



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number 97 - 2019

To amend Zoning By-law 270-2004, as amended

The Council of The Corporation of the City of Brampton, in accordance with the provisions of the *Planning Act*, R.S.O. 1990, c.P. 13, as amended, hereby ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:

(1) by changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

From:	To:
Institutional One (I1)	Institutional One Holding – Section 2920 (I1(H)-2920)

2) by adding thereto the following sections:

2920 The lands designated I1 (H) – 2920 on Schedule A to this By-law:

2920.1 Shall only be used for the purposes permitted in an I1 zone.

2920.2 Shall be subject to the following requirements and restrictions:

(1) The maximum cumulative occupancy load for a school use and all other principal or associated accessory uses shall be 1170 persons, in association with a principal building having a minimum gross floor area of 3827 square metres and a maximum of 6 portable classrooms.

(2) Notwithstanding Section 2920.2(1), the maximum cumulative occupancy load may be exceeded for the purpose of permitting occasional special events accessory to the school use, including but not limited to, parent-teacher interviews, assemblies, and graduation ceremonies.

2920.3 Until such time as the Holding Symbol (H) has been removed the lands zoned I1(H) - 2920 shall be subject to the following requirements and restrictions:

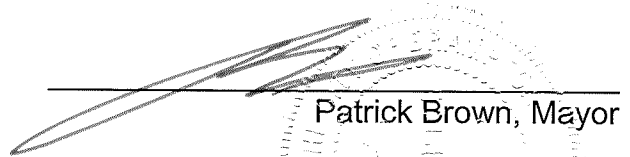
- (1) The maximum cumulative occupancy load for a school use and all other principal or associated accessory uses shall be 1060 persons, in association with a principal building having a minimum gross floor area of 2392 square metres and a maximum of 13 portable classrooms with a combined maximum gross floor area of 936 square metres;
- (2) Notwithstanding Section 2920.3(1), the maximum cumulative occupancy load may be exceeded for the purpose of permitting occasional special events accessory to the school use, including but not limited to, parent-teacher interviews, assemblies, and graduation ceremonies.

2920.4 The Holding Symbol (H) --shall not be removed until such time as the principal building has been increased in size to a minimum gross floor area of 3827 square metres in association with an approved site plan demonstrating the ability of the site to accommodate: the increased maximum occupancy load; the increased gross floor area of the main building; and the number and location of any portable classrooms.”


ENACTED and PASSED this 8<sup>th</sup> day of May, 2019.

Approved as to  
form.  
2019/04/09  
AG D'Andrea

Approved as to  
content.  
2019/04/02  
AAP



Patrick Brown, Mayor



Peter Fay, City Clerk

(fCI18-003)

MADISON STREET

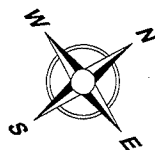
I1(H)-2920

MAITLAND STREET

LEGEND

—— ZONE BOUNDARY

**PART LOTS 8 & 9, CONCESSION 4 E.H.S.**



**CITY OF BRAMPTON**

Planning and Development Services

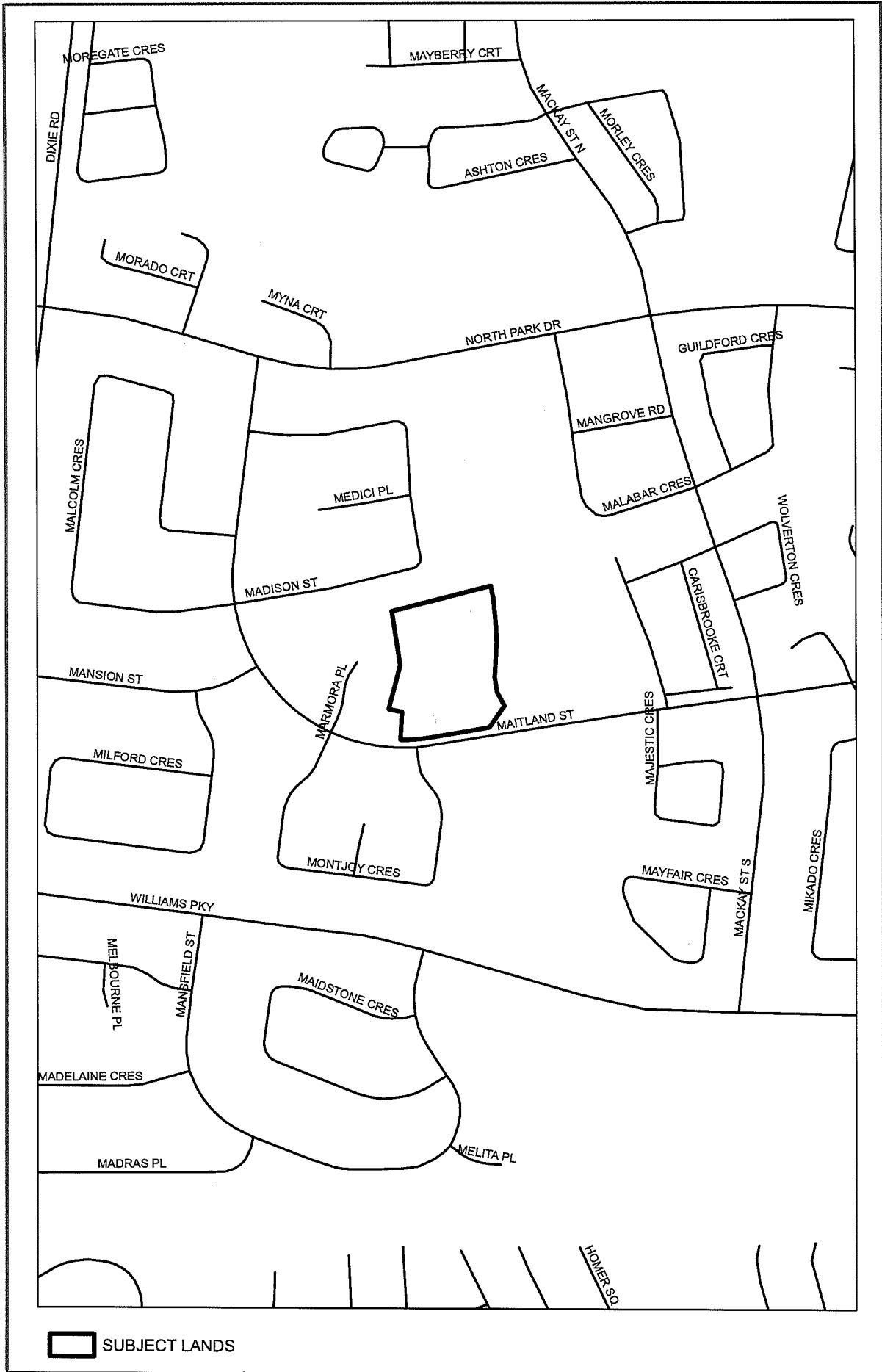
Date: 2019 03 29

Drawn by: CJK

**By-Law** 97-2019

**Schedule A**

File no. C18.003\_ZBLA




**BRAMPTON**  
 Flower City  
 PLANNING AND DEVELOPMENT SERVICES  
 File: C118.003\_ZKM  
 Date: 2019.03.29  
 Drawn By: CJK

**KEY MAP**  
 BY-LAW 97-2019

IN THE MATTER OF the *Planning Act*, R.S.O.  
1990, as amended, section 34;

AND IN THE MATTER OF the City of Brampton By-law 97-2019 being  
a by-law to amend Comprehensive Zoning By-law 270-2004, as amended,  
Khalsa Community School – Ward 7  
(File C118.003)

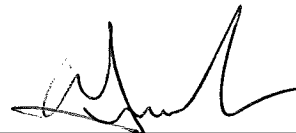
DECLARATION

I, Charlotte Gravlev, Deputy City Clerk, City of Brampton, in the Region of Peel, hereby  
make oath and say as follows:

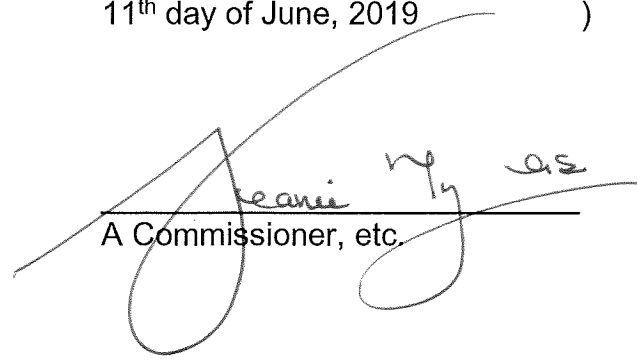
1. I am the Deputy City Clerk of The Corporation of the City of Brampton and as  
such have knowledge of the matters herein declared:
2. By-law 97-2019 was passed by the Council of The Corporation of the City of  
Brampton at its meeting held on the 8<sup>th</sup> day of May, 2019.
3. Written notice of By-law 97-2019 as required by section 34 of the *Planning Act*  
was given on the 15<sup>th</sup> day of May, 2019, in the manner and in the form and to the  
persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
4. No notice of appeal was filed under section 34 of the *Planning Act* on or before  
the final date for filing objections.
5. By-law 97-2019 is deemed to have come into effect on the 8<sup>th</sup> day of May, 2019, in  
accordance with Section 34 of the *Planning Act*, R.S.O. 1990, as amended.

And I make this solemn declaration conscientiously believing it to be true and knowing  
that it is of the same force and effect as if made under oath.

DECLARED before me at the )  
City of Brampton in the )  
Region of Peel this )  
11<sup>th</sup> day of June, 2019 )



Charlotte Gravlev



A Commissioner, etc.

Jeanie Cecilia Myers,  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton.  
Expires April 8, 2021.

