



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 133-2012

To amend By-law 270-2004, as amended

The Council of the Corporation of the City of Brampton ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:

(1) by changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

| From: | To: |
|------------------|---|
| AGRICULTURAL (A) | RESIDENTIAL SINGLE DETACHED D – 1312 (R1D – 1312), RESIDENTIAL SEMI-DETACHED – 1314 (R2A – 1314), RESIDENTIAL SINGLE DETACHED D – 1458 (R1D – 1458), RESIDENTIAL SINGLE DETACHED E-11.6 – 2280 (R1E-11.6-2280), RESIDENTIAL SEMI DETACHED D-7.2 – 2281 (R2D-7.2-2281), RESIDENTIAL SEMI-DETACHED D-7.2 – 2282 (R2D-7.2-2282), COMMERCIAL ONE (C1), INSTITUTIONAL ONE (I1) and FLOODPLAIN (F). |

(2) by adding thereto the following sections:

“2280 The lands designated R1E-11.6-2280 on Schedule A to this by-law:

2280.1 shall only be used for the purposes permitted in the R1E-11.6 zone.

2280.2 shall be subject to the following requirements and restrictions:

- (1) A balcony or unenclosed porch with or without a cold cellar, and including eaves and cornices, may project a maximum of 1.8 metres into the minimum required front yard and exterior side yard.
- (2) Bay windows and box-out windows with or without foundations, and including eaves and cornices, may project a maximum of 1.5 metres into the minimum front, rear and exterior side yard.
- (3) On corner lots, bay windows and box-out windows with or without foundations, an including eaves and cornices, may project a

maximum of 1.5 metres into the minimum front, rear and exterior side yard to a maximum width of 5 metres.

- (4) On lots greater than or equal to 11.6 metres but less than 12.5 metres in width, the maximum cumulative garage door width for an attached garage shall be 5.05 metres.
- (5) On corner lots greater than or equal to 14 metres in width, the maximum cumulative garage door width for an attached garage shall not exceed 60 percent of the width of the dwelling.

2281 The lands designated R2D-7.2-2281 on Schedule A to this by-law:

2281.1 shall only be used for the purposes permitted in the R2D-7.2 zone.

2281.2 shall be subject to the following requirements and restrictions:

- (1) A balcony or unenclosed porch with or without a cold cellar, and including eaves and cornices, may project a maximum of 1.8 metres into the minimum required front yard and exterior side yard.
- (2) Bay windows and box-out windows with or without foundations, and including eaves and cornices, may project a maximum of 1.5 metres into the minimum front, rear and exterior side yard.
- (3) On corner lots, bay windows and box-out windows with or without foundations, and including eaves and cornices, may project a maximum of 1.5 metres into the minimum front, rear and exterior side yard to a maximum width of 5 metres.
- (4) The maximum interior garage width of an attached garage shall be 3.5 metres.

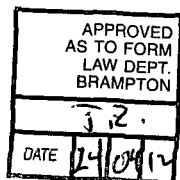
2282 The lands designated R2D-7.2-2282 on Schedule A to this by-law:

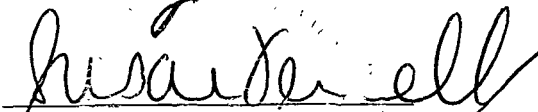
2282.1 shall only be used for the purposes permitted in the R2D-7.2 zone.


2282.2 shall be subject to the following requirements and restrictions:

- (1) A balcony or unenclosed porch with or without a cold cellar, and including eaves and cornices, may project a maximum of 1.8 metres into the minimum required front yard and exterior side yard.
- (2) Bay windows and box-out windows with or without foundations, and including eaves and cornices, may project a maximum of 1.5 metres into the minimum front, rear and exterior side yard.
- (3) On corner lots, bay windows and box-out windows with or without foundations, and including eaves and cornices, may project a maximum of 1.5 metres into the minimum front, rear and exterior side yard to a maximum width of 5 metres.
- (4) The maximum interior garage width of an attached garage shall be 3.5 metres.
- (5) The maximum building height shall be 11.5 metres."

READ a FIRST, SECOND and THIRD TIME, and PASSED in OPEN COUNCIL, this *23rd* day of *May* 2012.




SUSAN FENNELL - MAYOR


PETER FAY - CITY CLERK

Approved as to Content:


Dan Kraszewski, MCIP, RPP
Director, Land Development Services

R2E-7.2-2282

R2A-1314

BOVAIRD DRIVE WEST

C1

R2D-7.2
-2281

R2D-7.2
-2281

R1D-
1458

R1E-11.6
-2280

I1

F

R1D-1312

LEGEND

— ZONE BOUNDARY

PART LOT 10, CONCESSION 4 W.H.S.

By-Law *133-2012*

Schedule A



CITY OF BRAMPTON

Planning, Design and Development

Date: 2012 04 05

Drawn by: CJK

File no. C04W10.007

MISSISSAUGA RD

BOVAIRD DR W

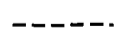
JAMES POTTER ROAD



SUBJECT LANDS



BUILT STREETS



PROPOSED STREETS



FLOWER CITY
PLANNING,
DESIGN &
DEVELOPMENT



BRAMPTON.CA
Date: 2012/04/10 Drawn By: CJK
File: C04W10.007zkm

Key Map By-Law *133-2012*