

EXPLANATORY NOTE

THE PURPOSE OF BY-LAW 132-95

The purpose of By-law 132-95 is to amend comprehensive Zoning

By-law 139-84 as amended, pursuant to an application by Lee, Ma, Wang and Ma (File No. T1W15.23).

EFFECT OF THE BY-LAW

The effect of By-law 132 95 is to permit the subject property to be developed for a mixed use office/hotel and trade centre.

LOCATION OF LANDS AFFECTED

The lands affected by By-Law 132 95 are located on the west side of Hurontario Street approximately 177-39 metres south of Steeles Avenue.

Any further inquiries or questions should be directed to

Mr. J. Corbett, City of Brampton, Planning and Building Department at 874-2066.

Note: Amendment Number ²⁶⁵----- and Amendment Number ²⁶⁵-----
A to the 1984 Official Plan and Amendment Number
OP93 ~~-34-~~ to the Official Plan of the City of
Brampton Planning Area related to this
application have been referred to the Ministry
of Municipal Affairs for approval. Any
objections to these Official Plan Amendments
should be referred to the Ministry of Municipal
Affairs.



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 132-95

To amend By-law 139-84, as amended

The council of the Corporation of the City of Brampton
ENACTS as follows:

1. By-law 139-84, as amended, is hereby further amended:
 - (1) by changing on Sheet 6 of Schedule "A" thereto, the land use designation of the lands outlined on Schedule "A" to this by-law from "Residential Holding (RH)" and "Commercial One-Section 665" (C1-Section 665) to Service Commercial One - Section 799 (SC1-Section 799).
 - (2) by adding thereto, as SCHEDULE C - SECTION 799, SCHEDULE "B" to this by-law;
 - (3) by adding to Section 3.2 thereof, as a plan to be included in Schedule "C", the following "Schedule 'C' - Section 799";
 - (4) by adding thereto, the following section:

"799 The lands designated SC1-SECTION 799 ON Schedule "A" (Sheet 6) to this by-law:

799.1 shall only be used for the following purposes:

 - (i) a hotel,
 - (ii) an exhibition and trade hall;
 - (iii) an office;

- (iv) a retail establishment having no outside storage;
- (v) a personal service shop;
- (vi) a dry cleaning and laundry distribution station;
- (vii) a dining room, take-out or a standard restaurant;
- (viii) a printing or copying establishment;
- (ix) a place of commercial recreation; and,
- (x) purposes accessory to the other permitted purposes.

799.2 shall be subject to the following requirements and restrictions:

- (i) the combined total gross floor area for all purposes permitted under section 799.1(i) through 799.1(x) inclusive shall not exceed 56,500 square metres;
- (ii) the total gross floor area for the hotel, exhibition and trade hall uses permitted by section 799.1(i) and (ii) shall not exceed 31,600 square metres;
- (iii) the maximum building height for the hotel, exhibition and trade hall uses permitted by section 799.1 (i) and (ii) shall not exceed 17 storeys;

- (iv) the total gross area for the office purposes permitted by section 799.1 (iii) shall not exceed 13,914 square metres;
- (v) the maximum building height for the office purposes permitted by section 799.1 (iii) shall not exceed 12 storeys;
- (vi) the total gross floor area for the purposes permitted under section 799.1 (iv) to 799.1 (x) shall not exceed 10,956 square metres;
- (vii) the uses permitted by section 799.1 (iv) to 799.1 (ix) shall only be permitted in conjunction with the hotel; exhibition and trade hall; and office purposes permitted by section 799.1 (i) to 799.1 (iii);
- (viii) maximum floor space
index: 3.43;
- (ix) minimum front yard
depth: 1.0 metres;
- (x) minimum exterior side yard
width: 3.0 metres;
- (xi) minimum rear yard
depth: 8.0 metres;
- (xii) minimum interior side yard
depth: 1.0 metres;
- (xiii) (a) parking requirements shall be calculated using the following schedule:

A	B	C				D
LAND USE	Parking Spaces Required	Percent of Peak Period				Percent Reduction of Total Requirement
		Morning %	Noon %	Afternoon %	Evening %	
OFFICE	1 Space for every 31 square metres of gross commercial floor area	100	90	95	10	0
HOTEL (a) Rooms	1 space for every hotel room	80	70	10	100	0
(b) Common Areas	1 space for every 27 square metres of gross commercial floor area	80	100	50	70	50%
EXHIBITION AREA	1 space for every 9 square metres of gross commercial floor area	60	70	80	100	0
RETAIL	1 space for every 19 square metres of gross commercial floor area	80	70	80	80	50%
RESTAURANT USES	1 space for every 4.6 square metres of gross commercial floor area	10	100	20	10	25%

(b) the initial step in determining parking is to calculate the parking requirements for each use

specified in Column "A", by applying the standards contained in Column "B". The parking requirement for each use is then multiplied by the percent of peak period for each time period specified in Column "C". The parking requirement for each use is then reduced by the percentage factor identified in Column "D".

The maximum figure obtained from all the periods shall become the gross parking requirement for that specific mixed use development. The gross parking requirement is then reduced by a further 10% reflecting the estimate modal split;

- (xvi) the hotel use permitted by section 799.1 (i) shall only be permitted within the HOTEL BUILDING AREA shown on SCHEDULE C - SECTION 799;
- (xv) the office use permitted by section 799.1 (iii) shall only be permitted within the OFFICE BUILDING AREA shown on SCHEDULE C - SECTION 799;
- (xvi) all other uses permitted by section 799.1 (ii); (iv), (v), (vi); (vii); (viii); and, (ix) shall only be permitted within the EXHIBITION/TRADE HALL AND ACCESSORY USE AREA; HOTEL BUILDING AREA and OFFICE BUILDING AREA, shown on SCHEDULE C -SECTION 799;


- (xvii) the maximum building height within the EXHIBITION/TRADE HALL AND ACCESSORY USE AREA shown on SCHEDULE C - SECTION 799 shall be 3 storeys;
- (xviii) an adult entertainment parlour; an amusement arcade; or an adult video store shall not be permitted;
- (xix) all garbage and refuse including any containers for the pre-storage of recyclable materials shall be enclosed and screened from public rights-of-way;
- (xx) all garbage containers for restaurant uses shall be contained within a climate controlled area within the building areas outlined on SCHEDULE C-SECTION 799; and,
- (xxi) no outside storage shall be permitted;
- (xxii) LANDSCAPED BUFFER AREAS shall be provided and maintained at the locations outlined on SCHEDULE C - SECTION 799;
- (xxiii) a continuous landscaped open space area, 3.0 metres in width, shall be provided and maintained along the Hurontario Street frontage and northerly property limits, except at DRIVEWAY LOCATIONS as shown on SCHEDULE C - SECTION 799;

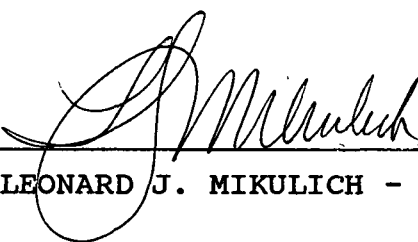
799.3 for the purposes of section 799:

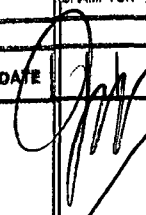
FLOOR SPACE INDEX shall mean the figure obtained by dividing the aggregate of the area of all floors in a building or structure, including above ground parking structures, between the exterior walls of such buildings or structures, by the area of the lot to be built upon.

799.4 shall also be subject to all the requirements and restrictions, and general provisions of this by-law which are not in conflict with section 799.2.

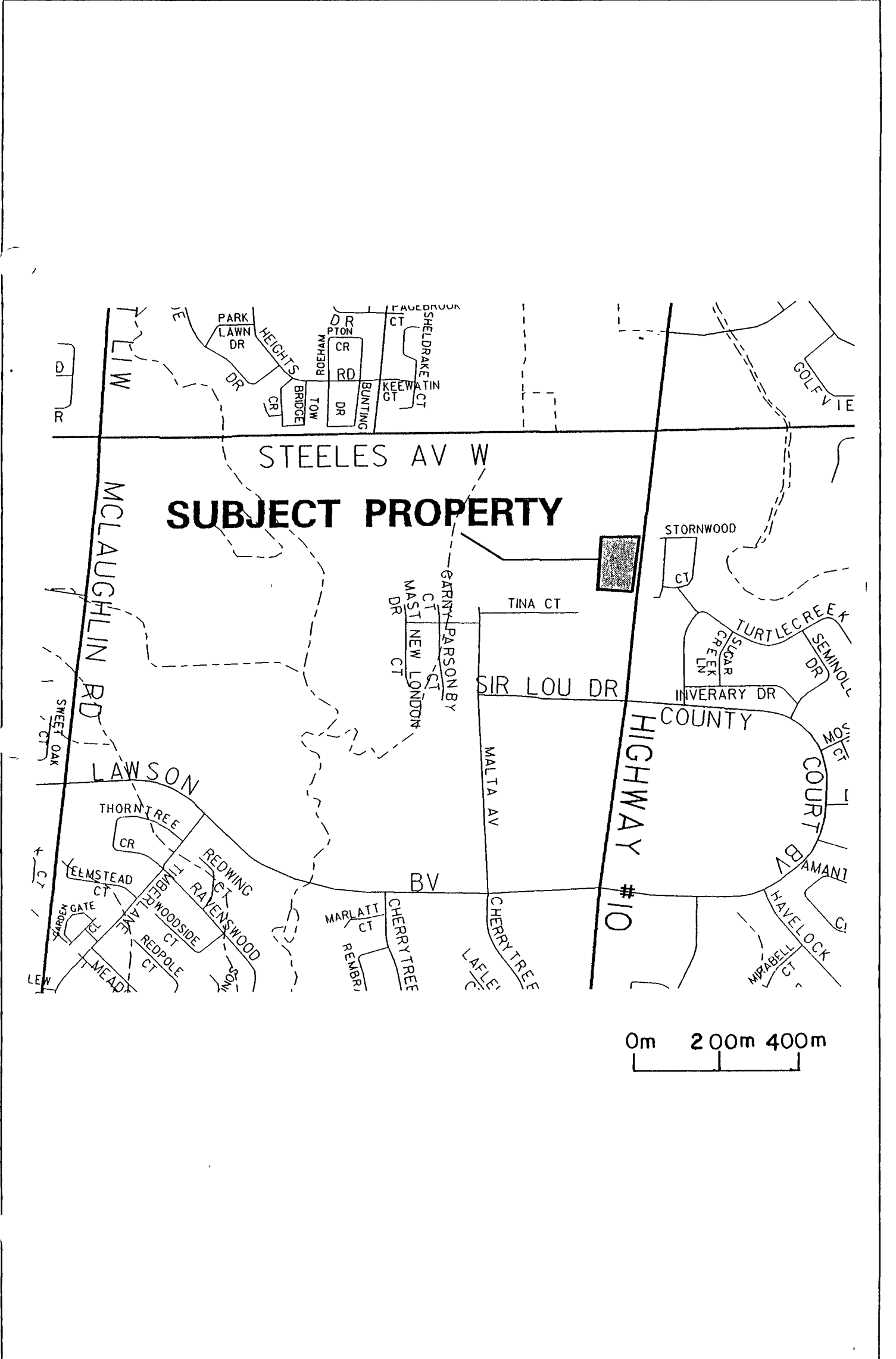
READ a FIRST, SECOND and THIRD time, and PASSED, in OPEN COUNCIL, this 12th day of June, 1995.


PETER ROBERTSON - MAYOR

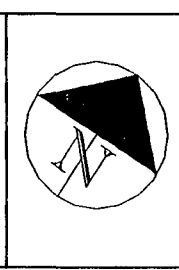

LEONARD J. MIKULICH - CLERK

APPROVED AS TO FORM LAW DEPT BRAMPTON
DATE 

09/95



Key Map By-Law 132-95



CITY OF BRAMPTON
 Planning and Development

Date. 1994 09 30 Drawn by: CJK
 File no. T1W15.23 Map no 75-42D

STEELES AVENUE WEST

LOT 13, R.P. 347

LOT 11,
R.P. 347

LOTS 5 & 6, R.P. 347

TURONTARIO STREET

±191.88m

127.73m

SC1- SECTION 799

135.94m

121.92m

128.50m

LOT 15,
R.P. 347-935

LOT 14, CH. 1 W.H.S.

LEGEND



ZONE BOUNDARY



CENTRELINE OF ORIGINAL ROAD ALLOWANCE

m

METRES

PART LOT 15, CONCESSION 1 W.H.S.

BY-LAW 139-84

SCHEDULE A

By-Law 132-95

Schedule A



CITY OF BRAMPTON

Planning and Building

Date: 1995 04 05

Drawn by: CJK

File no T1W15.23

Map no. 75-42J