



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 96 - 2019

To amend Comprehensive Zoning By-law 270-2004

The Council of the Corporation of the City of Brampton ENACTS as follows
By-law 270-2004, as amended, is hereby further amended:

1. By changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

From:	To:
Agricultural (A)	Residential Single Detached E-14.0 - Section 2503 (R1E-14.0 - 2503)
	Residential Single Detached E-11.6 - Section 2505 (R1E-11.6- 2505)
	Residential Single Detached E-11.6 - Section 2915 (R1E-11.6- 2915)
	Residential Single Detached E-14.0 - Section 2916 (R1E-14.0- 2916)
	Floodplain (F)

By adding the following Sections:

"2915 The lands R1E-11.6-2915 on Schedule A to this by-law:

2915.1 Shall only be used for the following purposes:

- a) Uses permitted in a R1E-x zone.

2915.2 Shall be subject to the following requirements and restrictions:

- a) A balcony or porch, with or without a foundation or cold cellar, may encroach into the minimum required front yard or exterior side yard by a

- maximum of 1.8 metres but not closer than 1.2 metres to a daylighting triangle/rounding; and eaves and cornices of a balcony may project 0.6 metres beyond the wall of the balcony or porch;
- b) Bay windows, bow windows and box-out windows, with or without a foundation or cold cellar, may encroach a maximum of 1.0 metres into the minimum required front yard, rear yard and exterior side yard, and eaves and cornices may project 0.6 metres beyond the bay windows, bow windows, and box-out windows;
 - c) Notwithstanding Sections 13.4.2 (j) (3), (4) and (5) of the By-law:
 - i) The maximum cumulative garage door width for an attached garage shall be 5.05 metres and the maximum interior garage width shall be 5.65 metres, on lots equal to or greater than 11.6 metres but less than 12.5 metres in width;
 - ii) The maximum cumulative garage door width for an attached garage shall be 5.5 metres and the maximum interior garage width shall be 6.1 metres, on lots equal to or greater than 12.5 metres but less than 14 metres in width;
 - iii) The maximum interior garage width shall be 6.1 metres or 50% of the dwelling unit width, whichever is greater, on lots equal to or greater than 14 metres in width;
 - d) The minimum building setback to a daylighting triangle/rounding shall be 1.2 metres;
 - e) The minimum lot width of a lot abutting a daylighting triangle shall be 11.0 metres;
 - f) The minimum exterior side yard width shall be 2.4 metres
 - g) The maximum building height shall be 11.6 metres;
 - h) For the purposes of Subsection 2915.2 g), building height shall mean the vertical distance measured from the average finished grade at the front elevation to:
 - i) In the case of a flat roof, the highest point of the roof surface;
 - ii) In the case of a mansard roof, the deck line; or,
 - iii) In the case of a peaked, gabled, hip, or gabelled roof, the mean height level between eaves and ridge;

2915.3 Shall also be subject to the requirements and restrictions relating to the R1E-11.6 zone and all the general provisions of this by-law, which are not in conflict with those set out in Section 2915.2.”

“2916 The lands R1E-14.0-2916 on Schedule A to this by-law:

2916.1 Shall only be used for the following purposes:

- a) Uses permitted in a R1E-x zone.

2916.2 Shall be subject to the following requirements and restrictions:

- a) A balcony or porch, with or without a foundation or cold cellar, may encroach into the minimum required front yard or exterior side yard by a maximum of 1.8 metres but not closer than 1.2 metres to a daylighting triangle/rounding; and eaves and cornices of a balcony may project 0.6 metres beyond the wall of the balcony or porch;
- b) Bay windows, bow windows and box-out windows, with or without a foundation or cold cellar, may encroach a maximum of 1.0 metres into the minimum required front yard, rear yard and exterior side yard, and eaves and cornices may project 0.6 metres beyond the bay windows, bow windows, and box-out windows;
- c) The minimum lot width of a lot abutting a daylighting triangle shall be 13.0 metres;
- d) The minimum building setback to a daylighting/rounding shall be 1.2 metres;
- e) The maximum building height shall be 11.6 metres;


- f) For the purposes of Subsection 2916.2 e), building height shall mean the vertical distance measured from the average finished grade at the front elevation to:
 - i) In the case of a flat roof, the highest point of the roof surface;
 - ii) In the case of a mansard roof, the deck line; or,
 - iii) In the case of a peaked, gabled, hip, or gabelled roof, the mean height level between eaves and ridge.
- g) For the purpose of Section 2916.2, the front lot line of a corner lot shall be deemed to be the lot line equal to or greater than 11.0 m but less than 30.0 metres.”

2916.3 Shall also be subject to the requirements and restrictions relating to the R1E-14.0 zone and all the general provisions of this by-law, which are not in conflict with those set out in Section 2916.2.”

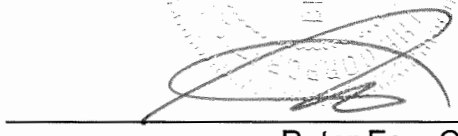
ENACTED and PASSED this 8th day of May, 2019.

Approved as to form. 2019/04/08 AWP
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Approved as to content. 2019/04/02 AAP

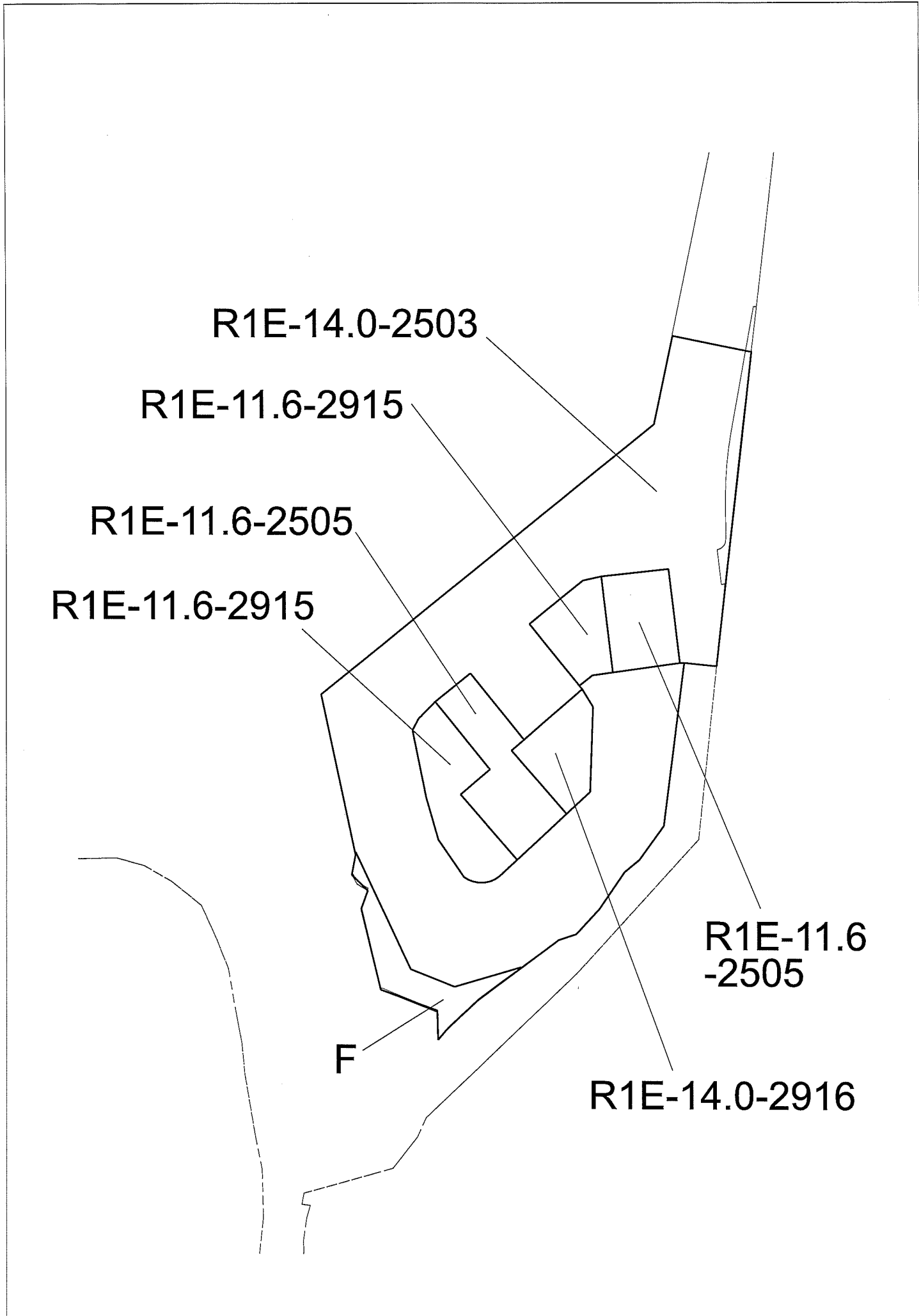


Patrick Brown, Mayor



Peter Fay, City Clerk

(C05W07.006)



LEGEND

—— ZONE BOUNDARY

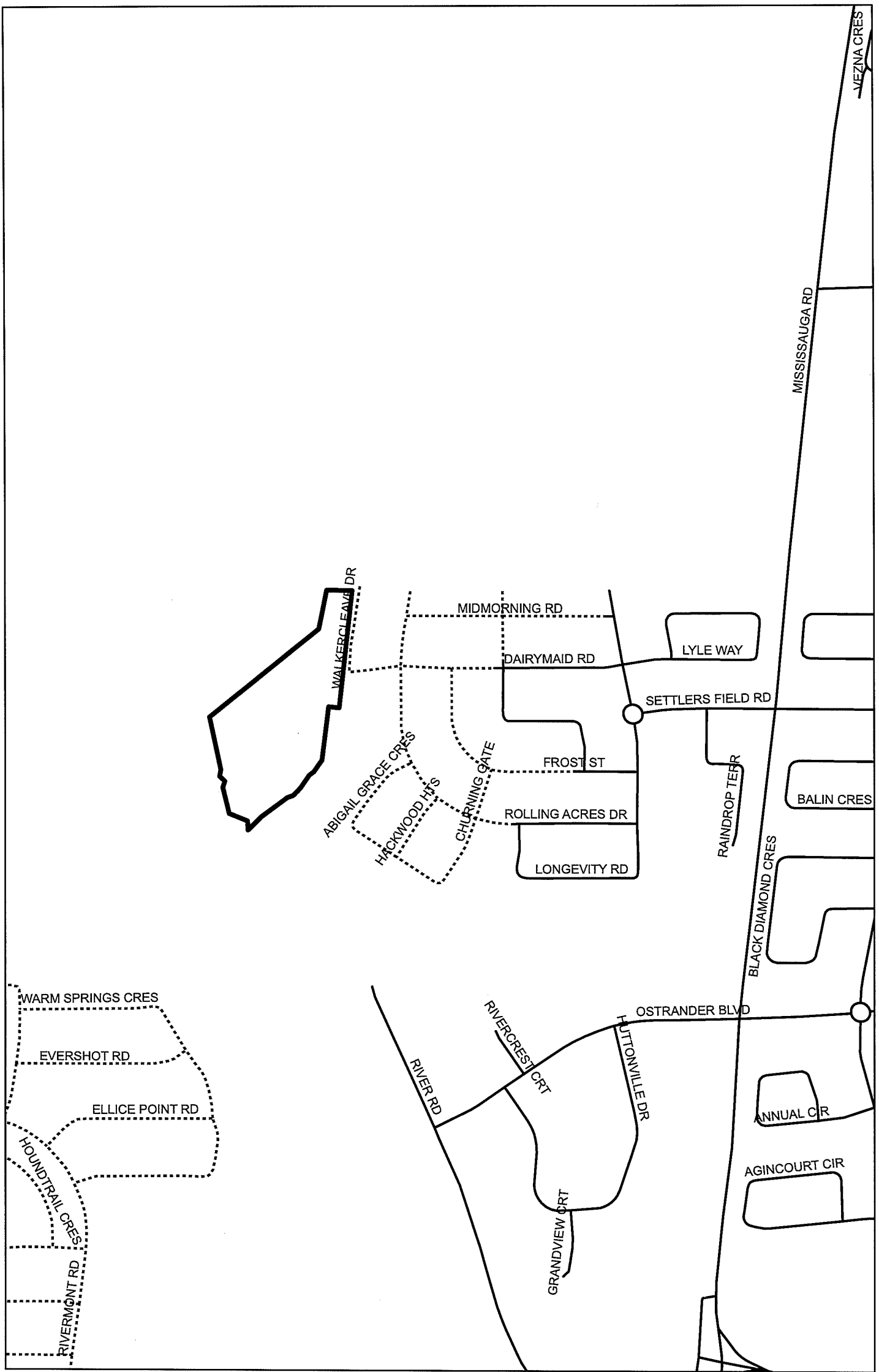
PART LOT 7 & 8, CONCESSION 5 W.H.S.



CITY OF BRAMPTON
 Planning and Development Services

Date: 2019 03 15 Drawn by: CJK
 File no. C05W07.006_ZBLA

By-Law 96-2019 **Schedule A**



 SUBJECT LANDS

IN THE MATTER OF the *Planning Act*, R.S.O.
1990, as amended, sections 17 and 34;

AND IN THE MATTER OF the City of Brampton By-law 95-2019 being a by-law to adopt Official Plan Amendment OP2006-158, and By-law 96-2019 to amend Zoning By-law 270-2004, as amended – KLM Planning Partners Inc. – Four X Developments Inc.
(C05W07.006)

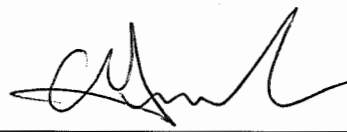
DECLARATION

I, Charlotte Gravlev, Deputy City Clerk, City of Brampton, in the Region of Peel, hereby make oath and say as follows:

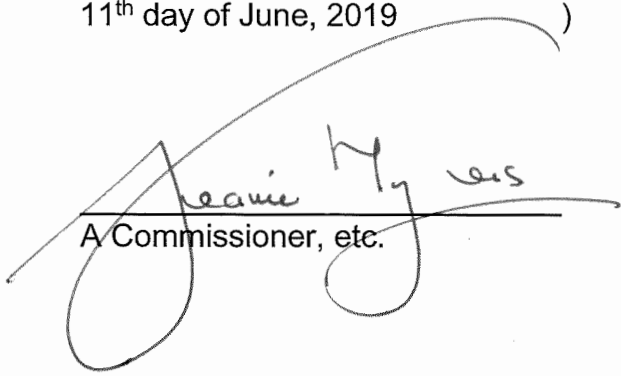
1. I am the Deputy City Clerk of The Corporation of the City of Brampton and as such have knowledge of the matters herein declared.
2. By-law 95-2019 was passed by the Council of the Corporation of the City of Brampton at its meeting on the 8th day of May, 2019, to adopt Amendment Number OP2006-158 to the 2006 Official Plan.
3. By-law 96-2019 was passed by the Council of the Corporation of the City of Brampton at its meeting held on the 8th day of May, 2019, to amend Zoning By-law 270-2004, as amended.
4. Written notice of By-law 95-2019 as required by section 17(23) of the *Planning Act* was given on the 15th day of May, 2019, in the manner and in the form and to the persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
5. Written notice of By-law 96-2019 as required by section 34(18) of the *Planning Act* was given on the 15th day of May, 2019, in the manner and in the form and to the persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
6. No notice of appeal was filed under section 17(24) and section 34(19) of the *Planning Act* on or before the final date for filing objections.
7. In all other respects, the Official Plan Amendment and Zoning By-law have been processed in accordance with all of the *Planning Act* requirements including regulations for notice.
8. OP2006-158, adopted by By-law 95-2019, is deemed to have come into effect on the 8th day of May, 2019, in accordance with Section 17(27) of the *Planning Act*, R.S.O. 1990, as amended.
9. Zoning By-law 96-2019 is deemed to have come into effect on the 8th day of May, 2019, in accordance with Section 34(21) of the *Planning Act*, R.S.O. 1990, as amended.

And I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

DECLARED before me at the)
City of Brampton in the)
Region of Peel this)
11th day of June, 2019)



Charlotte Gravlev



A Commissioner, etc.

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021.

