markers, replacing missing portions of the stone, repairs to snapped markers and the consolidation of the stone;
- missing portions of stones should be replaced with matching stone. Never use concrete or strong cement mortar.
- do not set markers in concrete cairns as this will hasten their deterioration;
- cleaning of stone markers is not generally recommended since it often does more harm than leaving the soil or organic growth in

place. However, light soiling may be removed by gentle washing with clean water and non-ferrous tools and brushes. Paint and graffiti can be removed by poulticing in conjunction with the professional advice of a trained stone conservator; and,

- treatment of stones in the form of protective coatings designed to prevent weathering or the loss of inscriptions is not recommended since it may accelerate deterioration.

#### **4.13 Bridge conservation**

The steel pony truss span over the Credit River is a heritage structure that has survived from the early 1900s in the face of considerable hazards, particularly flooding, ice build-up and spring thaw. It is a well established landmark as well as an important entrance to the village core.

The structure may be eligible for listing in the Ontario Heritage Bridge Program (Managed jointly by the Ministry of Culture and Communications and the Ministry of Transportation) considering its potential attributes as an early example of a rivetted pony truss and which is now rare as a survivor.

Listing of a bridge in this program may enable the municipality to take advantage of grants from the Ontario Heritage Foundation, the Ministry of Culture and Communications and the Ministry of Transportation.

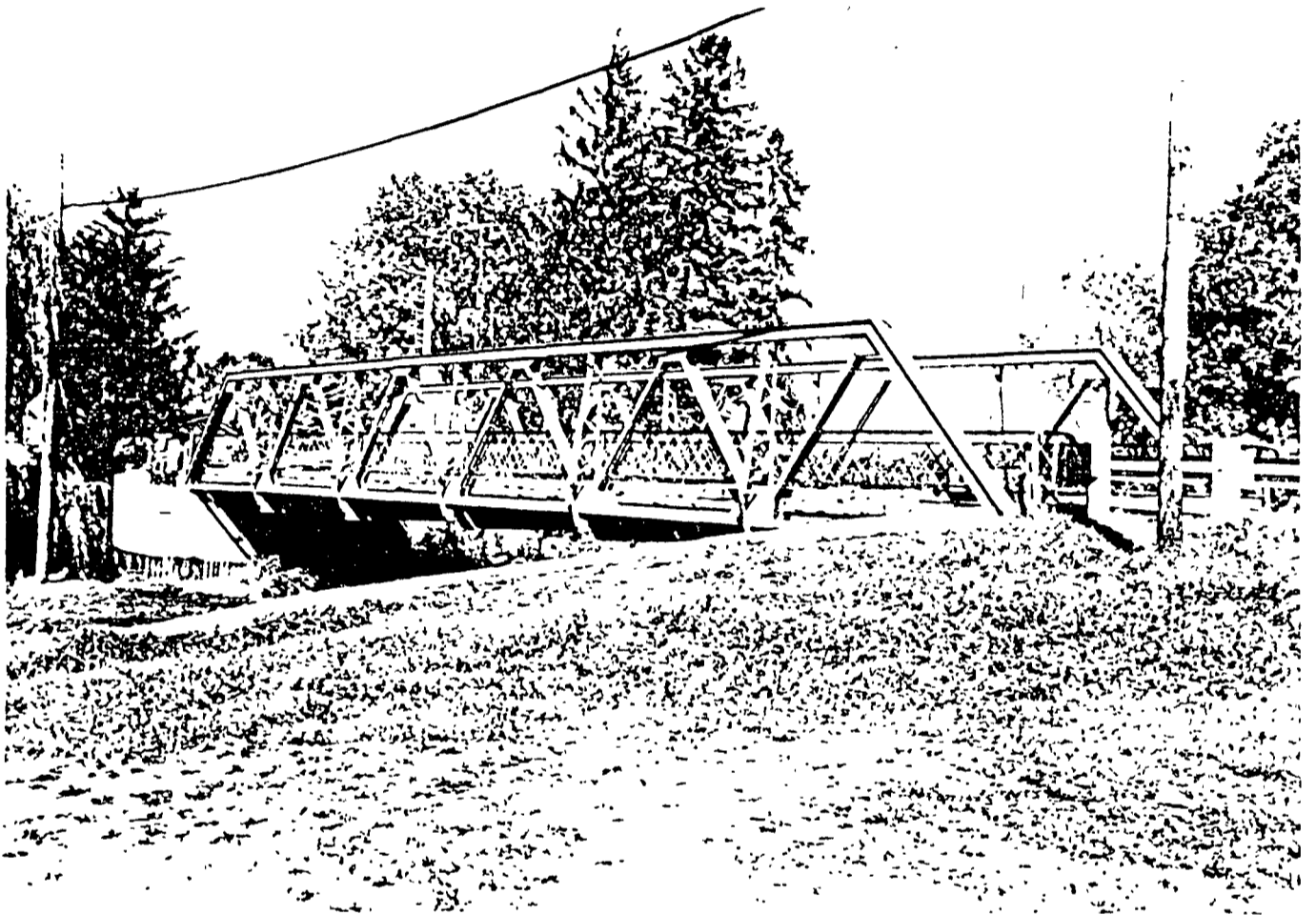
Accordingly every attempt should be made to ensure the continued presence of this bridge at this location and a request made for its formal evaluation as part of this provincial program.

If this bridge is subject to repair or replacement a number of options should be considered by the City as the bridge authority. These are listed below, in priority, with the first two options being the most preferable:

- retention of the bridge with no major modifications being undertaken;
- retention of the span but with sympathetic modifications;



THE CHURCHVILLE CEMETERY IS CHARACTERIZED BY AN ARRAY OF MARKERS, STONES AND MONUMENTS EXECUTED IN A VARIETY OF MATERIALS AND COLOURS.



THE STEEL PONY TRUSS BRIDGE IS A MODEST BUT IMPORTANT INDUSTRIAL HERITAGE FEATURE AND IS WORTHY OF CONTINUED PROTECTION AND MAINTENANCE.

- retention of existing bridge with sympathetically designed new structure in proximity;
- retention of existing bridge, no longer in use for vehicular purposes but adapted for new uses such as pedestrian walkways, cycle paths or scenic viewing platforms;
- relocation of bridge to appropriate new site for continued or adaptive re-use; and,
- retention of bridge as a heritage monument, not in use, for viewing purposes only.

#### **4.14 Archaeological Sites**

The district contains a number of known pre-historic archaeological sites and the potential for discovery of other sites of both pre-historic and historic activities. These heritage resources are fragile and non-renewable. Their location, protection and conservation require that only trained and licenced archaeologists may survey and carry out appropriate testing or excavation of such sites.

Due to the nature of these features it is always advisable to seek professional advice or assistance from a licenced archaeologist prior to major soil disturbance, especially on previously undisturbed lands. Local contact may be made through the Peel Region museum or the Heritage Branch of the Ontario Ministry of Culture and Communications.





THE CREDIT RIVER VALLEY AND ENVIRONS CONTAIN A NUMBER OF KNOWN PREHISTORIC ARCHAEOLOGICAL SITES, THEREFORE, MAJOR SOIL DISTURBANCE SHOULD BE PRECEDED WHEREVER POSSIBLE BY APPROPRIATE ARCHAEOLOGICAL SURVEY WORK .



THE SIMPLE THREE-BAY SYMMETRICAL ARRANGEMENT OF THE FORMER MAY HOTEL (OR LETTY HOUSE ) IS A CHARACTERISTIC FEATURE OF MANY BUILDINGS IN CHURCHVILLE .

## **5.0 GUIDELINES FOR ALTERATIONS, ADDITIONS AND NEW CONSTRUCTION**

### **5.1 Introduction**

Since the settlement of the village in the early 1800s a variety of buildings have been constructed reflecting prevailing building techniques and construction materials. Few, if any, of these earlier buildings have survived as they were originally constructed. Repairs, changing domestic needs and new services all make their mark upon the fabric and form of buildings. Some have resulted in the alteration of windows and doors, the recladding of frame structures or the construction of new additions.

Physical change within the village of Churchville, as in most communities, has occurred in three ways as:

- alterations and additions to existing buildings;
- infilling between existing buildings; and,
- a variety of public works such as road building.

These changes in the past development of Churchville have not been consciously guided by a set of design guidelines. Yet there is a prevailing character to the building form of heritage structures that up until quite recently has been respected in more recent buildings. Generally this character is:

- one to one-and-a-half stories;
- three bays in width;
- side gable;
- low pitched roof; and,
- variable setbacks.



THIS SECOND FLOOR ADDITION APPEARS TO WORK WELL WITH ITS LOW PITCHED ROOF AND VERTICAL, RECTANGULAR WINDOWS .

An important objective in the following guidelines is to encourage change that is in keeping with and respects existing building form. The guidelines should be read:

- i) in conjunction with the advice on building conservation in section 4;
- ii) as a prerequisite for the consideration of applications under Part V, Section 42 of the Ontario Heritage Act.

The guidelines for alterations and additions in section 5.2 are intended for owners of more recently constructed buildings that usually would not be considered as heritage buildings. The key principle here is to ensure that change is neighbourly and takes into consideration effects on adjacent properties and the streetscape.

In section 5.3 and 5.4 the intent is to provide more specific guidance on changes to heritage buildings with a view to retaining the distinguishing features and fabric.

Sections 5.5 and 5.6 address the integration of new construction and public works into the district.

A final cautionary note is advised in the purpose, use and application of these design guidelines. The guidelines provide a general framework for considering the minimum standard of appropriateness for change within the district. They must be considered an aid to consistent decision making rather than a specific formula for designing a new building, addition or architectural feature.

## **5.2 Alterations and additions to existing buildings**

Not all buildings within Churchville may be considered to be of heritage significance. These are buildings that have not been surveyed in the Background Report and are predominantly post-1940 structures e.g. Martin's Boulevard. Nevertheless it is important to recognize that altering and adding to these buildings throughout the village may affect nearby heritage structures or their setting.



THE COMPLEX ARRANGEMENT OF NEW BUILDING FORM AND ARCHITECTURAL FEATURES HAVE TENDED TO UPSET THE SIMPLER PLAN OF THE FORMER DWELLING.

Accordingly, the following should be considered in the design and placement of alterations and additions to existing buildings:

- 1) Avoid alterations to walls, windows and doors that attempt to recall historical design motifs and materials such as board and batten, "snap-in" muntins, decorative surrounds and shutters.
- 2) Wherever possible locate new roof vents, solar panels, skylights, dormers and satellite dishes away from public view in inconspicuous locations.
- 3) Attempt to design and locate needed parking spaces in unobtrusive areas of a residential property, trying to ensure that front lawns, tree plantings and hedges are retained.
- 4) Where extensive soil disturbance or excavation is anticipated for the construction of new building foundations or swimming pools in previously undisturbed areas contact the Region of Peel Museum or the Ministry of Culture and Communications (Heritage Branch) regarding the likelihood of disturbing sub-surface archaeological remains.
- 5) Where possible try to locate new additions in a way that will not result in the widening of the existing front facade, i.e. at the rear or stepped back from the facade towards the rear of the building.
- 6) Upper storey additions should attempt to maintain the height of existing roof lines and predominant roof profile and configuration of adjacent buildings especially in close proximity to heritage structures.
- 7) Materials should match the existing wherever possible.

### **5.3 Alterations to heritage buildings and sites**

The modernization of residential and commercial structures has long involved the process of renewal. Historically, the renewal was often completed in natural building materials such as wood, stone, stucco or in materials of a low technological basis like iron or brick. The nature of renewal in the form of alterations has a greatly changed face today. More of

the building components used in the present are made of synthetic or "high-tech" materials like vinyl, aluminum, plastic or pre-cast concrete. These mass produced components offer good products generally at competitive prices. However, heritage properties and these building materials are not always considered to be compatible when preservation is the emphasis for the type of project being considered.

Generally, alterations to heritage buildings should ensure that:

- historical building materials and architectural features are protected;
- character defining elevations, especially those which face the street or public space, are not radically changed; and,
- that replacement of building components or features be unobtrusive and fit the extant features both visually and functionally.

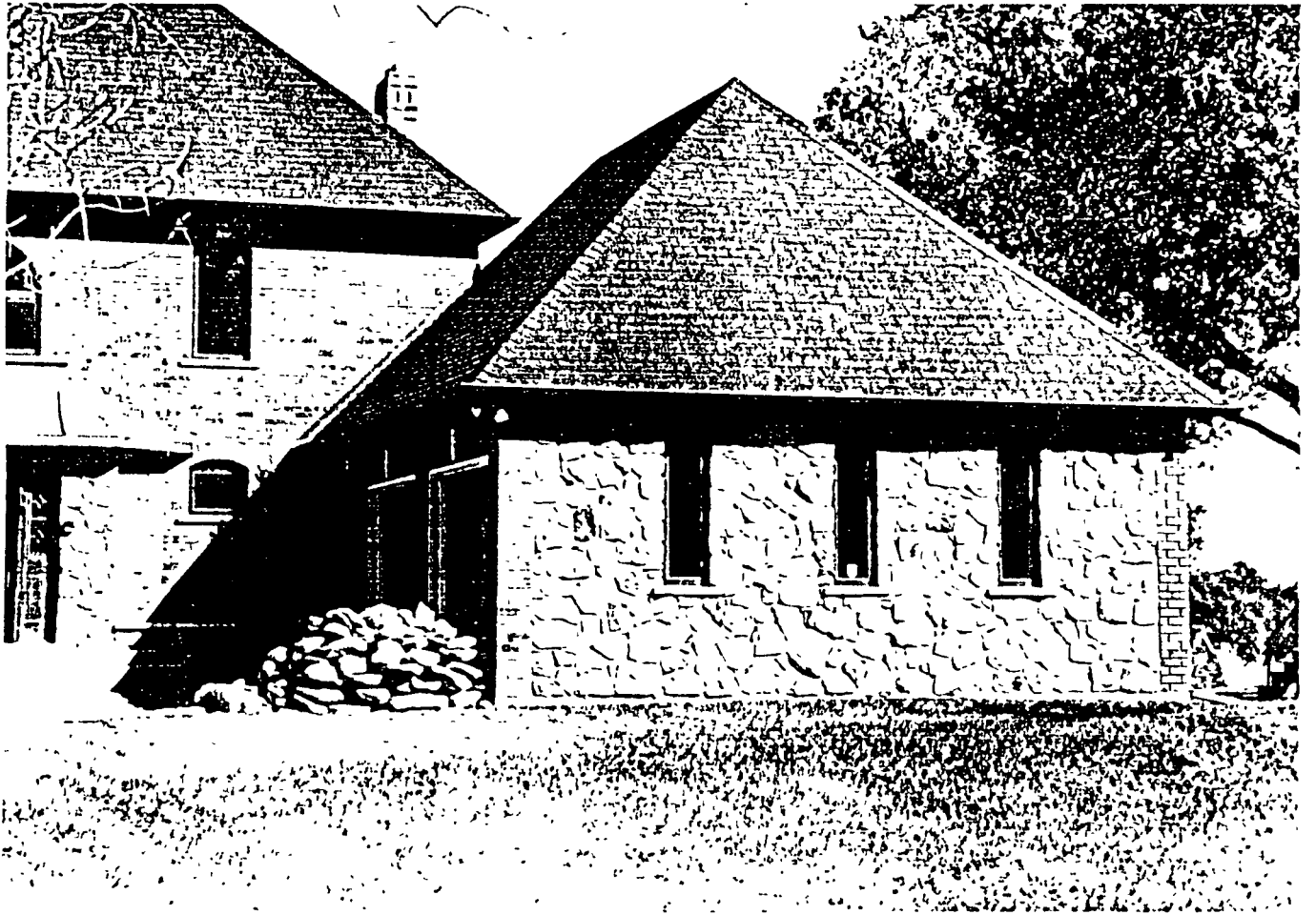
#### **5.3.1 Roofs**

- Roof shape and configuration; decorative features and original roofing material should be retained and conserved.
- Non-functioning chimneys should be capped and repointed rather than demolished.
- New roof vents, solar panels, skylights, satellite dishes and dormers when required are best located inconspicuously, away from public view and in a manner that does not damage important features.

#### **5.3.2 Walling**

- Protect original walling from cleaning methods that may permanently alter or damage the appearance of surfaces e.g. sandblasting, strong liquid chemical solutions, and high pressure water cleaning.
- Avoid the application of new surfaces or new coatings that alter the appearance of original building material, especially where they are substitutes for masonry repairs and repointing e.g. waterproof/water





GARAGES ARE BETTER LOCATED TOWARDS THE REAR OF RESIDENTIAL BUILDINGS .

repellent coatings, paint, aluminum or vinyl siding, board-and-batten and stucco.

### **5.3.3 Windows**

- Protect and maintain original window openings as well as their distinguishing features such as materials, frame, sash, muntins, surrounds, glazing, stained glass and shutters.
- Avoid removing or blocking up windows that are important to the architectural character of the building.
- Changing the glazing pattern of windows by cutting new openings, removing muntins, installing "snap-in" muntins or obscuring window trim with metal or other material should be discouraged.
- New windows should be installed on rear or other inconspicuous elevations wherever possible.
- New window design that is compatible with the overall character of the building is to be encouraged but it should not duplicate the historical fenestration pattern.

### **5.3.4 Entrances**

- Protect and maintain entrances and porches especially on principal facades where they are often key in defining the character of the building.
- Conserve glazing, doors, steps, historic lighting fixtures, balustrades and entablatures and avoid the removal of porches and architectural features.
- The design and construction of a new entrance and/or porch are encouraged to be compatible with the character of the building. Restoration of a missing porch should be based upon historical, pictorial and physical documentation.

- Encourage required new entrances to be installed on secondary elevations rather than the principal facades. Where external staircases are proposed they should be located at the rear of a building or located behind verandahs, sun rooms, and other additions.

#### **5.3.5 Features and spaces around buildings**

- Attempt to preserve and maintain driveways, walkways, fences and walls that contribute to the special character of the space around a heritage building.
- Design and locate new parking spaces so that they are as unobtrusive as possible, ensuring that front lawns and tree plantings are maintained.
- Try to minimize soil disturbance around buildings (either through excavation and lowering grade levels or through piling of soil and raising grades) in order to protect or reduce the possibility of damaging unknown archaeological remains.
- Maintain proper site drainage and ensure water does not damage foundation walls and pool around or drain towards the building.

#### **5.4 Additions to heritage buildings and sites**

Often there comes a point in a building's history when an addition to a structure is considered for a particular need. That need may include:

- the opportunity to update mechanical services of an existing building;
- to expand the living space for a growing family or a specialized activity; and,
- in order to reduce the acquisition costs of a new property, it may be more economical to add or re-build in the present location.

Additions, even more than alterations, can have a profound influence on the aesthetic architectural qualities of an heritage building. Therefore, a key objective in the design of an addition is to ensure that the completed structure adds to or enhances the history of the building and does not devalue it. A balance is sought between the new and old or more specifically, a relationship of harmony. But a good design will only be as good as the trades people who put it in place. Good quality craftsmanship is important to the overall success of the project.

There are two important points to be considered when building an addition to a heritage building:

- 1) try to visualize the impact of the structure from the street or at a pedestrian level; and,
- 2) design new additions from the outside in.

Finally, new additions should be constructed in a way that:

- clearly differentiates them from original historical fabric; and,
- ensures the continued protection of distinguishing architectural features and does not radically change, damage; obscure, destroy or detract from such features.

The following offers other practical guidance in this matter.

#### **5.4.1 Location**

- Exterior additions, including garages, balconies and greenhouses are encouraged to be located at the rear or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring property.
- Multi-storey exterior additions are best set back from the existing front wall plane in order to be as unobtrusive as possible in the streetscape.



THE FIVE BAY ARRANGEMENT OF THE FACADE OF WHITEHALL IS RARE WITHIN CHURCHVILLE BUT ITS LOW PITCHED ROOF IS VERY MUCH IN KEEPING WITH OTHER HERITAGE STRUCTURES .

- Additions to structures with symmetrical facades should avoid creating imbalance and asymmetrical arrangements in building form.

#### **5.4.2 Design**

- New additions are best designed in a manner which distinguishes between old and new; and that avoid duplicating the exact style of the existing heritage building or imitating a particular historical style or period of architecture.
- Contemporary design of additions or those additions that reference or recall design motifs of the existing building are to be encouraged. Successful and compatible additions will be those that are complementary in terms of mass, materials, ratio of solids to voids (wall to windows) and colour.

#### **5.5 Construction of new buildings**

The introduction of new buildings into Churchville must be seen as part of the continuing changes that are experienced within any community. New construction within the district may be anticipated as occurring through the process of infilling in accord with Official Plan policies or through the demolition of a building and subsequent reconstruction on the newly created vacant building site.

Building demolition is not prohibited by the Ontario Heritage Act but it will be actively discouraged within the designated district. New development, if permitted by the Official Plan and Zoning By-law, will be required to be compatible with the character of adjoining properties and the streetscape. Property owners are encouraged to work with existing buildings, altering and adding to them in a sympathetic manner rather than demolishing and building anew.

The following guidelines for new construction are intended for use as a framework for providing minimum standards of appropriateness. They are not intended to be a detailed prescription for each new building. This will enable property owners and/or their architects to design creatively within a

general context for future built form. Contemporary design is encouraged but with a view to utilizing traditional building forms.

### **5.5.1 Building height and floor area**

The district is typified by low profile development with a predominance of one to one-and-a-half storey buildings. It is important that this low profile form of development is encouraged, in particular:

- Building height of new structures, aside from agricultural buildings, should maintain the building height of adjacent properties and the immediate streetscape and should be neither excessively higher nor lower. Any new infill development on the east side of Churchville Road, however, should attempt to be lower in profile than existing recent construction which has resulted in excessive building height.
- Floor areas (excluding basement and garages) for new residential buildings should attempt to be within a range of 111.5 sqr. m. (1200 sqr. ft.) to 229.5 sqr. m. (2500 sqr. ft.). (See Section 7.4.1)

### **5.5.2 Building location**

Within the district are a variety of building types in various configurations and arrangements e.g. the village core, Martin's Boulevard, Creditview Road (south) and Churchville Road. There is no one predominant building line or setback that distinguishes the district. The varied topography, road alignments and landscape units argue for the consideration of each individual development proposal on its own merits but with particular attention being given to the following:

- New residential infill should maintain the existing setbacks of adjacent properties. Appropriate variances to the zoning by-law should be sought where the minimum requirement for front yards does not permit this. Where there are areas of significant variation in setback new residential infill should generally be located towards the front of the lot.

- New buildings should generally be located with the front facade parallel to the roadway except where a building line has been established to the contrary e.g. the west side of Churchville Road.
- Residential buildings are to be encouraged that are located with the bulk of the building being accommodated within the width of the lot rather than in depth, in keeping with a side gable structure. (See section 5.5.3, Roof). Where, however, floor space requirements are such that this cannot be achieved comfortably rear additions in the form of a traditional tail or rear "T" section should also be encouraged.
- Ancillary buildings should be located towards the rear of the lot. Garages in particular should not form part of the front facade of a new building and are best located towards the rear of the building.

### 5.5.3 Roofs

The predominant roof form in the district is the side gable. In earlier buildings the roof is at a low or shallow pitch and in later building forms, such as those from the 1930s or 1940s, the roof is at a medium pitch. Hipped roofs of medium pitch are also found especially in those larger residences of the 1890s to the early 1900s as the four square. The Ranch style of the 1950s and 1960s also utilized a low pitch hipped roof.

Every effort should be made to respect the predominant roof type within the district: the side gable. Regard should be given to the following particular guidelines:

- Use of the side gabled roof at a low or medium pitch should be encouraged in all new development;
- Cross-gabled, flat or mono-pitched roofs should generally be avoided on all new building;
- Steeply pitched roofs of all types should be discouraged;





THE UNDEVELOPED ROAD ALLOWANCE IN THE VILLAGE CORE SHOULD BE MAINTAINED IN ITS PRESENT STATE .

- Asphalt and cedar shingles are appropriate roofing materials for use within the district but concrete or clay tile should be discouraged;
- Roof vents, solar panels, satellite dishes, skylights and dormers are best located at the rear of new building.

#### **5.5.4 Windows and entrances**

Traditionally within the district most buildings featured simple vertical, rectangular windows usually ranked one on either side of the centrally placed door, accounting for a configuration of three bays. An exception was "Whitehall" featuring five bays. Accordingly every attempt should be made to reflect traditional proportions and symmetrical facades. In particular:

- Window designs are to be encouraged that generally reflect vertical and rectangular dimensions and avoid the use of decorative muntins i.e. plastic snap-ins;
- On facades that face the street windows and doors should maintain existing proportions found prevailing in the district and should not be excessive in relationship to the facade. Large, full-length, multi-storey or picture windows and entrances are best avoided;
- If decorative shutters are used on building facades they should appear to correctly cover their respective windows in width and length;
- Other decorative or architectural elements such as bull's-eye windows, neo-classical porticos, imitation stone sills, lintels and keystones should be avoided as they are not a traditional feature of Churchville's buildings.

#### **5.5.5 Walling**

Traditional frame buildings offer a variety in the type and appearance of material used in cladding e.g. stucco, clapboard, board and batten, and brick. The replacement of these materials with synthetic sidings in recent

years has created special problems not only in conservation (See section 4), but also has ramifications for contemporary building. It is often the case that vinyl and aluminum siding severely compromise the distinctive attributes of a conservation district.

The following should be considered:

- Walling materials in new residential building should reflect traditional materials and their respective colours and texture within the district namely stucco (light colours), clapboard and brick (red) in order of priority. Use of board and batten, concrete or other masonry blocks, and plain or textured sheathing should be avoided in new construction.
- Use of decorative detailing such as quoins or brick patterning should be discouraged as they are generally not found within the district.

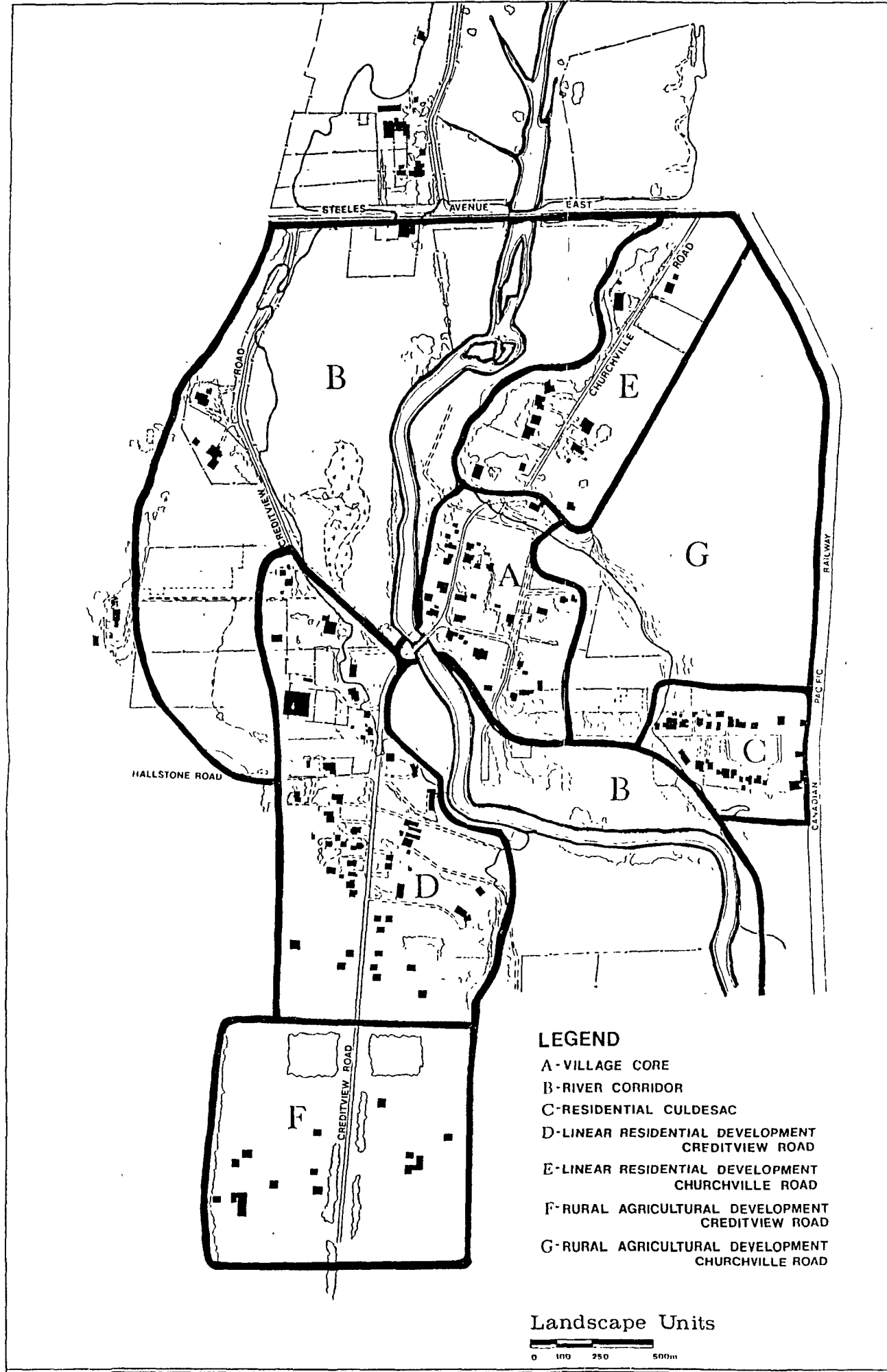
#### **5.5.6 Outbuildings**

Outbuildings whether developed as part of an existing complex of structures or as part of new construction and development should attempt to be lower in profile than the principal structure; located to the rear of or at the side towards the rear; and generally be of like material or colour to that of the principal structure.

#### **5.6 Public Works**

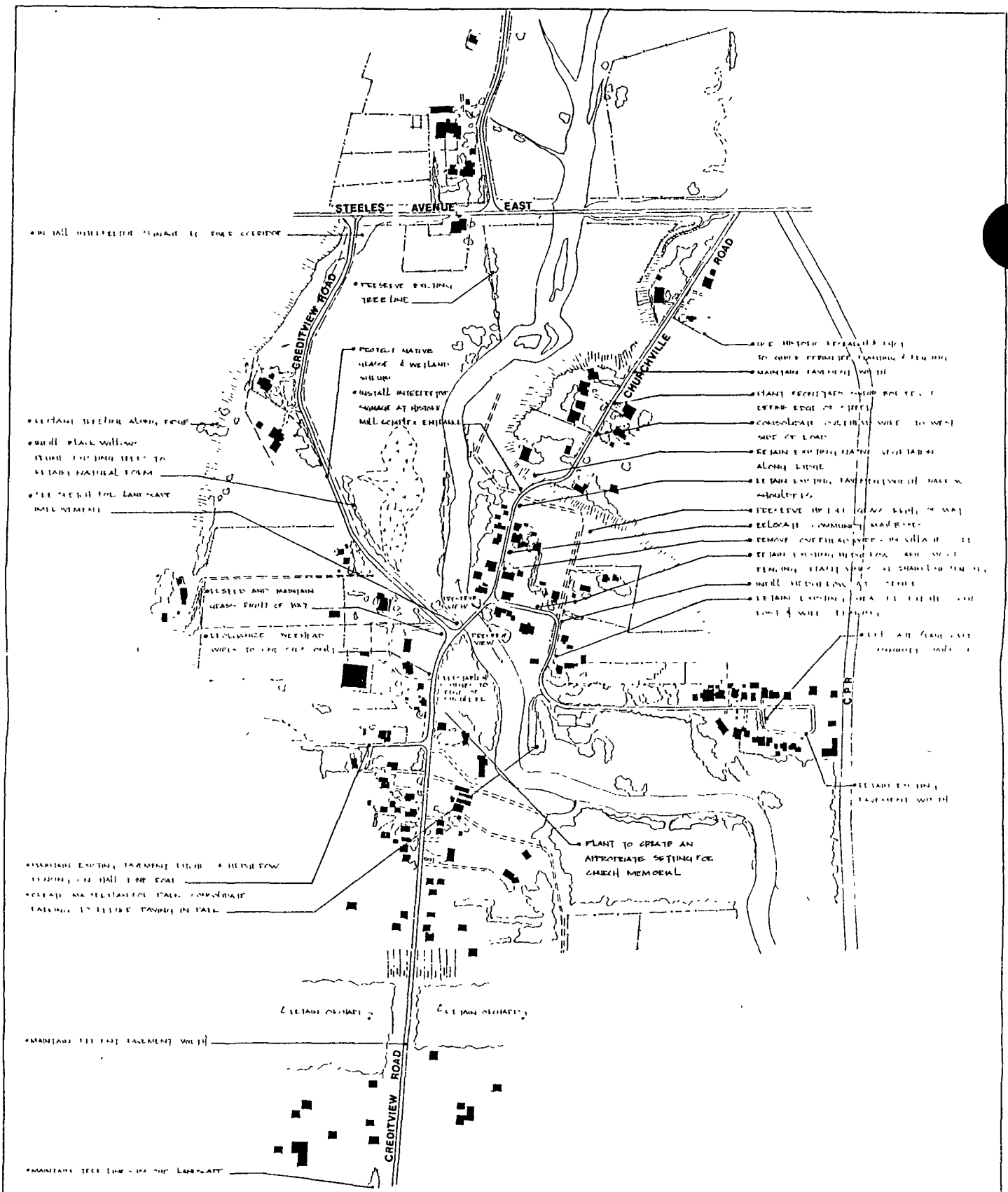
Public works within the district e.g. road widening, new road construction, flood works, and so on; undertaken by a variety of authorities e.g. the City, Region, Conservation Authority, Ontario Hydro, and the Ministry of Transportation have the potential to cause considerable disruption to the rich variety of heritage resources both above and below ground.

Accordingly, every effort should be made in both day-to-day operations and longer term planning especially in those activities subject to the Environment Assessment Act to minimize adverse effects to the heritage conservation district and its constituent parts.



Village of Churchville  
 Heritage Conservation District Study

David Cuming and Associates  
 Unterman McPhail Heritage Resource Consultants  
 Wendy Shearer Landscape Architect Limited



Landscape Improvements



Village of Churchillville  
Heritage Conservation District Study

David Cuming and Associates  
Unterman McPhail Heritage Resource Consultants  
Wendy Shearer Landscape Architect Limited

## **6.0 LANDSCAPE CONSERVATION AND ENHANCEMENT**

### **6.1 Introduction**

The diversity of the landscape of the district has been described in detail in the Background Report. The protection and preservation of this diversity is the responsibility of the municipality and other "public" agencies such as the Credit Valley Conservation Authority (C.V.C.A.) and Brampton Hydro as well as the individual property owner. The contrasts in the area between the open fields and the dense river woods, the orderly orchards and the wild vegetation in the flood plain, the small front lawn and foundation plantings and the tree-canopied community park - all contribute to a remarkable rural scenic quality. Individual trees and landscape features are important contributors to this character.

Any continuing improvements which are undertaken by the municipality that are intended to create uniform standards of services and facilities, such as streetlighting and road width, should be assessed to ensure that the special character of Churchville compared to other areas of Brampton is not lost.

Similarly, improvements by the C.V.C.A. for floodworks and erosion control should respect the scenic and historic features of the district.

The individual property owner has an important role to play in maintaining the rural character of the area. Property line fencing and hedgerows, and specimen tree planting are all visible to the public and create an impression of a picturesque setting. Any loss of tree lines or woods detracts from this impression.

### **6.2 General landscape enhancement: vegetation, streets and open space**

Unlike the built environment, the landscape undergoes constant change. This occurs seasonally as well as over several years as trees mature and die. This constant change means that recommendations for landscape preservation must take into account the natural evolution of the landscape. For example, preservation of a tree line may involve several techniques.



SCENIC VIEWS ACROSS THE RURAL LANDSCAPE SHOULD BE PRESERVED  
WHEREVER POSSIBLE .

Watering, fertilizing and removal of dead and diseased branches from individual trees to insure healthy growing conditions may be undertaken. Infilling by planting of individual trees in the line may be possible if growing conditions remain unchanged. Another alternative may involve planting a second line of identical species parallel to and close to the original line. Whenever other new planting is undertaken, a variety of species should be used in order to ensure the continuing diversity in the landscape.

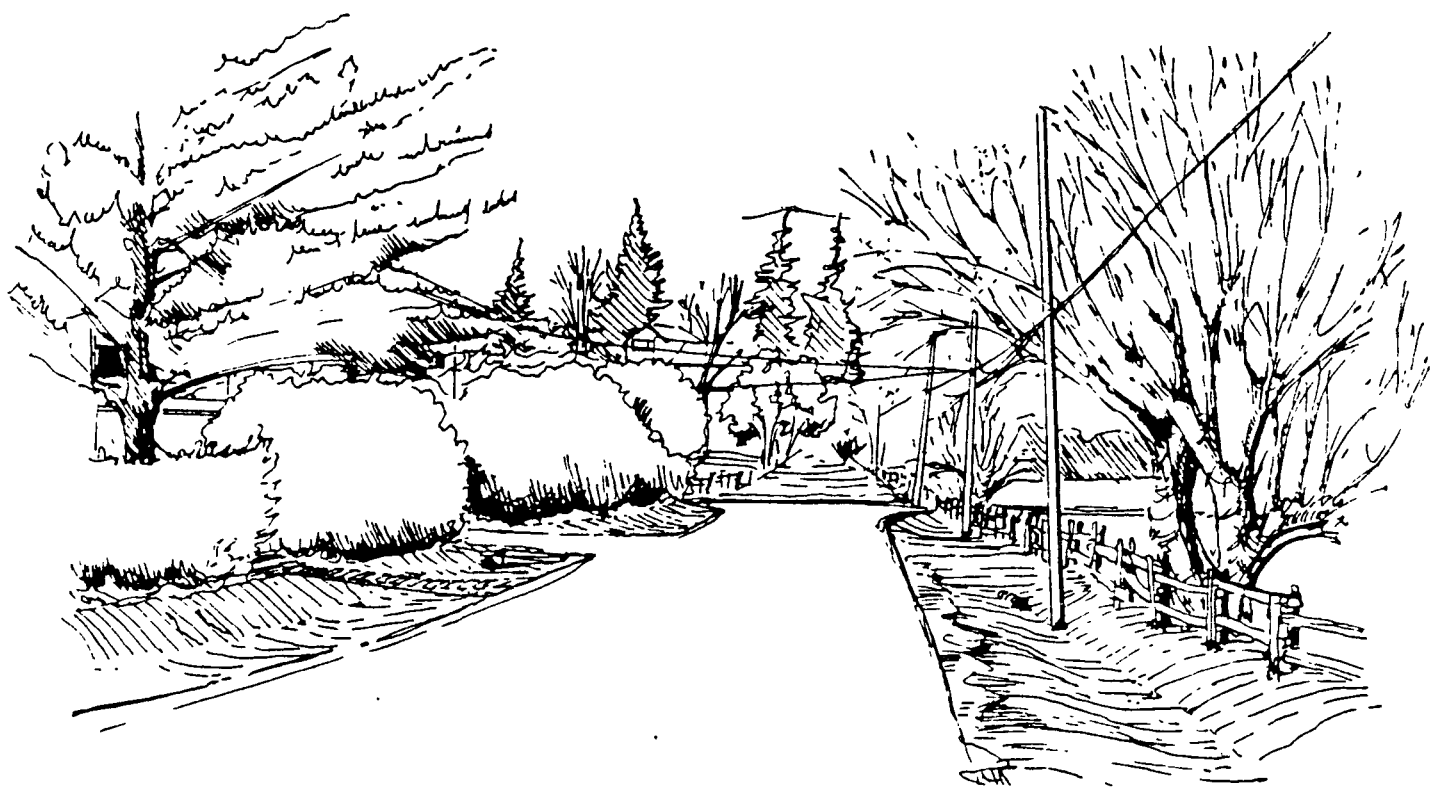
Improvements to streets are generally undertaken to better accommodate increased traffic loads to ensure public safety. Changes to the road alignments and widths in the district should be carefully assessed to ensure that the "scenic road" quality is not lost while still maintaining public safety.

### **6.3 Landscape Unit A : Village Core**

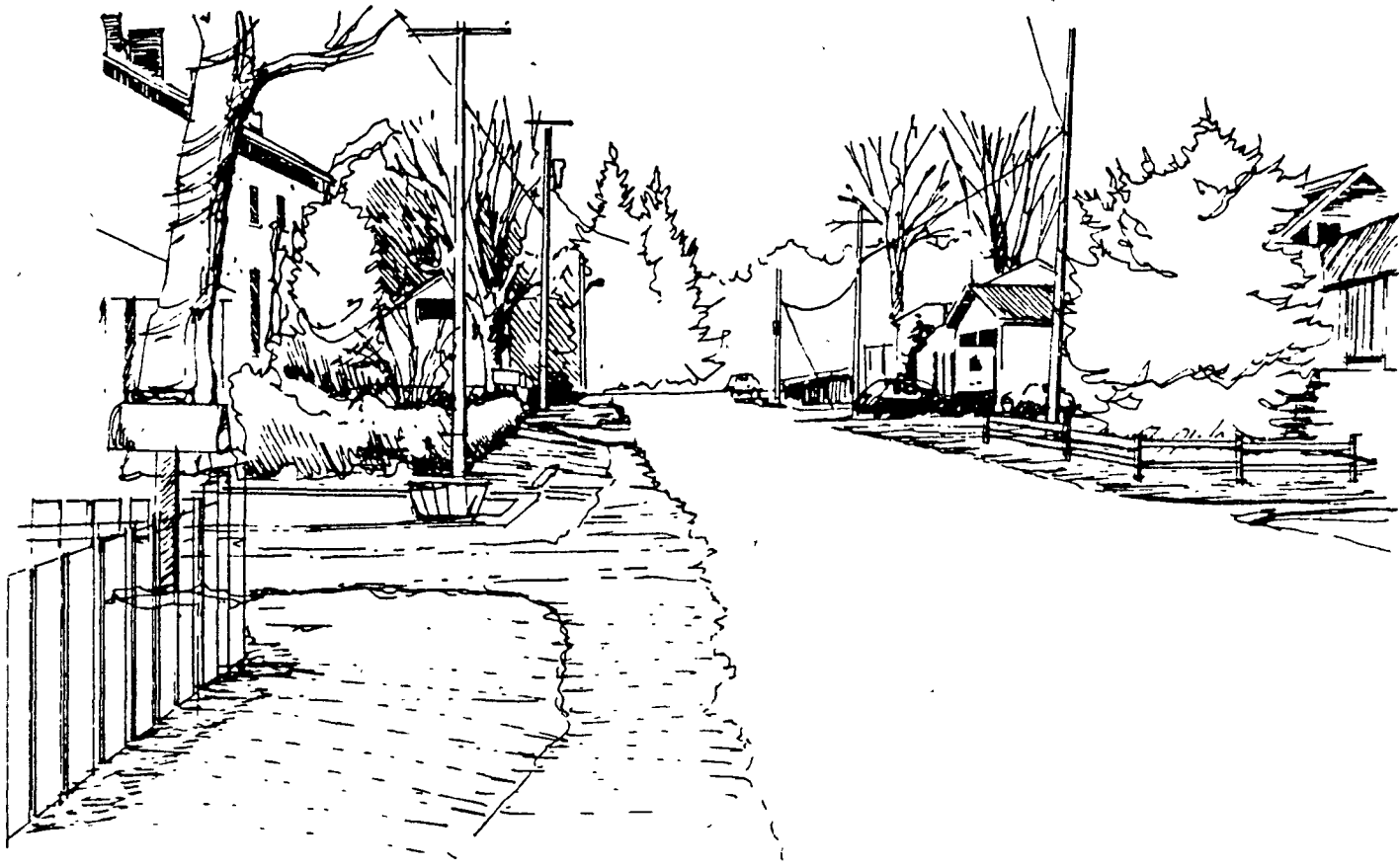
In order to preserve the landscape features which contribute in a positive manner to the "rural village" atmosphere of this unit the following is suggested:

- 1) The existing street layout and widths should be retained in order to prevent further encroachment on the narrow yards of the adjacent buildings. Curbs, gutters and sidewalks should not be installed in this landscape unit in order to maintain the present rural appearance of the street.
- 2) Residences on Churchville Road are encouraged to (Sketch 1) establish hedges or install low ornamental wood fencing along the front yard property line to better define the edge of semi-private and public space. (Refer to historic photos and Sketch 2).
- 3) The community mail boxes should be relocated to the north side of the fire hall in order to reduce the shoulder width at the present location and to concentrate the institutional public services in one central location (Sketch 3).
- 4) The property line hedgerows and post and wire fencing along Victoria and Church Streets should be retained. Chainlink fencing should be replaced with post and wire fencing or low ornamental wood fencing.

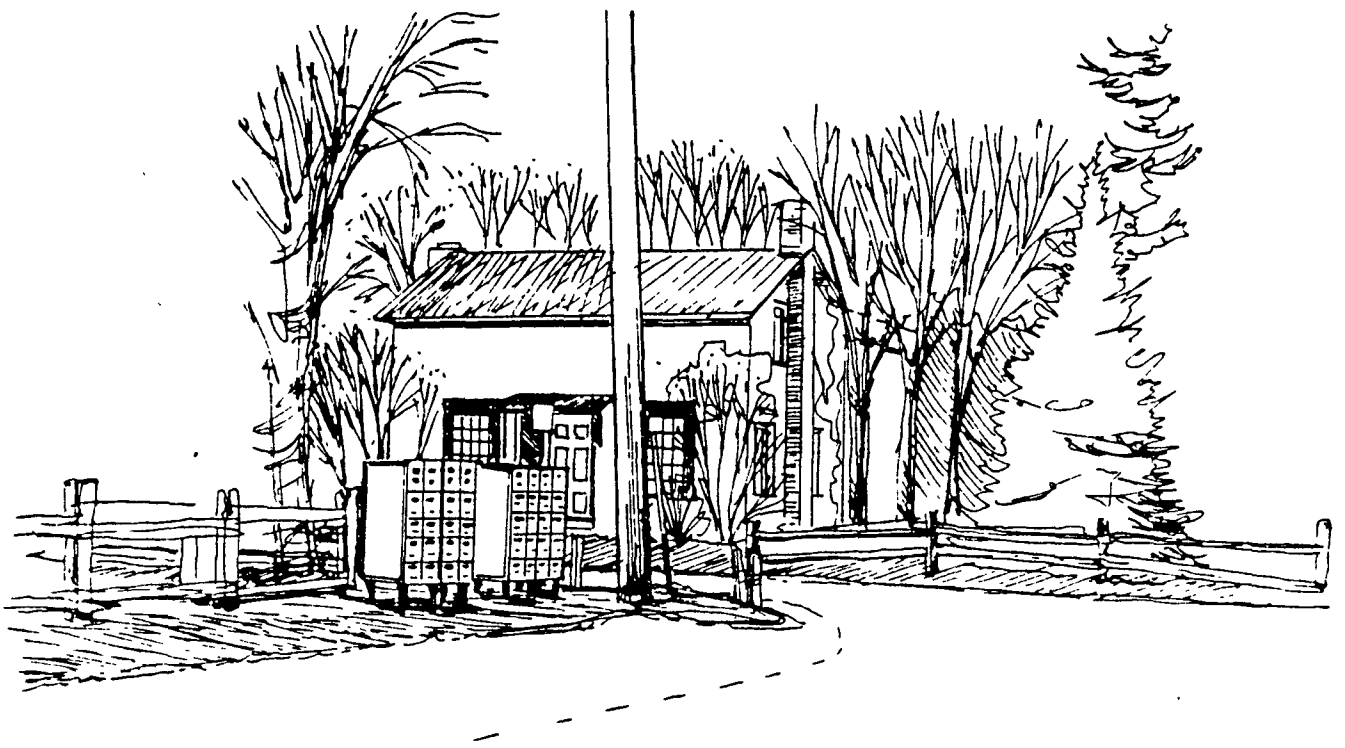




SKETCH 1: RETAIN EXISTING FENCES AND HEDGES TO DEFINE THE STREET LINE



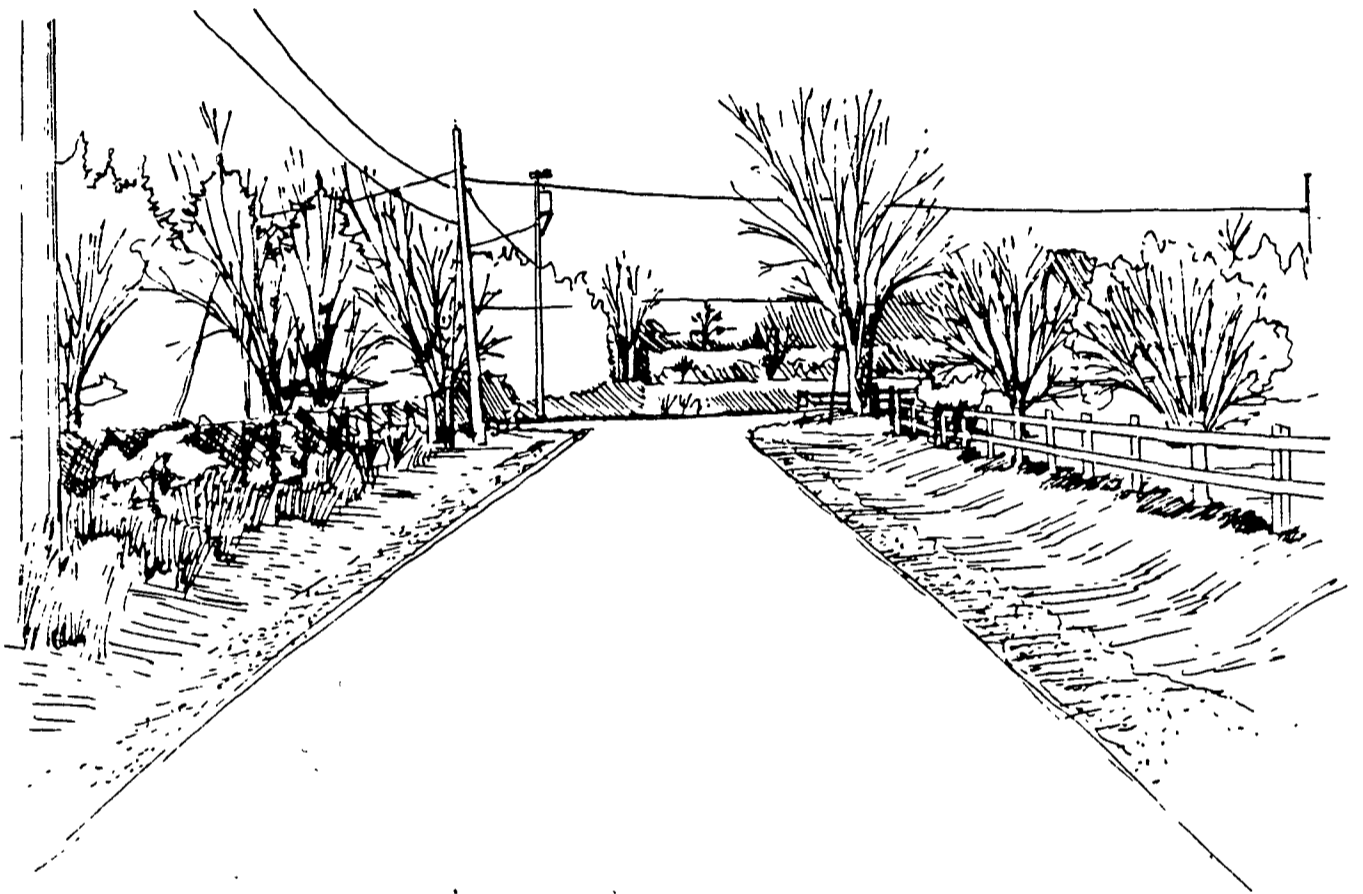
SKETCH 2 : PLANT HEDGES AND LOW ORNAMENTAL FENCES AT STREET  
LINE TO DEFINE FRONT YARDS



SKETCH 3 : RELOCATE COMMUNITY MAILBOXES AND REPAIR SHOULDER

(Low wrought iron fencing may also be used provided it is not set in brick piers.) Alternatively chainlink fencing may be planted with vines such as Virginia creeper, grapes or hops similar to the east side of Victoria Street in order to reduce its impact on the landscape.

- 5) Stumps at the south-west corner of Church Street and Victoria Street should be removed. The owner is encouraged to re-establish a hedge along the daylight triangle to maintain privacy and still provide visibility at the intersection.
- 6) Grassed ditches and narrow shoulders along Victoria and Church Streets should be retained to reinforce the rural character and intimate scale of the street. (Refer to Sketch 4)
- 7) Within the Churchville district, there is a wide variety of tree species including native trees such as black willow, silver and red maple, walnut, oak, beech, birch and ash and introduced species such as linden, Norway spruce, Austrian and Scots pine, and mountain ash. Many of these non-native species have been cultivated since the mid-nineteenth century and are now a common feature in the rural landscape. For example, the Norway spruce was first cultivated in the 1870s and was frequently used to line the farm laneway. (The farmsteads at the south edge of the village exhibit this landscape feature.) Property owners are encouraged to retain the existing trees in their yards and to replant if necessary to ensure the continuation of a varied mix of specimen shade trees in the village core. A selection of native species and non-native species which have historically been planted in the settlement area is appropriate.
- 8) The native vegetation along the ridge at the north end of the village core should be preserved to ensure stability of the slope and to maintain the diversity of vegetation in the district.
- 9) In the village core, overhead wires should be buried or installed on only one side of the road in order to reduce visual clutter.
- 10) The scenic views identified in the landscape analysis 3.3 of the Background Report should be preserved. If new infill development



SKETCH 4 : PLANT VINES ON CHAINLINK FENCE OR REPLACE WITH WOOD FENCE

occurs on the east side of Churchville Road, the buildings should be sited so as to minimize the interference with the view of the open space beyond the village core.

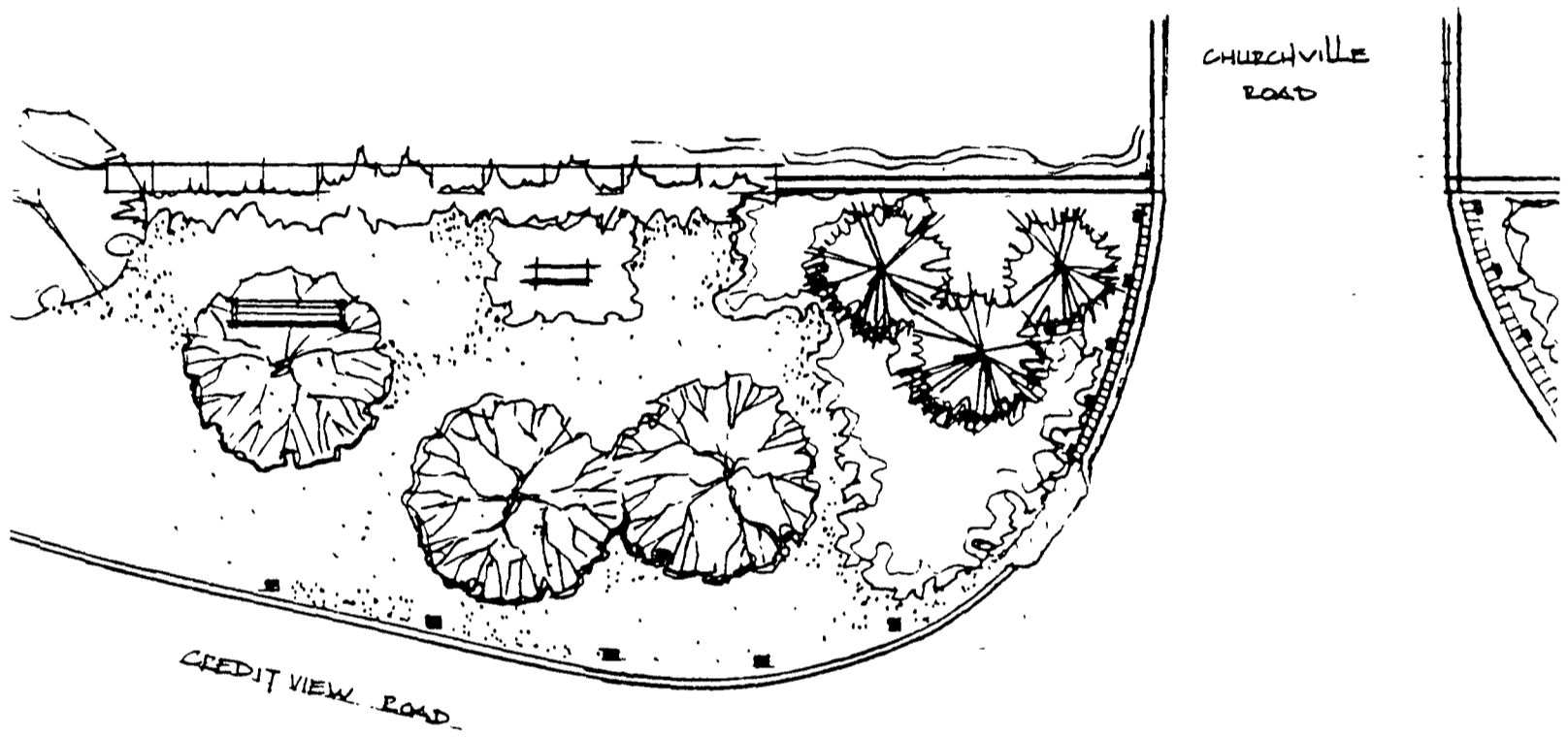
- 11) The undeveloped road allowance identified as Bennett Street on the historic survey which is currently grass and defined by fencing and hedgerows should be preserved as a remnant of the original street pattern in Churchville.

#### **6.4 Landscape Unit B : River Corridor**

Major redevelopment within the river corridor is limited by the regulations of the Credit Valley Conservation Authority. However, the ongoing maturing of the vegetation and the provision of public amenities (such as improvements of the municipal park and erosion and flood control measures along the river) introduce the potential for significant change into this unit. The following should guide this change:

- 1) Existing vegetation including trees, understory shrubs, and wetland grasses, should be retained throughout the entire unit. Flood and erosion control measures should accommodate the retention of existing vegetation where possible. Pruning of trees such as the mature black willows along Creditview Road should be undertaken with care in order to maintain an aesthetic natural appearance and still provide public safety. Infilling of additional trees along Creditview Road should be undertaken to ensure the continuation of the roadside treeline.
- 2) The line of mature trees in the river valley south of Steeles Avenue which indicate the location of a former road should be maintained.
- 3) The municipality should prepare a Master Plan for the community park to ensure that the residents' future recreation needs can be accommodated in the park without detracting from the overall passive quality of the park. A consolidation of the parking lots and vehicular access points should also be undertaken to reduce the amount of hard surfacing in the park.

- 4) The municipality should restrict parking on the south west side of the bridge by installing timber bollards or a shrub planting strip. The entrance or gateway into the village core at the south end of the bridge should be reinforced by the planting of conifers and deciduous trees. The remainder of the area from the bridge west to the pump building should be seeded in order that it can be maintained (Sketch 5). Signage interpreting the history of the river, the bridge, the village, and the floodworks could be located in this area. (Implementation of this work should be considered only after ice conditions, Spring breakup and the newly constructed berm have been monitored and any impacts assessed.)
- 5) The hydro poles running through the western edge of the valley should be retained in order to mark the location of the former radial line - an important historical remnant.
- 6) The native vegetation on the east and west valley slopes should be protected since it frames the view throughout the river corridor. Where trees have been removed such as along the ridge on the golf course lands, new plantings should be made.
- 7) The pavement width and grass ditches along Creditview Road should be retained in order to reinforce its scenic rural quality. Chainlink fencing should be planted with vines.
- 8) The bog or lowland area along Creditview Road should be preserved since it offers a close-up view of a plant association not found elsewhere in the district. This pocket contributes to an important diversity in the natural systems of the area.
- 9) Any archaeological remnants of the mill complex should be preserved. The installation of interpretive signage is recommended at the entrance to the former mill road at the bottom of the hill on Churchville Road to describe the history of the village for the resident and visitor. Additional signage interpreting the history of the village and the river valley may be located on Creditview Road near the intersection of Steeles Avenue.



SKETCH 5: LIMIT VEHICULAR ACCESS; PLANT TREES AND SHRUBS,  
INSTALL INTERPRETIVE SIGN AND SEATING TO IMPROVE  
PUBLIC OPEN SPACE ALONG RIVER



### **6.5 Landscape Unit C : Residential cul-de-sac**

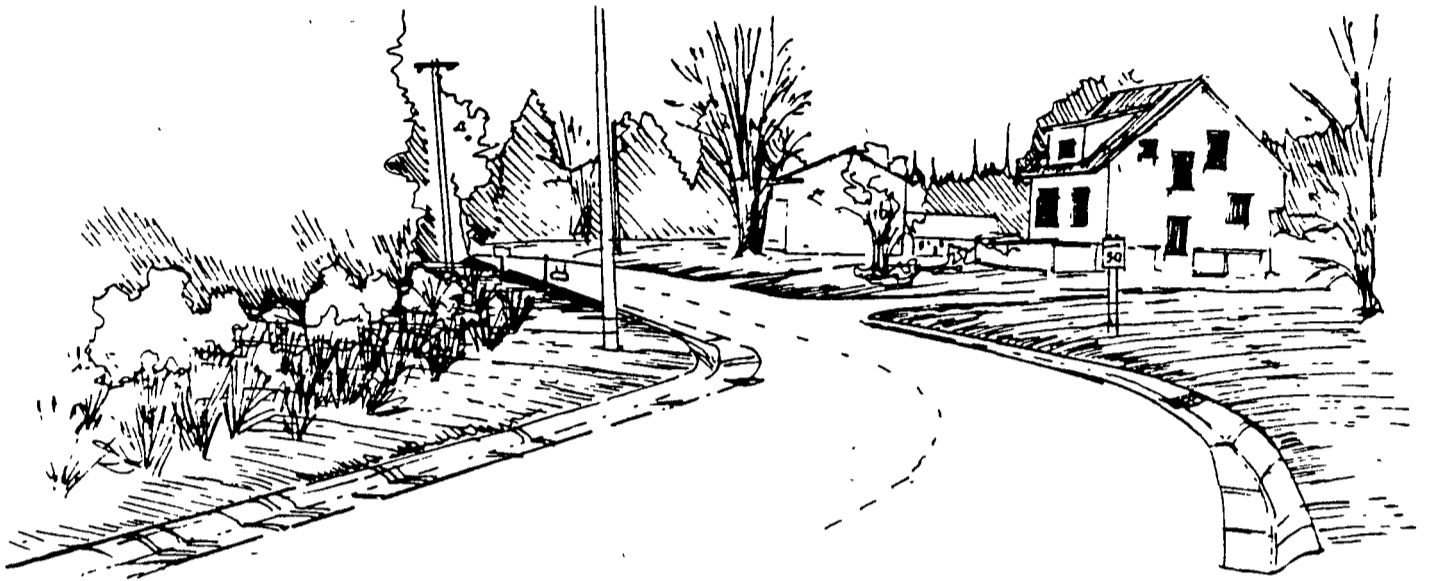
The cohesive visual quality of this residential cul-de-sac is established by the uniformity in the landscape details - well-tended lawns, foundation plantings, mature trees, and a central open space which serves as a neighbourhood park. The principle recommendation for this area is to preserve and maintain the existing landscape treatment of both the private and public areas.

- 1) Pavement width, shoulders and ditches should be retained.
- 2) Minor improvements of the central open space such as the provision of additional tree planting and seating could be undertaken.
- 3) Overhead wires should be relocated underground and the community mail boxes should be relocated to a less visually prominent location or incorporated into a landscaped area which reduces the impact of the pull-off area.

### **6.6 Landscape Unit D : Linear residential development (Creditview Road)**

The area includes a portion of Creditview Road South which has undergone upgrading to suburban standards. Continued changes to the street should be undertaken to recreate some of the original qualities of a scenic route.

- 1) Plant shrubs and grasses along the shoulders of the road to allow the vehicular traffic to have a more detailed view of the adjacent landscape.  
(Sketch 6)
- 2) Regrade and reseed the poorly defined and unkempt grass area at the west side of the intersection at Churchville Road.
- 3) Define with hedging an area around the Churchville Church memorial to create a more "public" space for the viewer and an appropriate setting for the marker.



SKETCH 6 : PLANT SHRUBS AND GRASSES IN ROAD ALLOWANCE.  
RELOCATE OVERHEAD WIRES TO EAST SIDE OF ROAD.  
RESEED AND MAINTAIN ROAD ALLOWANCE AT  
INTERSECTION

- 4) Retain the pavement width, shoulders and ditches of Hallstone Road. Maintain hedgerows and property line fencing close to the road in order to enhance the scenic quality of the road.
- 5) Overhead wires should be organized to one side of the road, particularly at the intersection of Churchville and Creditview Road in order to reduce the visual clutter of the area.

**6.7 Landscape Unit E : Linear residential development (Churchville Road)**

This landscape unit contains a linear corridor of residential development, open views and the historic cemetery. Vegetation is concentrated at the Steeles Avenue end of the corridor with the remaining properties containing a mix of mature specimen trees and foundation plantings at the end of long front yards.

- 1) Improvements to the cemetery plantings and fencing should be undertaken and guided by historic plans and photos that may be available.
- 2) Pavement widths and ditches should be retained to maintain the scenic quality of the road.
- 3) Residences are encouraged to plant informal shrub borders and specimen trees close to the street property line to define the edge of the public space.
- 4) The tree-filtered view of the river valley from Churchville Road should be retained and enhanced with minor thinning of the understorey shrubs along the shoulder at the curve.
- 5) Overhead wires should be consolidated on the west side of the road.

### **6.8 Landscape Unit F : Rural Agricultural Development (Creditview Road)**

This unit contains a diverse mix of landscape features including highly visible treelines of white birch and Norway spruce, extensive orchards close to the edge of the road and open fields extending both to the west and east along the hydro transmission corridor. Future change with the Highway 407 project will impact on these features. It is recommended that as far as possible the existing vegetation be retained and replanting be undertaken as a mitigation measure of the future project.

Generally the existing pavement width and ditches should be retained in order to reinforce the rural quality of this scenic route.

### **6.9 Landscape Unit G : Rural Agricultural Development (Churchville Road)**

This unit comprises the agricultural tableland to the east of Churchville Road. It is anticipated that continuing development pressures will be felt in this area of the conservation district. It is important to ensure that if new development does occur in the near future that such development not only protects significant features but also enhances the built character of Churchville. The key to this is avoiding the repetitive use of the same landscape and house designs throughout the whole unit.

Accordingly the following guidelines provide direction in the future development of these lands:

- 1) Existing grades and contours within this unit should be maintained wherever possible together with any mature trees, treelines and hedgerows;
- 2) Slopes at the southern end of the tablelands should not be encroached upon or breached by any physical or visual intrusion in order that views from the village core looking northeast are preserved. This may also be achieved by the provision of a road, pathway or other type of open space at the top of slope that would create a wide building setback;

- 3) In order to protect the periphery of the cemetery and views of it from Churchville Road the creation of residential lots backing on to this important feature must be avoided;
- 4) Only dwelling units and ancillary structures should be permitted in this landscape unit (see also point 10 below) with contemporary design of residential units being encouraged utilizing wood or stucco surfaces in the majority of dwellings with simple roof configurations (see section 5.5.3) and a low building and roof profile;
- 5) In order to provide visual variety reflective of the existing character of Churchville replication of house designs should be avoided in close proximity to each other although they may be permitted elsewhere in the development of these lands. Additionally every effort must be made to encourage a variety of floor space e.g. 1500 to 2500 square feet with any larger homes located to the interior generally screened from Churchville Road;
- 6) The definition of residential property lines should be encouraged by the planting of hedges or shrub borders. Individual property owners should be encouraged to plant a variety of specimen trees in their front and rear yards;
- 7) The internal road network should differ from those engineering requirements for street design elsewhere in the City of Brampton by emphasizing narrow pavement width wherever possible; avoiding the use of paved sidewalks and concrete gutters; and encouraging variety in lot size and open space characteristics;
- 8) The use of brick walls, concrete fencing, pillars and any other entranceway motifs should be avoided at the intersections of any access roads to these tablelands with Churchville Road or Steeles Avenue. The use of tree plantings, shrub borders and hedges should be encouraged especially if undertaken together with boulevard planting close to the cemetery;

- 9) All required parkland dedication should be taken in the form of open space for the acceptable development of these lands and cash-in-lieu payments should be avoided;
- 10) Development of those lands immediately to the south of Steeles Avenue and to the east of Churchville Road (a portion of which are located in landscape unit E) for commercial or highway commercial facilities should be avoided and should preferably be developed in keeping with the guidelines noted previously.

PART III : PLANNING, DEVELOPMENT  
AND IMPLEMENTATION

## **7.0 PLANNING POLICIES**

### **7.1 Background**

The successful maintenance and protection of a heritage district relies to some extent in ensuring that provincial or local planning policies and initiatives support or provide a suitable framework for realistic conservation measures.

Several planning documents capable of influencing the effectiveness of the proposed heritage district, including the draft Regional Official Plan, the Brampton Official Plan and Zoning By-law, were reviewed in the Background Report. Generally all documents were supportive in the protection of the rural character of Churchville.

In order to refine and more purposefully direct the conservation and development of Churchville a number of matters were identified which required changes or modifications to existing and proposed planning policies. These are addressed in the following sections.

### **7.2 Draft Regional Official Plan**

The draft Regional Official Plan identified the village of Churchville within the Long Term Urban Area. (This has been subsequently noted as a drafting error.) Given the rural character of the conservation district it is more appropriate to place this settlement and its rural setting within an appropriate designation. In this way any ambiguity about Churchville's function and role in the regional and local context will be properly addressed.

#### **7.2.1 Long term urban boundary**

##### *Recommendation 4*

*It is recommended that Churchville should be located outside of the long term urban area boundary.*



### **7.3 City of Brampton Official Plan**

The local official plan provides guidance for the long term development of the municipality and addresses a number of matters respecting physical change and growth.

Policies respecting the growth of Churchville by infilling are sympathetic to protecting its character but other policies describing required road widths and classification may be at variance with conservation initiatives. Additionally the heritage conservation policies of the plan give very little direction as to the attributes of prospective conservation districts and how the areas are planned after designation.

The following sections recommend policies for inclusion into the official plan when next reviewed and amended.

#### **7.3.1 Heritage conservation policies**

Policy 1.7.1.1 of the official plan is the sole heritage policy of the municipality and it makes provisions regarding the acquisition of freehold rights, easements and covenants. Amendments to this policy are recommended below and are intended to provide a comprehensive approach to the conservation of heritage properties primarily within designated districts.

##### *Recommendation 5*

*It is recommended that the following policies are incorporated into the City of Brampton Official Plan:*

##### "1.7.1.1

Council will consult with the Brampton Heritage Board in matters relating to the conservation of heritage properties within Brampton. The Heritage Board may identify and/or inventory buildings of architectural and historical significance and advise Council on those considered worthy of designation under Part IV of the Ontario Heritage Act.

## 1.7.1.2

The City in consultation with the Heritage Board may also designate heritage conservation districts under Part V of the Ontario Heritage Act where it has been determined that any district possesses one or more of the following attributes:

- i) the area contains a group of buildings or features that reflect an aspect of local history, through association with a person, group or activity;
- ii) the area is characterized by buildings and structures that are of architectural value or interest;
- iii) the area contains other important physical and aesthetic characteristics that alone would not be sufficient to warrant designation but provide an important context for built heritage features or associations with the district including such matters as landscape features or archaeological sites.

## 1.7.1.3

Prior to designating a heritage conservation district the City will:

- i) by by-law define and examine an area for future designation;
- ii) prepare and adopt a conservation district plan containing policies, guidelines and relevant information respecting the protection and enhancement of the district;
- iii) establish for each district a "district committee" that will advise Council on matters pertaining to the designated district.

## 1.7.1.4

Within a designated district it is the intent of Council to conserve and enhance the unique heritage character of the area. Council in consultation with the appropriate district committee will encourage property owners to maintain and repair heritage buildings and seek government grants and loans for eligible conservation work.

#### 1.7.1.5

In reviewing proposals for the construction, demolition, or removal of buildings and structures or the alteration of existing buildings the City will be guided by the applicable heritage conservation district plan and the following general principles:

- i) heritage buildings and archaeological sites including their surroundings should be protected from any adverse effects of the development;
- ii) original building fabric and architectural features such as doors, windows, mouldings, vergeboards, walling materials and roofs should be retained and repaired;
- iii) new additions and features should generally be no higher than the existing building and wherever possible be placed to the rear of the building or set-back substantially from the principal facade.
- iv) new construction and/or infilling should fit the immediate physical context and streetscape by: being generally of the same height, width and orientation as adjacent buildings; be of similar setback; of like materials and colours; and using similarly proportioned windows, doors and roof shape.

#### 1.7.1.6

Public works and landscaping within a designated district should ensure that existing road and streetscapes are maintained or enhanced and that proposed changes respect and are complementary to the identified heritage character of the district.

#### 1.7.1.7

Required road rights-of-way, daylighting triangles and corner roundings indicated elsewhere in the Official Plan will be required in designated districts but every effort shall be made to ensure that existing pavement widths especially where they are major contributors to the character of the streetscape will be retained.

## 1.7.1.8

The City may acquire the freehold rights to acquire easements on, or impose covenants on, real property designated a heritage conservation district, site or structure."

Aside from the specific foregoing policies which describe those general matters that are to be addressed in conserving heritage features it is also important that the status of a district plan and the general process of conservation district planning and implementation be described in the official plan. This appears to be in keeping with the tone and intent of other planning procedures described in the plan.

Chapter 7, Implementation, of the official plan describes in section 7.12 those measures that the City will utilize with respect to heritage conservation. The proposed additions to section 12 recommended below are intended to provide a clear indication of the status of a heritage conservation district plan and how it may be implemented.

*Recommendation 6*

*It is recommended that the following policies are incorporated into the City of Brampton Official Plan:*

*"7.12.2*

Where Council has designated heritage conservation districts in accordance with the policies of the Official Plan it is intended that the general policies of section 1.7.1 pertaining to districts will be refined and amplified to apply to individual designated districts and their particular attributes and features by means of heritage conservation district plans.

Generally, a heritage conservation district plan will;

- i) be prepared prior to the designation of a district and will prescribe policies; conservation and design guidelines; and other pertinent material relating to the sound and prudent management of the district's unique character.

- ii) be adopted by Council by-law after consultation with property owners and other interested agencies as considered appropriate.
- iii) be implemented by municipal review of permit applications for changes within the district. Additionally the City will initiate public improvements within the district and encourage property owners to seek grants for conservation work through a variety of government funding programs.
- iv) not be considered as a secondary plan and will not be incorporated into the *Official Plan* by way of amendment. Where, however, *Official Plan* policies and/or land use designations are considered to be unsympathetic to the protection of a particular heritage conservation district the City may amend the Plan to better reflect the appropriate planning and conservation of that area.

### 7.12.3

Designated heritage conservation districts will be indicated on the applicable schedule to the *Official Plan* at the time of a comprehensive review or by way of amendment according to 7.12.2.iv)"

The preceding amendments to the *Official Plan* are anticipated to allow greater comprehensive planning for heritage conservation districts. At the present time the Ministry of Culture and Communications is undertaking a review of heritage policy generally in Ontario and it is anticipated that proposals regarding new provincial legislation may be forthcoming in the near future.

Any changes, revisions or amendments to the *Official Plan* should be cognizant of any new initiatives that arise from the policy review, especially regarding municipal responsibilities.

### 7.3.2 Churchville heritage conservation district policies

The Ontario Heritage Act makes provisions in Subsection 40(1) for the preparation of official plan provisions after an examination has been completed of a prospective conservation district. The Act is silent on what these provisions should constitute but it may be construed that they have

something to do with the conservation and planning of the district and its character.

The Act does not anticipate that such provisions are essential for the successful implementation of a heritage district for they are not referenced again in Part V of the Act.

Clearly, however, any successful district initiative must rely to some extent on a clear enunciation of the general context and thrust of conservation policies for any such area. (Typically, detailed guidelines especially on matters relating to specific building design or architectural features are absent from most official plans.)

*Recommendation 7*

*Accordingly it is recommended that the following policies be included in Section 2.1.2 Rural Settlements of the Official Plan at the time of the next comprehensive review:*

"2.1.2.5

OBJECTIVE:

The maintenance, protection and enhancement of the Churchville Heritage Conservation District.

Policies

2.1.2.5.1

The rural character of the district shall be maintained by encouraging the preservation of the river valley and its vegetated slopes, existing tree stands, treelined roads, agricultural lands and accessory farm buildings.

#### 2.1.2.5.2

Within the designated district of Churchville existing heritage buildings, structures and properties should be conserved.

#### 2.1.2.5.3

The design of new development either as freestanding structures or as alterations or additions to existing buildings should be low in height and generally respect the prevailing rural residential character of the area.

#### 2.1.2.5.4

Public works should ensure minimal impact on the character of Churchville particularly its narrow treelined roads and broad valley lands.

#### 2.1.2.5.5

Regard shall be had at all times in the conservation and planning of the area to the guidelines and intent of the Churchville Heritage Conservation District Plan."

Other detailed policies may also be included at the time of a comprehensive review of the Official Plan especially where conditions may have changed or new issues come to the fore.

### **7.3.3 Transportation**

Chapter 4, Transportation, of the Official Plan details policies concerning an efficient transportation system. Included are policies describing required road rights-of-way and particular design standards. It is not the intent of this district plan to recommend the reclassification of roads within the conservation district although the City at some future time may wish to monitor the situation as the urban areas of Brampton and Mississauga continue to grow.

It is more important to the immediate future of Churchville that the roads and streets traversing the village are sensitively managed. As a prelude to

sympathetic management it is vital that the characteristics of these travelled roadways are formally recognized as having particular merit.

The Brampton Official Plan makes provisions in section 4.2.1.19 such that:

*Council may designate certain roads or sections of roads which have attractive natural or man-made scenic vistas as Scenic Drives.*

As noted in the Background Report there is no mechanism by which such Scenic Drives might also be protected from alterations or changes that might detract from the visual qualities of these designated roads.

*Recommendation 8*

*It is recommended that the Official Plan provisions noted above be suitably amended to offer some kind of guidance to the sensitive planning, engineering and management of these roads as follows:*

"4.2.1.19

Council may designate by by-law certain roads or sections of roads which have attractive natural or man-made scenic vistas as Scenic Drives. Roads so designated are intended to be maintained in their existing state or enhanced wherever feasible provided that they do not jeopardize the safety of the travelling public. Scenic Drives may also be plaqued or otherwise signed along their routes in order to identify them to the travelling public and visitor.

In particular the City will endeavour to retain and protect:

- i) existing paved road widths where they contribute to the scenic character of the designated Drive;
- ii) existing trees and treelines within the road right-of-way;
- iii) other vegetation, plantings and features such as boulevards, hedgerows, ditches, grassed areas and fencelines; and,
- iv) transportation related heritage features, such as bridges, where they contribute to the special character of the road."



Within the Churchville heritage district are a number of roads that warrant designation as Scenic Drives since they afford a variety of vistas down treelined rural roads and across the scenic river valley of the Credit.

*Recommendation 9*

*Accordingly it is recommended that Hallstone, Creditview and Churchville Roads be designated as Scenic Drives throughout the heritage conservation district. If considered desirable this designation may also be considered for that portion of Hallstone Road outside of the district west to Mississauga Road, and those portions of Churchville and Creditview to their intersection north of Steeles Avenue. Appropriate signage of these Scenic Drives may be considered by Council.*

In many instances of widening, existing roads are radically transformed and nowhere more readily apparent than in rural areas. Typically consisting of a narrow paved surface with narrow grassed shoulders, ditches, and treelines, many rural roads classified as collectors may be widened to accepted design standards. In the process many, if not all, of their scenic qualities are lost to be replaced by wider paved surfaces and shoulders.

In designated conservation districts it is important that there be a presumption in favour of retaining existing road characteristics over road widening except where there is a demonstrated hazard which may pose a threat to public safety.

*Recommendation 10*

*Accordingly, it is recommended that the following policy be included in the Official Plan:*

"4.2.1.20

Within designated heritage conservation districts council will conserve existing streetscapes wherever feasible and shall attempt to retain existing road characteristics and associated landscape features."

#### **7.4 Zoning By-law**

Existing zoning provisions respecting the use of land within the district are generally considered satisfactory as they recognize the existing predominant uses in Churchville. Only in two instances are the provisions of the zoning by-law considered inappropriate, namely the height and floor space requirements of the Residential Hamlet 'RH' zone, and the provisions of the Floodplain 'F' zone.

##### **7.4.1 Residential Hamlet**

The RH zone requires a minimum lot size of 1350 square metres (14,531 square feet): 30 metres (98 ft.) in width and 45 metres (147 ft.) in depth. The resulting building envelope after accounting for minimum front, side and rear yards amounts to 382.5 square metres (4117 square feet): 15 metres (49 ft.) in width and 25.5 metres (84 ft.) in depth.

Coupled with a maximum building height of 10.5 metres (34 ft.), i.e. approximately three stories assuming a flat roof; the resulting maximum floor area permitted by the by-law would be 1147.5 square metres (12,352 square feet). The resulting floor space index, i.e. the ratio of gross floor area of a building to the area of the lot on which the building is situated: is 0.854 or a ratio of 1:1.17.

The range of building form and size constructed according to these requirements could vary widely.

The minimum gross floor area permitted in the zone is 100 square metres (1076 square feet), approximately a single storey building of dimensions 12 metres (39 feet) by 8 metres (27 feet). Such a low profile building would be in keeping with the predominant residential character of Churchville.

As discussed in section 5 of this plan new buildings should try and complement the existing heritage character of a district. This can be achieved not by slavishly imitating previous architectural detailing but by respecting the existing basic building form, especially with respect to height, width, scale and orientation. The key to success in this area is

providing enough flexibility for property owners to pursue particular building forms that not only satisfy their space requirements but also fit well into the village context.

In this regard the provisions of the zoning by-law could be amended in several ways by providing building dimensions or space requirements that reflect prevailing form as follows:

- restrict building height;
- restrict building width; or,
- adopt a floor space index.

Any one of these measures could be used singly or in combination to produce various building form and massing. Restrictions on building height may result in low profile development but be land extensive using the entire permitted building envelope.

Restrictions in building width may produce elongated structures extending towards the rear of the lot, while a floor space index may be too restrictive or too generous.

Results of the building inventory in the Background Report and the proposed design guidelines in section 5 suggest that the typical building form in Churchville is characterized by residences of one to one-and-one-half stories in height, three to five bays wide with side gables and low pitched roofs.

In order to accommodate contemporary floor space requirements it may be necessary to encourage new residential buildings that have a horizontal emphasis in width across the lot but with some form of stepped-in rear tail addition, such as a "T" or even "H" plan.

Any zoning by-law can provide basic minimum and/or maximum dimensions for building space but it cannot legislate good design. Hence the caution that the amendments to the zoning by-law proposed in the following must be considered in conjunction with the review of development applications under Part V of the Ontario Heritage Act.

*Recommendation 11*

*The following are recommended as amendments to the Residential Hamlet RH zone in Churchville, listed in priority and considered to be maximum limits to building form:*

- *Maximum building height of 8.75 metres (28.7 feet).*

(This is intended to limit development to a maximum of two stories with a low pitched roof. Note that this would not prevent a single storey building with a steeply pitched roof being constructed e.g. a chalet style dwelling; which might be out of keeping in Churchville.)

- *A floor space index of 0.17 or a ratio of approximately 1: 6.*

(On a minimum lot size provided for in the existing zoning by-law of 1350 square metres this results in a floor space of 229.5 square metres, approximately 2500 square feet. This floor space limit applies to above-ground living space and excludes basement and/or garage floor space. Without a maximum floor space noted above large lots could witness the construction of large residences that are unsympathetic to the village character.)

**7.4.2 Floodplain**

The floodplain zone contains a number of heritage features including the former schoolhouse, road alignments, pony truss bridge, and possible subsurface archaeological remains. Restrictions on the uses in this zone are such that:

**45.1.2**

*No person shall, within any floodplain zone, erect, alter or use any building or structure for any purpose except that of flood or erosion control.*

*Recommendation 12*

*Accordingly it is suggested that this be amended to read:*

## 45.1.2

- (a) No person shall, within any floodplain zone, erect, alter or use any building or structure for any purpose except that of flood or erosion control.
- (b) Notwithstanding the foregoing where such structures are of heritage interest or value, buildings may be altered or adaptively re-used in a manner in keeping with their distinguishing features and with regard for public safety.

**7.5 Tree preservation by-law**

The village of Churchville is graced by a number of trees in a variety of configurations on private and public property. Many contribute to the scenic and visual interest of the area.

District designation under Part V of the Ontario Heritage Act does not extend protection to these important landscape features. Provisions in the Municipal Act, however, do provide for the conservation and protection of trees.

*Section 313(4) of the Act states that:*

*The council of every municipality may pass by-laws...*

*(c) for preserving trees;*

*(d) for prohibiting the injuring or destroying of trees;*

Given the importance of these features in the landscape protection should be extended to these important elements.

### *Recommendation 13*

*It is recommended that a tree preservation by-law be adopted by Council which applies only to publicly owned property within the designated district and prohibits the felling, uprooting, willful damage or destruction of trees without the consent of City council on the advice of the district committee.*

At some later date the district committee in conjunction with local residents may wish to consider application of these provisions to private property.

### **7.6 Site plan control**

In some heritage conservation districts it has become a standard practice to use site plan control provisions from the Planning Act to complement the development review mechanisms of the Ontario Heritage Act. Site plan control allows the municipality to require facilities or improvements to the subject site and in particular address matters such as landscaping in the development of property.

While in many respects complementary to conservation initiatives the dual processes and differing time spans for processing applications may be considered too cumbersome.

Accordingly it is not recommended at this time but if in the review of this district plan or development activities are in some way prejudicing the character of the area the application of site plan control should be re-evaluated.

### **7.7 Other planning and development issues**

The Background Report identified two issues considered to be of some concern in the community:

- the future of Creditview Road to the south of the village in relationship to future development in the City of Mississauga, and
- development of table lands to the east of Churchville Road.

### 7.7.1 Creditview Road

The southern portion of Creditview Road is a scenic entrance to the village of Churchville and is characterized by a narrow, treelined pavement. Increased traffic volumes in the future may well bring pressure to widen the existing pavement. The loss of this rural road and its scenic attributes would be considered, from a heritage planning perspective, detrimental to the overall character and setting of Churchville.

It is important that every effort be made to ensure that the character of Creditview Road be maintained in a manner sympathetic to the rural heritage character of Churchville. In this regard, closure of the road in the vicinity of the proposed Highway 407 has been suggested to protect the heritage attributes of the locale. However, it is recognized that a detailed traffic management study is a prerequisite of such a road closure, to assess the impacts on the environment and the local and regional road network.

#### *Recommendation 14*

*Accordingly it is recommended that a detailed traffic management study of Creditview Road be undertaken in the future to assess the merits of road closure and the impacts on the environment and the local and Regional road network.*

### 7.7.2 Tablelands

Tablelands to the east of Churchville Road comprise fields in agricultural use and bordered by the CP tracks. A development proposal has previously been refused by Council in this area on the basis that it would affect the character of Churchville. Certainly the maintenance of these lands in their present state would continue to enhance this entranceway into the village and retain the rural character of the landscape.

In the event that these lands are developed in the future it is important that every effort be made to retain essential attributes and where necessary mitigate any adverse impacts.

*Recommendation 15*

*It is recommended that if these lands are developed that the following be undertaken:*

- *an archaeological assessment of the property with suitable mitigation measures proposed in the light of significant findings;*
- *suitable landscaping measures be adopted with particular attention to Churchville Road as a major entrance into the village;*
- *protection of the slopes in the southern portion of the site such that they are not physically or visually breached by any form of development;*
- *the promotion of a mix of contemporary residential building types, low in profile with simple roof forms, executed in wood or stucco wherever feasible, with any required larger homes being suitably buffered or located in less visually sensitive areas; and,*
- *regard be given to those specific measures identified in the landscape conservation and enhancement section of this plan as it pertains both generally and specifically to the subject lands.*



## **8.0 FUNDING**

### **8.1 Introduction**

Over the past several years a number of funding programs have been developed to assist owners in the conservation of their heritage property. All of the funding programs described in this section have been initiated by or have involved the Ministry of Culture and Communications but are sometimes operated through partnership and agreement with another party e.g. the Ontario Heritage Foundation, local municipality, etc.

Owners of heritage property within the district are all eligible for some element of grant aid through one or more of these programs. If conservation work is anticipated or contemplated it is important that eligible owners review the detailed funding program requirements.

Generally funding is available for:

- the conservation of existing significant architectural elements;
- accurate reconstruction of significant architectural elements that are beyond conservation or repair; and,
- the restoration of lost but significant architectural features and for which the appearance can be clearly determined from documentary sources.

### **8.2 Designated Property Grants (DPG)**

The DPG is one component of the provincial government's Preserving Ontario's Architecture (POA) program now under review by the Ministry of Culture and Communications. Owners of a designated heritage property are eligible to receive grants toward the conservation and restoration of heritage features. An owner may receive one grant per calendar year up to a maximum of \$3000. Any grant must be matched by the owner. Since the program is ongoing it is possible to be eligible for grant money totalling \$12,000 over a four year period, \$15,000 over five years and so on. Such

amounts, however, are not credits that can be accumulated over several years.

This program is administered by the local municipality in agreement with the Ministry of Culture and Communications. The City of Brampton has entered into a contract with the Ministry and operates the program according to specified guidelines.

### **8.3 Heritage Conservation District Funds (HCDF)**

Another component of POA, this program is designed specifically for those municipalities that have designated heritage conservation districts under Part V of the Ontario Heritage Act. Specific guidelines have yet to be published but the program's key features include or require:

- the establishment of a capital fund comprising a municipal contribution, matched by a slightly larger provincial contribution;
- the adoption by municipal by-law of a district plan or study; and
- entering into an agreement between the municipality and the Ministry.

A variety of projects and work are eligible for grant aid including conservation work on heritage buildings and certain landscape improvements.

### **8.4 Ontario Heritage Foundation (OHF)**

An agency of the Ministry of Culture and Communications, the OHF awards grants to owners of heritage property usually where the property is of considerable heritage significance. Grants are discretionary and rarely exceed 50 per cent of conservation work. Competitions for awards are made twice a year.

### **8.5 Ontario Heritage Bridge Program (OHBP)**

The OHBP is administered by the Ministry of Culture and Communications and the Ministry of Transportation. The program's intent is to encourage

the conservation of heritage road bridges through a process of formal evaluation and listing.

Every effort is made to ensure that those bridges listed are protected (see section 4.13). The Ministry of Culture and Communications and the Ontario Heritage Foundation recognize that the renovation of listed bridges is an activity eligible for financial aid under their respective grants program.

#### **8.6 Cultural Facilities Improvement Program (CFIP)**

CFIP is administered by the Ministry of Culture and Communications and enables a municipality, local service board, conservation authority or incorporated non-profit organization to avail themselves of grants towards the conservation and restoration of owned or leased designated property. A CFIP grant will not exceed one-third of the total eligible project costs or \$1,000,000 whichever is less.

#### **8.7 Architectural Conservancy of Ontario (ACO)**

The ACO has established a Heritage Fund under the Ministry's Community Heritage Fund program (no longer existing). The ACO, a non-profit conservation organization, may make available to eligible owners low interest loans or small grants towards the conservation of heritage property.

## **9.0 IMPLEMENTATION**

### **9.1 Introduction**

Successful implementation of district conservation relies on a variety of complementary initiatives. Key amongst these is the enthusiasm and cooperation of individual property owners in protecting and maintaining the heritage building stock of Churchville. The availability of funding through grants or loans may also add additional incentives and impetus to sensitive and respectful conservation. The guidelines in various sections of this plan are also important in acquainting owners with some of the issues inherent in conservation practice as well as providing advice on how best to proceed with protecting the special character of the area. The following describes those actions and procedures which will also assist in implementing the district plan over the coming years.

As with other sections of the plan situations or occasions may occur where it may be prudent to review the effectiveness of a particular procedure or requirement. Appropriate action should be taken to address these issues as they arise and amend procedures accordingly.

### **9.2 The District Committee**

In order to provide a continuing focus for action as well as a forum for public involvement and decision-making within the district it is essential to establish a group of individuals who will be able to advise on many matters pertaining to the district and this plan.

The Ontario Heritage Act makes general provisions for the involvement of LACAC in district conservation (Section 28) but makes no specific requirements in this regard and does not specify further involvement of LACAC after designation of the district. Experiences elsewhere in the province suggest that the establishment of a conservation district committee has found favour and worked well. It is anticipated that LACAC will be represented on the committee. The district committee is expected to report directly to the planning and development committee.

*Recommendation 16*

*It is recommended that a committee be established for the management of this conservation district, to be known as the Churchville Heritage Conservation District Committee, reporting to and advising the Planning and Development Committee of the City of Brampton.*

The composition of the committee should be such that a variety of interests are represented from: the heritage community, the local ratepayers group, municipal council and the village at large. Initial membership should thus include the following participants:

- four members drawn from the ratepayers group of the district;
- two LACAC representatives;
- one municipal councillor; and,
- two members at large. (These might include non-resident or non-residential property owners.)

Staff of the Planning and Development Department will provide a support function advising the committee as appropriate.

The functions of the committee are clearly not prescribed by provincial statute so they may assume any variety of advisory function that City Council chooses. For the purpose of this plan, however, it is anticipated that the functions of the committee will include:

- i) monitoring the district plan for its effectiveness in guiding conservation of the district;
- ii) acting as a sounding board for residents within the district;
- iii) participating in the supervision and administration of any heritage funding programs such as the conservation district funds program and the designated property grants program;

- iv) advising City Council on the appropriateness of changes proposed within the district through the administration of the permit application process;
- v) reporting on an annual basis to City Council on the committee's activities; and,
- vi) preparing, as time and budget permits, the preparation of a newsletter or any other material that may assist in furthering the appreciation of protection of Churchville's heritage.

Appointments to the committee are obviously at the discretion of Council but it is anticipated that appointments would parallel the term of municipally elected representatives.

### **9.3 The District Fund**

Section 8.3 briefly described the heritage conservation district fund program of the Ministry of Culture and Communication. At the time of preparing this plan the program was under review and there is no clear indication of whether this program component will be continued.

#### *Recommendation 17*

*If there is a continued provincial commitment to this funding program it is recommended that the City establish a conservation district fund for the Churchville district with a municipal contribution to be decided upon by City Council in light of prevailing budget commitments.*

Landscaping projects and conservation work on heritage building may be eligible for funding but a careful review of funding guidelines should be undertaken.

### **9.4 Permit approvals**

Under Part V, section 42 of the Ontario Heritage Act a permit is required for the erection, demolition removal or external alteration of a building or structure within a designated district.

Section 1(a) of the Act defines the term "*alter*" as meaning

*to change in any manner and includes to restore, renovate, repair or disturb and "alteration" has a corresponding meaning.*

For the purposes of this plan alterations or changes for which a permit is required are those which would materially affect the character or external appearance of a building.

A guide to those physical alterations, additions and conservation work which generally require a permit are described in the body of the plan. There will be instances, however, when it may not necessarily be clear as to those changes requiring a permit and those that do not. The following cases are provided as examples where confusion may arise. A key question in all cases is whether the proposed alteration is generally and as a matter of common sense considered to be an easily reversible process.

Painting of trim is generally a minor activity confined to small sections of material and routinely carried on. It is considered not to require a permit.

Painting entire masonry wall surfaces in any colour is considered to be an alteration as it has great potential to radically alter the appearance of a building as well as permanently affect the construction material.

Replacement of asphalt roof shingles in kind and of the same colour would not be considered an alteration for the purposes of a district permit but may require a building permit if substantial work is being undertaken.

Applications for alterations are required under the Ontario Heritage Act to be submitted to municipal council and considered within ninety days of submission. Council may approve; approve with conditions; or deny the requested permit. Appeals to the Ontario Municipal Board may be registered within thirty days.

Demolition of a property cannot be refused by municipal council but only delayed for up to a maximum of 270 days.

In order to provide for an expeditious review of changes within the district, property owners should consult with the district committee or City staff informally and at the earliest opportunity. Guidance on sympathetic alterations and favourable conservation initiatives will be found in the district plan.

Some alterations and additions will require a building permit under the Building Code Act. The City of Brampton Building Department usually processes such applications after they have received the approvals of other departments or agencies e.g. Conservation Authority. Because these approvals are often related to the nature of a particular site and a building location rather than the nature of the structure itself this process may be appropriate. For new construction and alterations to buildings and structures within a defined area it is preferable that there be one "point of entry" into the administrative process to avoid undue confusion and ease of processing.

Accordingly, all building permits sought for exterior building work in the Churchville conservation district will be considered as a permit required under section 42 of the Ontario Heritage Act. Changes that do not require a building permit but do require the approval of Council shall be referred to as a "district permit" and will be processed through the Building Department. (No fee will be charged.)

#### *Recommendation 18*

*The following permit application process is proposed for public and private property owners:*

- 1) Applicant submits building permit or district permit application to Building Department. The application should identify the subject property by street address and reference the property to the Background Report either by landscape unit and/or building inventory number where applicable.

The applicant should include a description of the proposed work identifying the work as an alteration, addition, a freestanding new structure or replacement structure, or the restoration, repair or removal



of an architectural feature. Location of the proposal should be indicated and photographs or drawings included wherever possible.

- 2) Building Department reviews application and then refers proposal to the planning department advising whether the application meets the requirements of the Building Code.
- 3) Planning staff review application, make site visit and in a summary report advise the district committee whether the application conforms to the district plan.
- 4) District committee members visit site whenever possible, review staff report and make recommendations to the Planning and Development Committee for decision and on to City Council for ratification.
- 5) Applicant is advised of decision in writing by the building department after receiving clearance from the planning department. (N.B. Sub-section 43(2) of the Ontario Heritage Act requires that a completed application must be considered within 90 days of receipt. This period may be extended upon mutual agreement.)

Throughout the process it is vital that the applicant be kept informed of the progress of the application. If, for any reason, there may be initial difficulty with the proposal or the proposed changes are questionable every effort should be made to revise or amend the application with the consent of the owner so that it will meet with approval.

Conditions may be imposed which address areas that still require confirmation or further approval e.g. review of a paint colour, muntin profile, specifications or brick sample.

District permit application forms may be required if considered to be expedient.

It is important that this process be reviewed from time to time to ensure expedient review of applications. If it is evident that the process is not working well the district committee and the planning department staff should amend the process accordingly, seeking public input as necessary.

### **9.6 Highway 407**

The designated district contains lands under the ownership of the Government of Ontario assembled for the anticipated construction of Highway 407. The Ontario Heritage Act does not bind the Crown therefore designation of these lands does not restrict or otherwise interfere with provincial planning and construction activities.

It is hoped, however, that the province will take into account the objectives of the designated district and mitigate any adverse impacts to affected heritage features e.g. archaeological sites, buildings of architectural interest and treelines.

### **9.7 Staffing**

It is not uncommon for many municipalities to have on staff heritage planners who can advise on heritage matters on a day-to-day basis. The growing awareness of heritage conservation's vital relationship to a variety of other planning activities argues for the consideration of a staff position within the City of Brampton planning department, not only to advise and report to LACAC and the District Committee, but also to advise other City departments on heritage matters as they arise.

It should be noted that section 69, Part VII, of the Ontario Heritage Act makes a number of provisions regarding offences and contraventions of the Act. Any prosecution for an offence requires the permission of the Minister of Culture and Communications

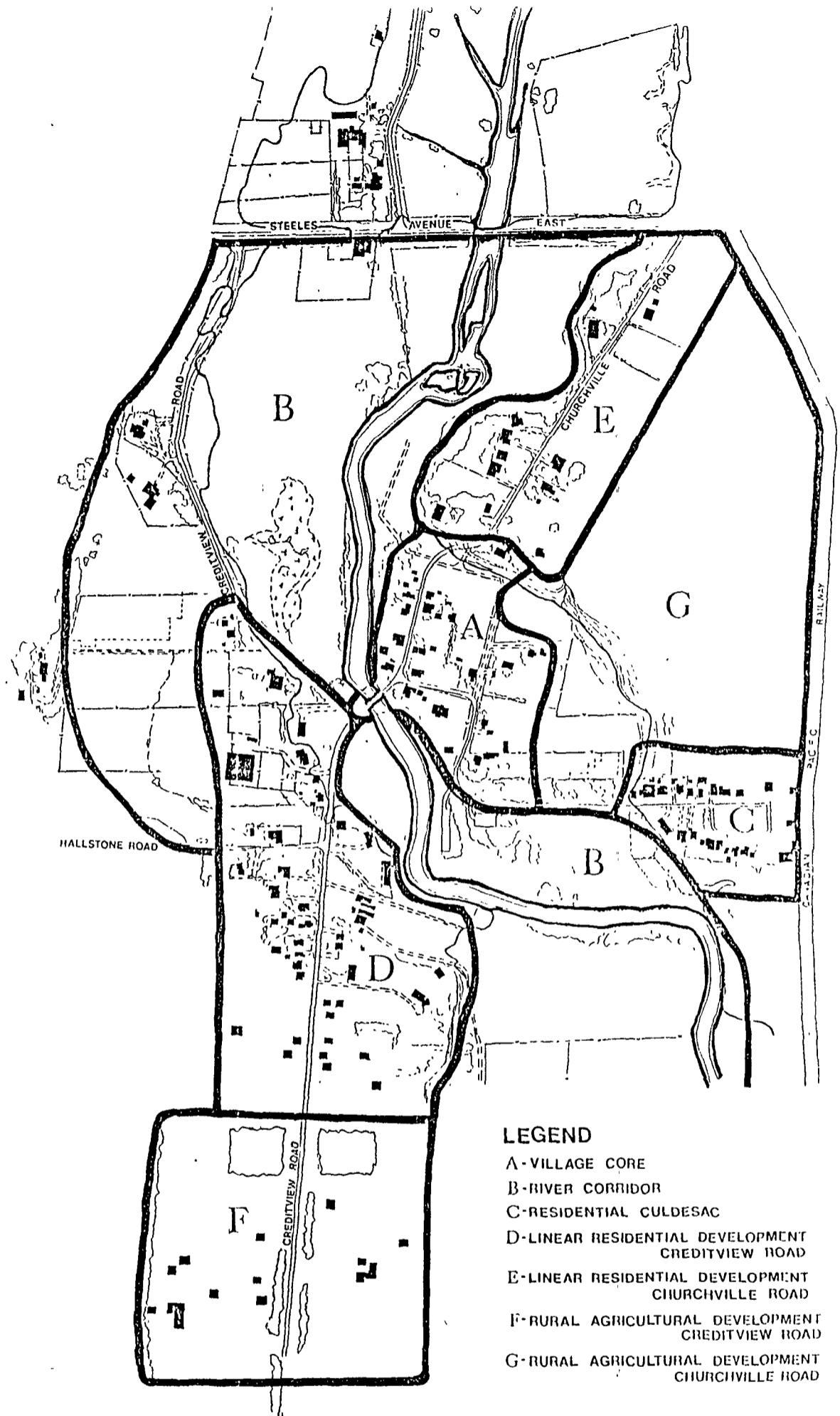
### **9.5 Planning and development applications**

In many instances building or district permits may be preceded by applications for a variety of planning approvals. It is important that the district committee be aware of impending change and development within the district.

#### *Recommendation 19*

*Accordingly it is recommended that where any application or proposal for one of the following is located within or partially within the designated district the district committee shall be circulated for comments:*

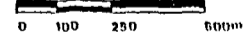
- *a variance or a consent;*
- *a plan of subdivision;*
- *zoning amendment;*
- *road closure;*
- *road widening;*
- *slope or bank stabilization; and,*
- *all activities of the CVCA.*



**LEGEND**

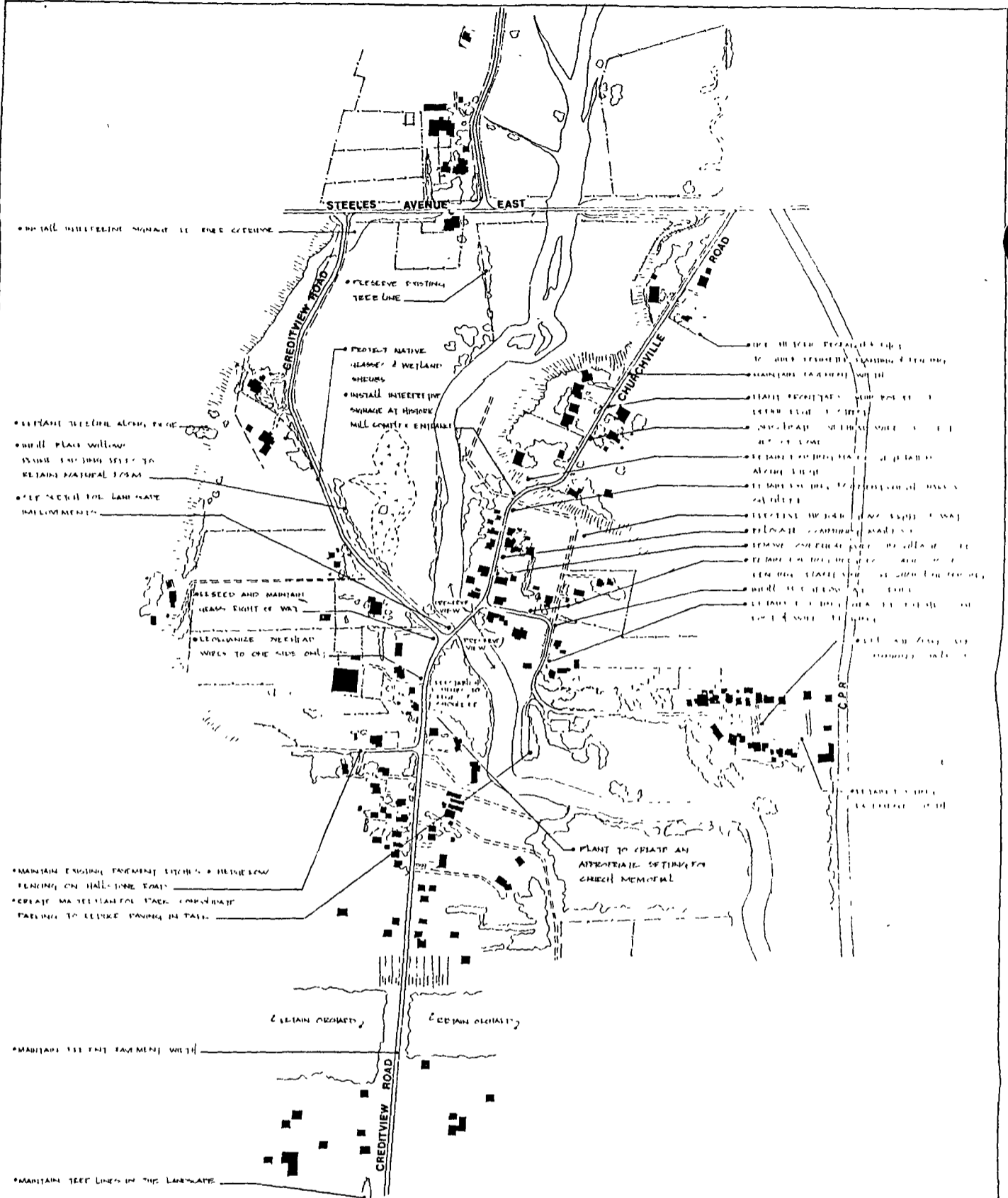
- A-VILLAGE CORE
- B-RIVER CORRIDOR
- C-RESIDENTIAL CULDESAC
- D-LINEAR RESIDENTIAL DEVELOPMENT  
CREDITVIEW ROAD
- E-LINEAR RESIDENTIAL DEVELOPMENT  
CHURCHVILLE ROAD
- F-RURAL AGRICULTURAL DEVELOPMENT  
CREDITVIEW ROAD
- G-RURAL AGRICULTURAL DEVELOPMENT  
CHURCHVILLE ROAD

**Landscape Units**



Village of Churchville  
Heritage Conservation District Study

David Cuming and Associates  
Unterman McPhail Heritage Resource Consultants  
Wendy Shearer Landscape Architect Limited



Landscape Improvements



Village of Churchville  
Heritage Conservation District Study

David Cuming and Associates  
Unterman McPhail Heritage Resource Consultants  
Wendy Shearer Landscape Architect Limited