



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 133-91

To amend By-law 151-88 (part of Lot 6, Concession 6, W.H.S. in the former Township of Chinguacousy)

The council of The Corporation of the City of Brampton ENACTS as follows:

1. By-law 151-88, as amended, is hereby further amended:

- (1) by changing on Sheet 37B of Schedule A thereto, the zoning designation of the land outlined on Schedule A to this by-law from AGRICULTURAL (A) to SERVICE COMMERCIAL - SECTION 596 (SC-SECTION 596) and AGRICULTURAL - SECTION 597 (A-SECTION 597), the lands being part of Lot 6, Concession 6, West of Hurontario Street, in the geographic Township of Chinguacousy.
- (2) by adding thereto, as SCHEDULE C-SECTION 596, Schedule B to this by-law;
- (3) by adding to Section 3.2(2) thereof, as a plan to be included in Schedule C, the following:

"Schedule C-Section 596"

(4) by adding thereto the following sections:

"596 The lands designated SC-SECTION 596 on Sheet Number 37B of Schedule A to this by-law:

596.1 shall only be used for the following purposes:

- (1) a standard, dining room, fast food and take-out restaurant excluding a drive-through;
- (2) a convenience store;
- (3) a supermarket;

- (4) a farm produce stand;
- (5) a dairy bar;
- (6) a retail establishment;
- (7) a garden centre sales establishment;
- (8) a custom workshop;
- (9) a parking lot;
- (10) purposes accessory to the other permitted purposes.

596.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Lot Width - 61 metres.
- (2) Maximum Commercial Gross Floor Area - 1,766.0 square metres.
- (3) Maximum Building Height - 9 metres.
- (4) Minimum Front Yard Depth, Minimum Interior Side Yard Width, Minimum Rear Yard Depth, and Minimum Landscaped Open Space shall be as shown on Schedule C-SECTION 596.
- (5) All garbage and refuse containers shall be screened with a fence with a minimum height of 2 metres.
- (6) All restaurant refuse storage shall be enclosed in a climate controlled area within the building.
- (7) Outside storage shall be screened from the public road and shall be permitted only in the rear and side yards.
- (8) All buildings shall be located within Building Area A and Building Area B as shown on Schedule C - SECTION 596.
- (9) Parking area and driveways shall be located within Parking Area shown on Schedule C - SECTION 596.

596.3 shall also be subject to the requirements and restrictions relating to the SC zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 596.2.

597 The lands designated A-SECTION 597 on sheet Number 37B of Schedule A to this by-law:

597.1 shall only be used for the following purposes:

- (1) an orchard;
- (2) a single family detached dwelling;
- (3) a group home;
- (4) a home occupation; and
- (5) purposes accessory to the other permitted purposes.

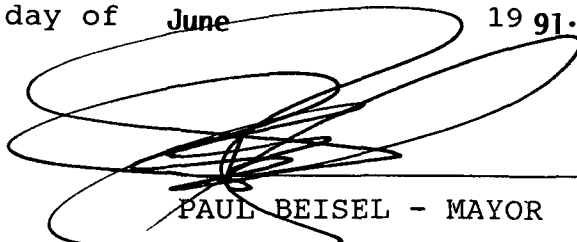
597.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Lot Area - 1.0 hectares.
- (2) Maximum Residential Gross Floor Area - 557.4 square metres.
- (3) Minimum Side Yard Depth - 15.0 metres.
- (4) Maximum Building Height - 9.0 metres.
- (5) Minimum Landscaped Open Space - 75 percent of the required lot area.


597.3 shall also be subject to the requirements and restrictions relating to the A zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 597.2.

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN

COUNCIL, this 24th day of June 1991.

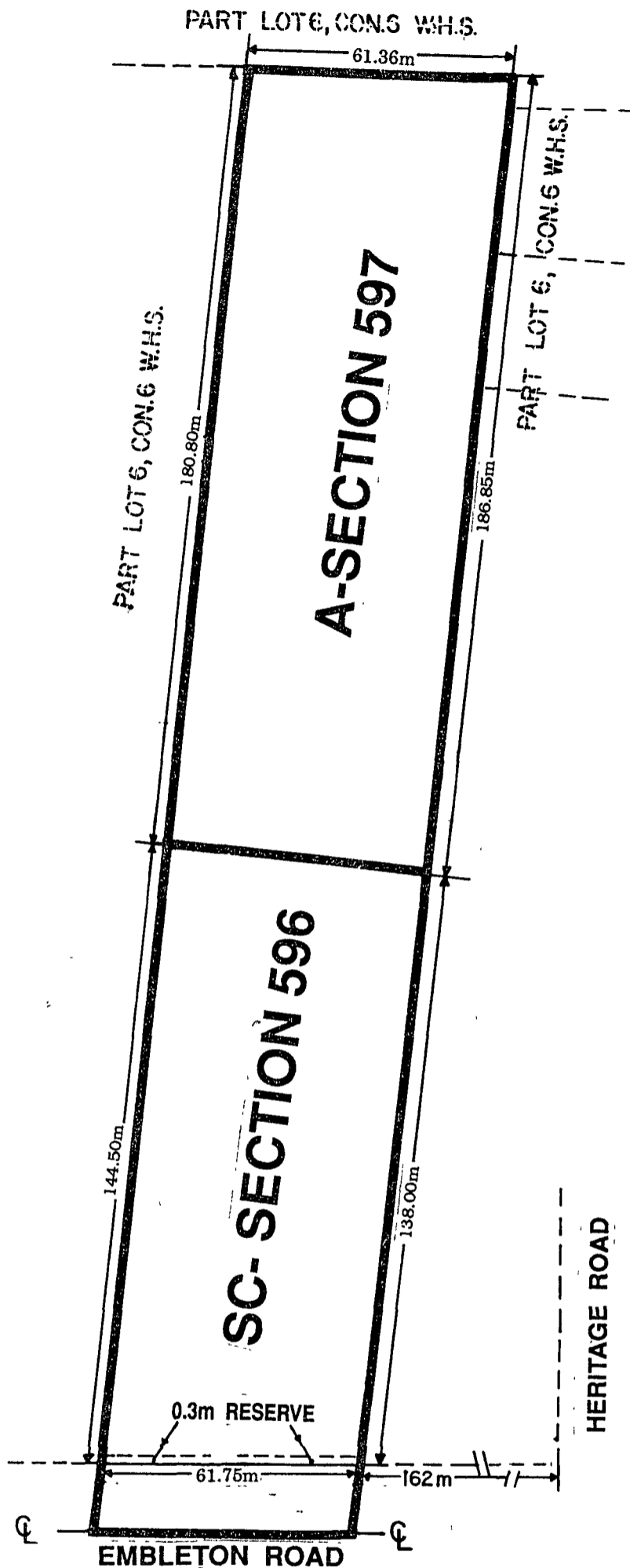


PAUL BEISEL - MAYOR



LEONARD J. MIKULICH-
CITY CLERK

APPROVED
S TO FORM
LAW DEPT
BRAMPTON
wcc
DATE R1/6/91



LEGEND

-  Zone Boundary
-  Centreline of Original Road Allowance
-  Metres

PART LOT 6, CON.6, W.H.S., (CHING.)
 BY-LAW 151-88 SCHEDULE A



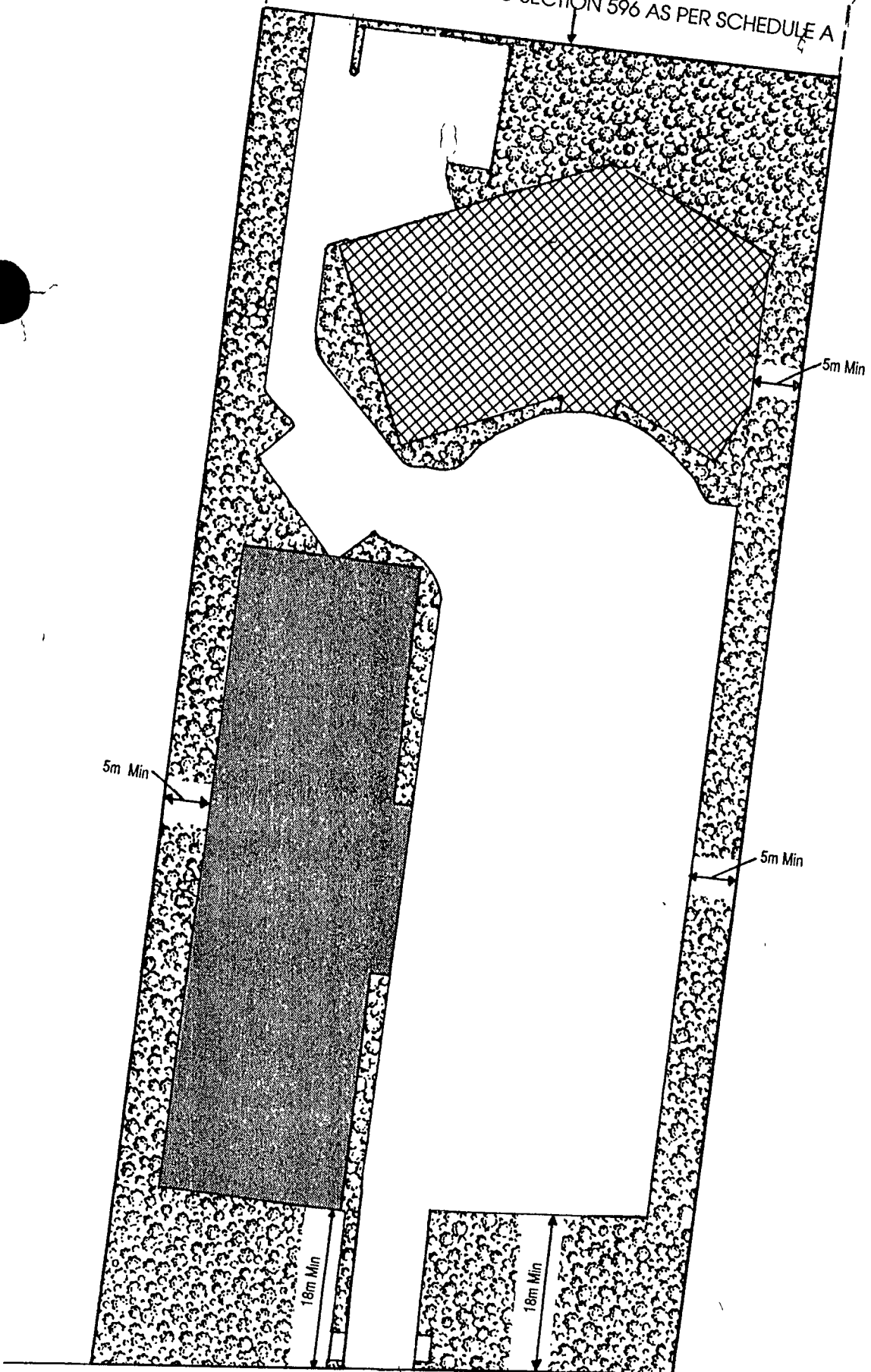
CITY OF BRAMPTON
 Planning and Development

By-law 133-91 Schedule A

1:1384

Date: 1991 02 05 Drawn by: CJK
 File no. C6W6.4 Map no. 37-14F

NORTHERN LIMIT OF SC-SECTION 596 AS PER SCHEDULE A



EMBLETON ROAD

LEGEND

-  Building Area A
-  Building Area B
-  Parking Area
-  Landscaped Open Space
- m Metres
- Min Minimum

SCHEDULE C-SECTION 596
BY-LAW 151-88



CITY OF BRAMPTON
Planning and Development

By-Law 133-91

Schedule B

1:610

Date: 1991 04 19 Drawn by: CJK
File no. C6W6.4 Map no. 37-14H

February 15, 1991.

The Corporation of the City of Brampton
150 Central Park Drive
Brampton, Ontario.
L6T 2T9

Dear Chairman & Members of the Planning Committee:

Re: Application for Amendment to the Zoning By-law and
Official Plan
Hodgins Market
East Half of Lot 6, Concession 6, W.H.S.
City of Brampton File No. C6W6.4

Thank you for the opportunity to express our opposition to the above application. We feel the proposed development is too large and therefore unsuited to our rural area. It will cause many problems and the additional uses sought are not necessary in our area. We prefer our current Official Plan designation and do not want to see any change in it.

Yours Truly

Name: K. KUYVENOVEN

Address: 9188 HERITAGE RD.
HUTTONVILLE

NOTE:

WE AGREE, ARE HAPPY WITH THE EXISTING ENTITY.
IF MINOR ALTERATIONS OR/AND ADDITION ARE NEEDED
WE WOULD NOT OBJECT. BUT WE CANNOT AGREE
WITH THE CHANGES PROPOSED.

K. Kuyvenoven
City of Brampton

February 15, 1991.

The Corporation of the City of Brampton
150 Central Park Drive
Brampton, Ontario.
L6T 2T9

Dear Chairman & Members of the Planning Committee:

Re: Application for Amendment to the Zoning By-law and
Official Plan
Hodgins Market
East Half of Lot 6, Concession 6, W.H.S.
City of Brampton File No. C6W6.4

Thank you for the opportunity to express our opposition to the above application. We feel the proposed development is too large and therefore unsuited to our rural area. It will cause many problems and the additional uses sought are not necessary in our area. We prefer our current Official Plan designation and do not want to see any change in it.

Yours Truly

Name: Lena Penney

Address: 777 #10

No objection to plan if Normal LOP 140
on a smaller scale and more definitely

no Kennel or anything in connection
with it. We had this problem a few years
ago & the property had to be brought to
get rid of an underground sewer
Kennel licence and total disyard for
the nearby neighbour. I being one with

February 15, 1991.

The Corporation of the City of Brampton
150 Central Park Drive
Brampton, Ontario.
L6T 2T9

Dear Chairman & Members of the Planning Committee:

Re: Application for Amendment to the Zoning By-law and
Official Plan
Hodgins Market
East Half of Lot 6, Concession 6, W.H.S.
City of Brampton File No. C6W6.4

Thank you for the opportunity to express our opposition to the above application. We feel the proposed development is too large and therefore unsuited to our rural area. It will cause many problems and the additional uses sought are not necessary in our area. We prefer our current Official Plan designation and do not want to see any change in it.

Yours Truly

Name: Harry and Adelaide Clarke
Address: 9182 Heritage Road,
R.R. 2, Norval, Ont.

We do not in the least mind you improving your facilities as they are being used at the present time, but feel that what you propose is not suitable for our rural area.

February 15, 1991.

The Corporation of the City of Brampton
150 Central Park Drive
Brampton, Ontario.
L6T 2T9

Dear Chairman & Members of the Planning Committee:

Re: Application for Amendment to the Zoning By-law and
Official Plan
Hodgins Market
East Half of Lot 6, Concession 6, W.H.S.
City of Brampton File No. C6W6.4

Thank you for the opportunity to express our opposition to the above application. We feel the proposed development is too large and therefore unsuited to our rural area. It will cause many problems and the additional uses sought are not necessary in our area. We prefer our current Official Plan designation and do not want to see any change in it.

Yours Truly

Name:

Sheaney & Sheaney

Address:

8950 Heritage Rd.
Huttonville