



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 99 - 2016

To amend Comprehensive Zoning By-law 270-2004, as amended:

The Council of The Corporation of the City of Brampton, in accordance with the provisions of the *Planning Act*, R.S.O. 1990, c.P. 13, hereby ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:

(1) by changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

From:	To:
COMMERCIAL THREE – SECTION 2294 (C3-SECTION 2294) and HIGHWAY COMMERCIAL ONE- SECTION 2295 (HC1-SECTION 2295)	HIGHWAY COMMERCIAL ONE-SECTION 2295 (HC1-SECTION 2295) and COMMERCIAL THREE –SECTION 2294 (C3-SECTION 2294)

(2) by deleting and replacing Section 2293.2 (13), and adding Section 2293. 2 (14) as follows:

“(13) Air conditioning units are permitted to be located on a balcony or in the front yard; and,

(14) Parking for a use permitted under Section 2293.1 (5) shall be provided as follows:

(i) 2.15 spaces per dwelling unit, inclusive of visitor parking.”

(3) by deleting Section 2295.1 (5) and replacing it with the following:

“(5) For the purposes of this by-law, Sandalwood Parkway West shall be deemed to be the front yard;”

(4) by deleting Section 2295.1 (6) (ii) and replacing it with the following:

“(ii) no landscaped open space area is required abutting an interior lot line; and,”

(5) by deleting and replacing Section 2295.1 (7) and Section 2295.1 (8), and by adding Section 2295.1 (9) to Section 2295.1 (13) as follows:

- "(7) Maximum Building Height: 2 storeys;
- (8) No underground or aboveground storage tanks for gasoline or propane, intake valves or fume exhaust outlets shall be located in the minimum required yards adjacent to any residential zones;
- (9) Minimum Lot Width – 30 metres;
- (10) Minimum Number of Parking Spaces- 23 spaces;
- (11) Minimum Number of Stacking Spaces for a Drive-Through Facility and Car Wash Facility- 7 spaces;
- (12) A loading space shall be permitted within the exterior side yard; and,
- (13) A restaurant patio canopy as an accessory structure shall be permitted in the front and exterior side yards."

(6) by deleting Section 2296 and replacing it with the following:

"2296 The lands designated R4A(3)-Section 2296 on Schedule A to this by-law:

2296.1 Shall only be used for the following:

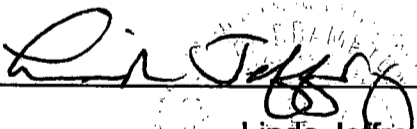
- (1) an apartment dwelling; and,
- (2) purposes accessory to the other permitted purposes.

2296.2 Shall be subject to the requirements and restrictions of Section 2293.3"

READ a FIRST, SECOND and THIRD TIME, and PASSED in OPEN COUNCIL, this 8TH day of June 2016.

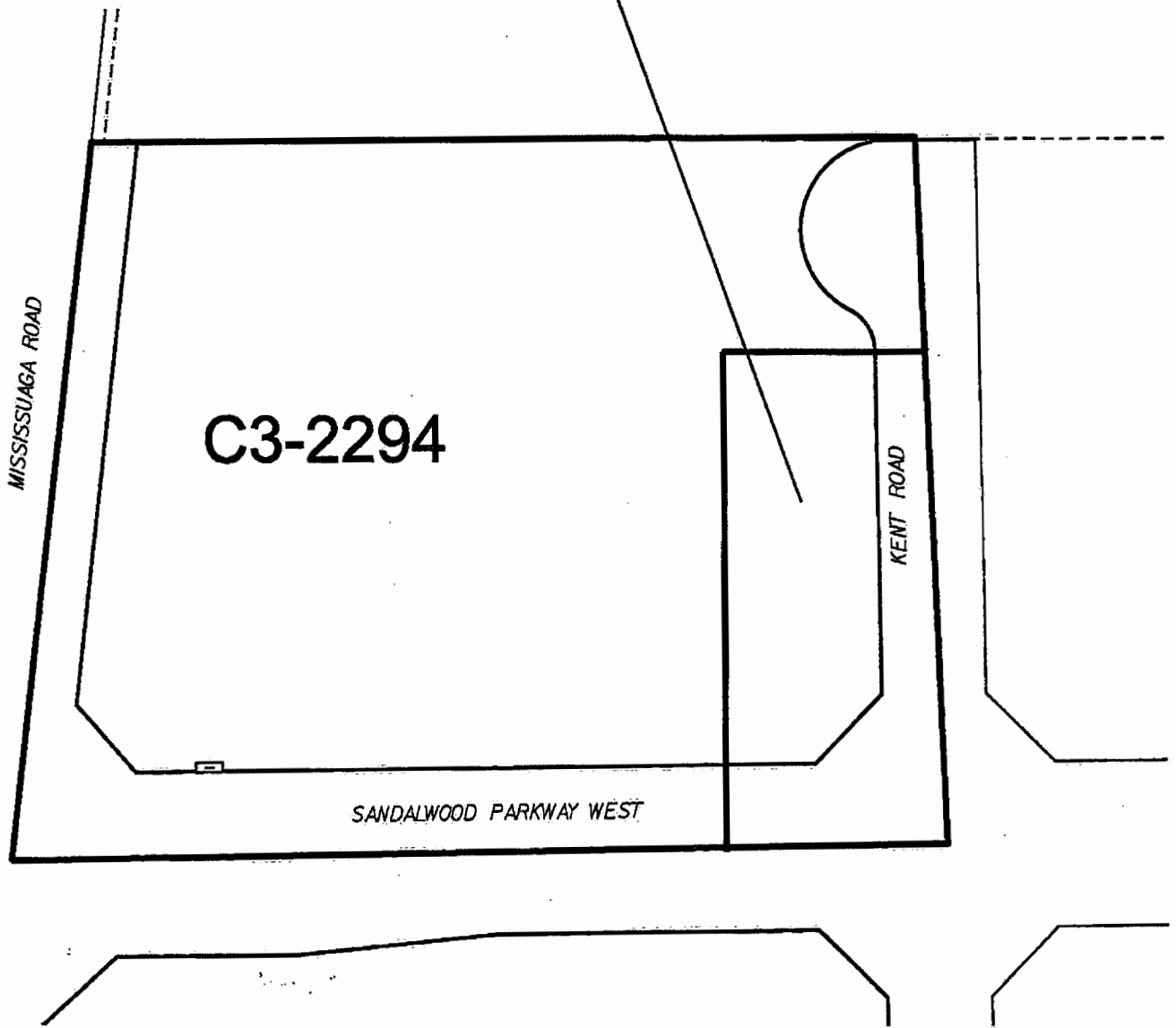
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Approved as to form.
31/05/16
MR
Matthew Rea

Approved as to content.
30/05/16
AP
Allan Parsons


Linda Jeffrey, Mayor


Peter Fay, City Clerk

HC1-2295



LEGEND

— ZONE BOUNDARY

PART LOT 14, CONCESSION 4 W.H.S.



CITY OF BRAMPTON
Planning and Infrastructure Services

Date: 2016 05 09

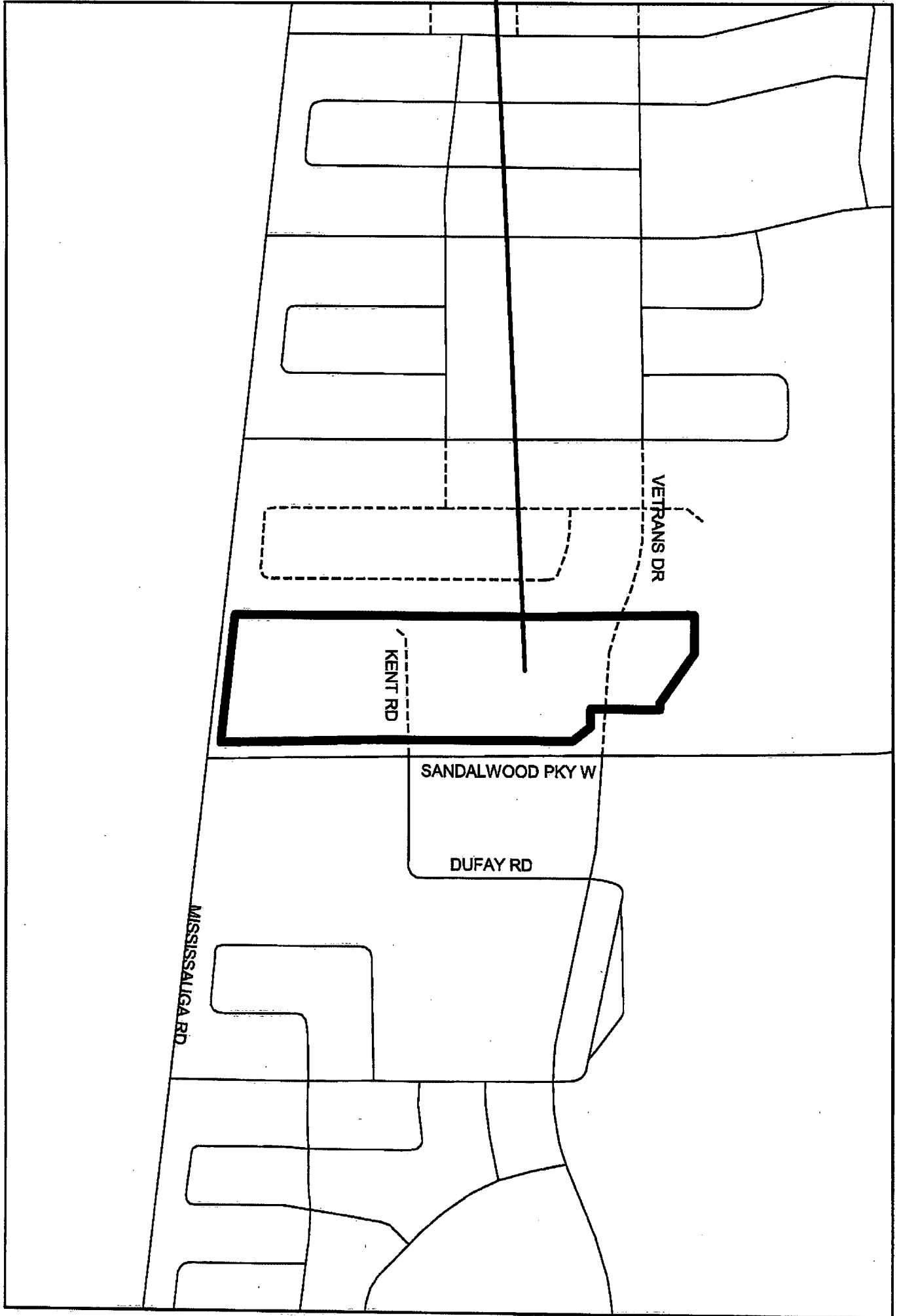
Drawn by: CJK

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Schedule A

File no. C04W14.008_ZBLA

SUBJECT LANDS



 SUBJECT LANDS BUILT STREETS PROPOSED STREETS



Date: 2016 05 09 Drawn By: CJK
File: C04W14.008_ZKM

Key Map By-Law 99-2016