



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 178-2014

To amend By-law 270-2004, as amended

The Council of The Corporation of the City of Brampton, in accordance with the provisions of the *Planning Act*, R.S.O. 1990, c.P. 13, hereby ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:

(1) by changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

From:	To:
Agricultural (A), Residential Single Detached F – 11.6 – 2135 (R1F – 11.6 – 2135), Residential Single Detached F – 12.2 – 2136 (R1F-12.2-2136) and Residential Single Detached F – 13.7 – 2137 (R1F – 13.7 – 2137).	Residential Townhouse A – 2341 (R3A-2341), Residential Townhouse A – 2342 (R3A-2342) and Residential Townhouse A – 2487 (R3A-2487).

(2) by adding thereto the following sections:

“2341 The lands designated R3A-2341 on Schedule A to this by-law:

2341.1 Shall only be used for the purposes permitted in a R3A zone.

2341.2 Shall be subject to the following requirements and restrictions:

- (i) For the purpose of this section, the rear lot line is any lot line abutting lands zoned Floodplain (F);
- (ii) Minimum Lot Area: 225 square metres per dwelling unit;
- (iii) Minimum Lot Width: 15 metres;
- (iv) Minimum Rear Yard Depth: 4.0 metres;
- (v) Minimum Interior Side Yard Width: 1.9 metres;
- (vi) Minimum Rear Yard Depth to a Hydro Transformer: 1.2 metres;

- (vii) Maximum Building Height: 12 metres;
- (viii) Minimum Landscaped Open Space: 40% of the lot area;
- (ix) Maximum Lot Coverage: 35%;
- (x) Minimum Unit Width: 5.5 metres;
- (xi) Unenclosed porches and balconies, with or without cold cellars and foundations, may project a maximum of 1.8 metres into the minimum required interior side yard width; and,
- (xii) Bay windows, with or without foundations, not exceeding a width of 3.0 metres, and including chimney elements, cornices and roof eaves, may project a maximum of 1.0 metre into the minimum required interior side yard width.

2342 The lands designated R3A-2342 on Schedule A to this by-law:

2342.1 Shall only be used for the purposes permitted in a R3A zone.

2342.2 Shall be subject to the following requirements and restrictions:

- (i) For the purpose of this section, the rear lot line is any lot line abutting lands zoned Floodplain (F);
- (ii) Minimum Lot Area: 225 square metres per dwelling unit;
- (iii) Minimum Rear Yard Depth: 1.7 metres;
- (iv) Minimum Front Yard Depth: 5.0 metres;
- (v) Maximum Building Height: 12 metres;
- (vi) Minimum Landscaped Open Space: 35% of the lot area;
- (vii) Maximum Lot Coverage: 35%;
- (viii) Minimum Unit Width: 5.5 metres;
- (ix) Unenclosed porches and balconies, with or without cold cellars and foundations, may project a maximum of 1.8 metres into the minimum required front yard depth or interior side yard width; and,
- (x) Bay windows, with or without foundations, not exceeding a width of 3.0 metres, and including chimney elements, cornices and roof eaves, may project a maximum of 1.0 metre into the minimum required front yard depth or interior side yard width.

2487 The lands designated R3A-2487 on Schedule A to this by-law:

2487.1 Shall only be used for the purposes permitted in a R3A zone.

2487.2 Shall be subject to the following requirements and restrictions:

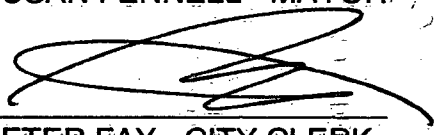
- (i) For the purposes of this section, the front lot line is the westerly lot line abutting the Ontario Hydro Corridor;

- (ii) Minimum Rear Yard Depth: 3.9 metres;
- (iii) Maximum Building Height: 12 metres;
- (iv) Minimum Landscaped Open Space: 38% of the lot area;
- (v) Minimum Unit Width: 5.5 metres;
- (vi) Unenclosed porches and balconies, with or without cold cellars and foundations, may project a maximum of 1.8 metres into the minimum required front yard depth, exterior side yard width or rear yard depth;
- (vii) Bay windows, with or without foundations, not exceeding a width of 3.0 metres, and including chimney elements, cornices and roof eaves, may project a maximum of 1.0 metre into the minimum required front yard depth or exterior side yard width; and,
- (viii) The minimum setback to a hydro transformer within the rear yard, interior side yard or exterior side yard is 2.0 metres.

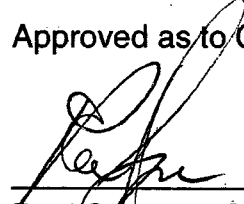
2487.3 Notwithstanding Section 6.6 of the By-law, lands zoned R3A-2487 shall be exempt from fronting upon a public street, provided that access to the subject lands is provided by a private road."

READ a FIRST, SECOND and THIRD TIME, and PASSED in OPEN COUNCIL, this 18TH day of June, 2014.

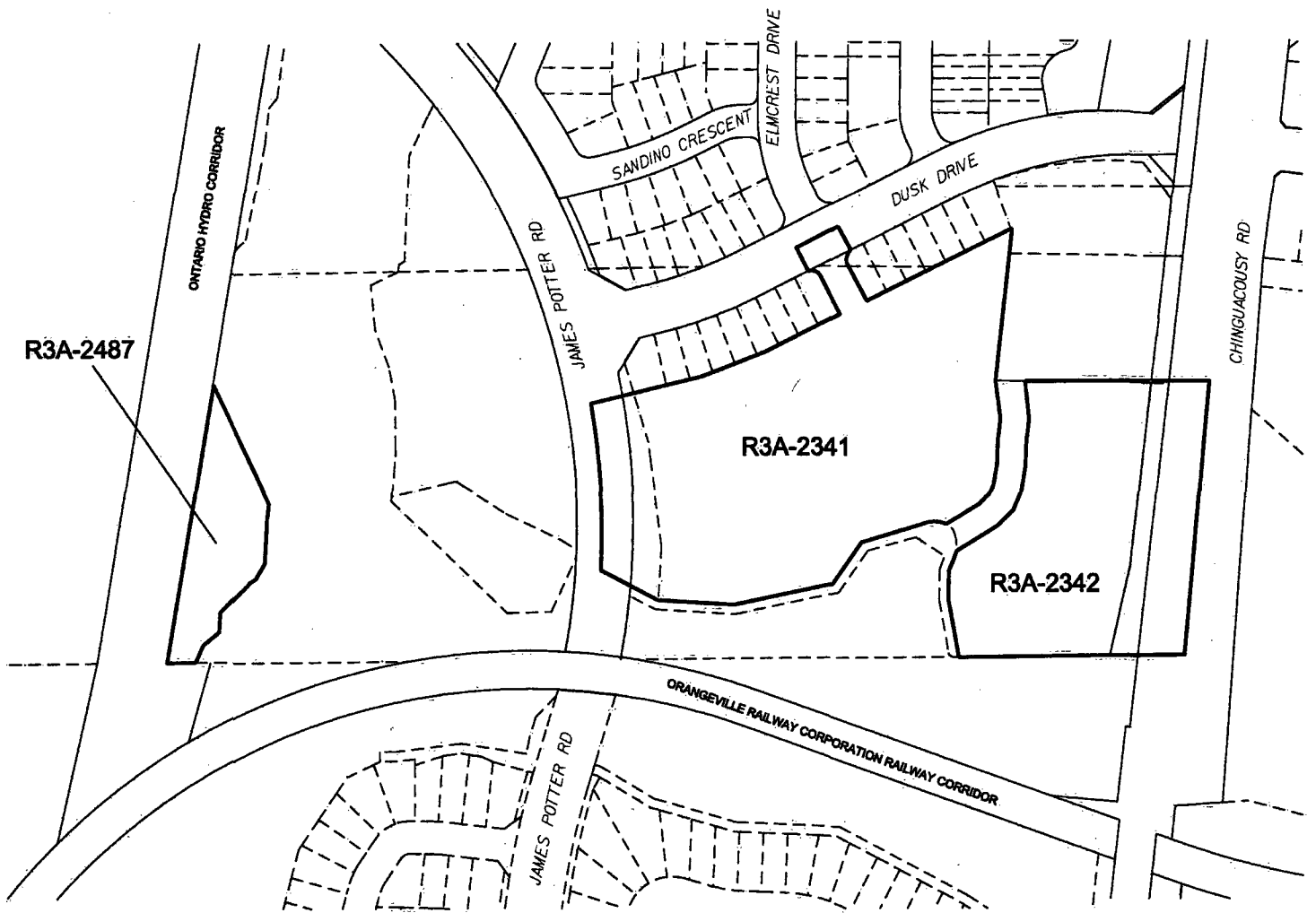

SUSAN FENNEL - MAYOR


PETER FAY - CITY CLERK

Approved as to Content:


Paul Snape, MCIP, RPP
Director of Development Services,
Planning and Building Division

APPROVED AS TO FORM
BY: <u>T.Z.</u>
LEGAL SERVICES
DATE: <u>05/06/14</u>



LEGEND

—— ZONE BOUNDARY

PART LOT 3, CONCESSION 3 W.H.S.

By-Law 178-2014

Schedule A



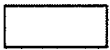
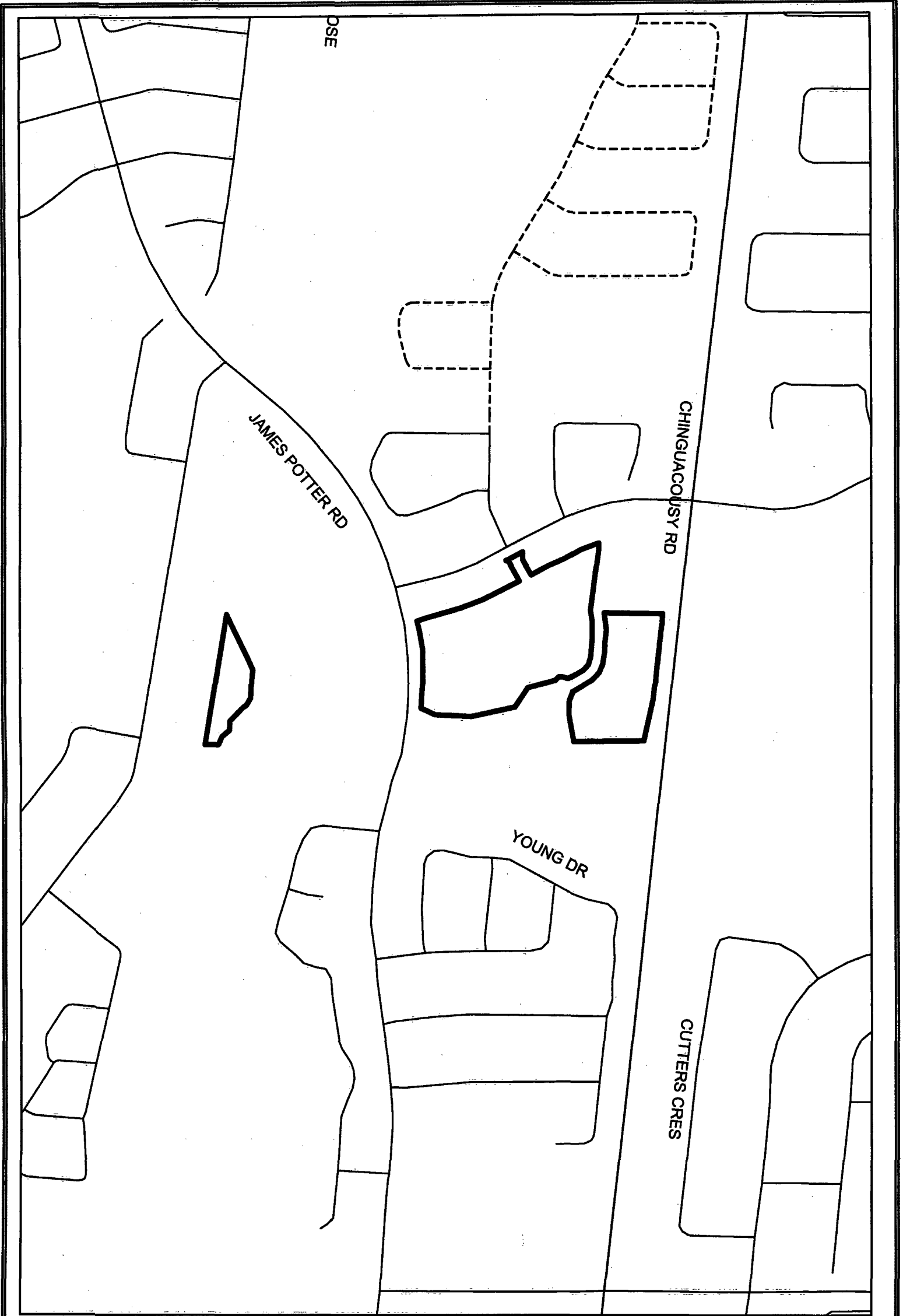
CITY OF BRAMPTON

Planning, Design and Development

Date: 2014.05.14

Drawn by: CJK

File no. C03W03.007zbla_part2



SUBJECT LANDS



PROPOSED STREETS



BUILT STREETS



PLANNING,
DESIGN &
DEVELOPMENT



Date: 2014 04 08 Drawn By: CJK
File: C03W03.007zkm_pt2

Key Map By-Law 178-2014

IN THE MATTER OF the *Planning Act*, R.S.O.
1990, as amended, section 34;

AND IN THE MATTER OF the City of Brampton By-law 178-2014 being
a by-law to amend Comprehensive Zoning By-law 270-2004, as amended,
Glen Schnarr & Associates Inc. – DiBlasio Corporation – Ward 6
(File C03W03.007)

DECLARATION

I, Earl Evans, Deputy Clerk, City of Brampton, in the Region of Peel, hereby make oath
and say as follows:

1. I am the Deputy Clerk of The Corporation of the City of Brampton and as such
have knowledge of the matters herein declared:
2. By-law 178-2014 was passed by the Council of The Corporation of the City of
Brampton at its meeting held on the 18th day of June, 2014.
3. Written notice of By-law 178-2014 as required by section 34 of the *Planning Act*
was given on the 3rd day of July, 2014, in the manner and in the form and to the
persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
4. No notice of appeal was filed under section 34 of the *Planning Act* on or before the
final date for filing objections.
5. By-law 178-2014 is deemed to have come into effect on the 18th day of June, 2014, in
accordance with Section 34 of the *Planning Act*, R.S.O. 1990, as amended.

And I make this solemn declaration conscientiously believing it to be true and knowing
that it is of the same force and effect as if made under oath.

DECLARED before me at the)
City of Brampton in the)
Region of Peel this)
13th day of August, 2014)



Earl Evans



Jeanie Myers
A Commissioner, etc.

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario, for the
Corporation of the City of Brampton.
Expires April 8, 2016.