

Approval Stamp

block plan 40-3 riverview heights
community design guidelines (CDG)
document - open space + architectural
design guidelines

Stage 2

City File #C05W05.006

City Block Plan #P20BP.40-3.001

July 2012

FLOWER CITY



BRAMPTON.CA

prepared by: The **Planning** Partnership

Explanatory Note:

- The text and images contained in this document are only a conceptual representation of the intended vision and character of the development. In this regard, they should not be construed or interpreted literally as to what will be constructed. Furthermore, this information may not, under any circumstances, be duplicated in promotional literature for marketing of the community.
- Although these guidelines represent current City standards, as well as proposed alternative design standards, for various community design elements at the time of issue of this document, final designs may vary from standards shown in these guidelines as requirements in technology, safety and construction codes may have been updated over the application approval period, which may have a duration of 3-5 years or longer. Some examples of such community design elements are street lighting fixtures and street signs, road cross-sections and construction standards, utility locations, fencing standards, associated construction methodologies and plant material selections.
- These guidelines are for the use of the original residential builder, however, subsequent homeowners are encouraged to abide by these guidelines should any alteration be contemplated to the exterior of the dwelling as originally approved, and that the proposed design and construction will be in compliance with all other authorities having jurisdiction.

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Figure 1. Study Area

1.1 Purpose of This Document

This document, the Riverview Heights Community Design and Architectural Control Guidelines (CDG), will provide detailed guidance on the development and design of the community. These guidelines are specific to the Riverview Heights Community and have been developed utilizing the City's approved Development Design Guidelines (DDG) document as their basis. The City's DDG has been carefully consulted and its basic components have been reflected in the Riverview Heights CDGs. This document (CDG) should be viewed as an appendix to the City's guidelines (DDG) in that it applies and expands upon that document as appropriate for the Riverview Heights community factoring in the vision, topography, context, natural heritage features, and the land uses planned for the Riverview Heights community.

The planning process for the Riverview Heights Community has involved input from the landowners group, their consultants, the Credit Valley Conservation Authority, the Region and the City of Brampton staff and council. The City's approval process for this block involves two stages of Block Plan approval before a subdivision or site plan can be approved. The Stage 1 block plan approval process established the land uses and road structure for the community. The Community Design Framework (CDF) document, prepared by the Planning Partnership in July 2008 was endorsed by Council in January 2010 along with other studies required for Stage 1 Block Plan approval. The CDF document provided the design vision for the community.

The Riverview Heights Community Design and Architectural Control Guidelines (CDG) is required for Stage 2 Block Plan approval of the community and provides greater detail required for implementation of that vision. It will act as a tool for the implementation of the plan throughout the subdivision, site plan approval and construction stages by providing guidance for the built form, landscape and urban design, and the architectural review process. Each section of this document outlines the objectives, landscape details and urban design guidelines for the conditions described. The highest level of detail has been provided for those areas that make the Riverview Heights community distinct – the "special character areas" that were outlined in the 'vision' document.

The images included in this document are conceptual representations of the intended designs and should not be construed or interpreted literally as what will be constructed.

The following common terms used in this document regarding design criteria are: 'shall/will', 'should', and 'encouraged/discouraged/may'. These terms are intended to have the following meaning with respect to compliance:

- 'Shall' / 'Will' - Guidelines using the words 'shall' or 'will' are mandatory and must be provided.
- 'Should' - Guidelines using the word 'should' are intended to be applied as stated. However, an alternative measure may be considered if it meets or exceeds the intent of the guideline.
- 'Encouraged' / 'Discouraged' / 'May' - Guidelines using the words 'encouraged,' 'discouraged,' or 'may' are desirable but not mandatory.

1.2 Study Area

1.2.1 Location

The Riverview Heights Block Plan consists of approximately 465 hectares of land in southwest Brampton and is generally located west of Mississauga Road, east of Heritage Road, north of Steeles Avenue and south of the Credit River Valley. Riverview Heights is identified as Block 40-3 in the City's Official Plan and is located within the Bramwest Secondary Plan area.

1.2.2 Context

The site is endowed with environmental features that provide the framework for the development of the new community, with the Credit River Valley on the north and Levi Creek moving through and to the west. Both systems are well defined and with additional features such as woodlots and wetlands, provide the basis for a community that will be truly connected to the environment. Nearby heritage features include the villages of Huttonville and Churchville. A portion of Huttonville is within the block boundary. Lionhead Golf Course is east of Mississauga Road and important new employment areas are being developed to the south. To the west is the Maple Lodge Farms plant.

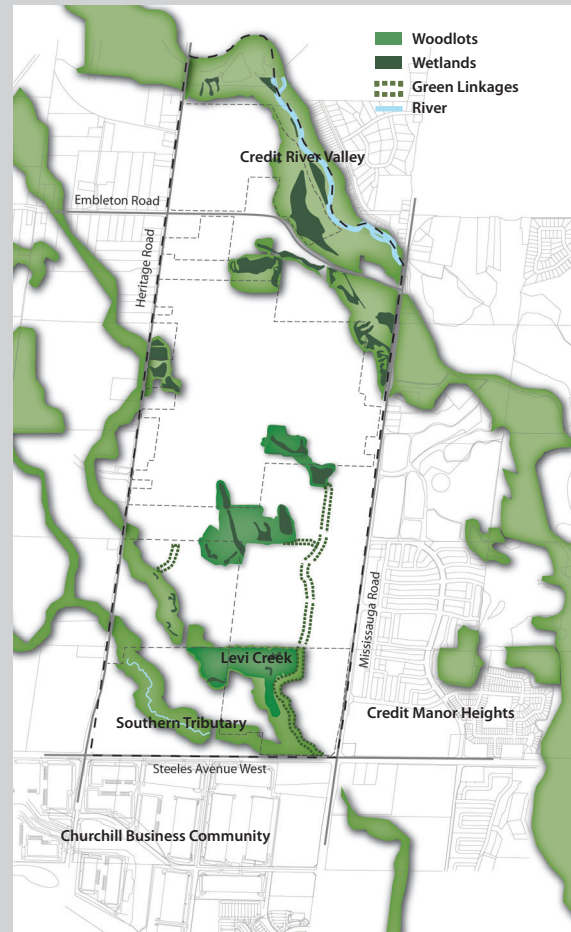


Figure 2. Context Plan

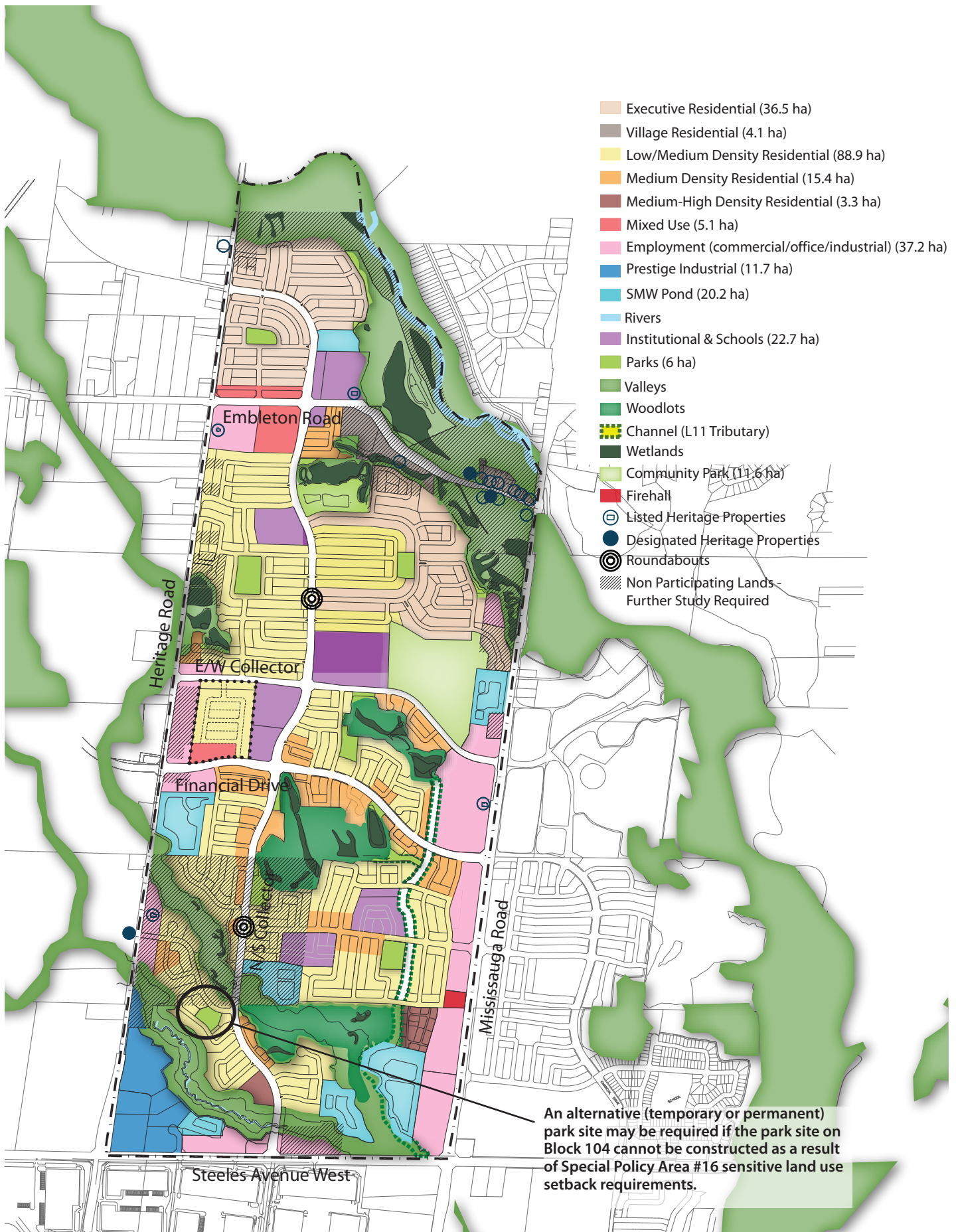


Figure 3. Riverview Heights - Land Use Plan

(See Appendix 6.2 for enlarged drawing)

1.3 Updates to the Community Design Framework

Since the completion and approval of the Community Design Framework (CDF), a number of areas have been further refined. The CDG brings a higher level of specificity to community wide public realm features not fully addressed in the CDF. Moreover, the CDG includes further detail on the special character areas.

While the CDG is based upon the previously approved CDF, it has evolved based on information learned since the approval of the CDF, as well as input gained from the City and the Conservation Authority. Additionally, further technical studies have been undertaken that provide the basis for a more detailed design of natural areas, pathways and SWM facilities.

1.4 Design Vision / Principles

The Community of Riverview Heights will be integrated into the existing natural environment found throughout site and surrounding community. It is primarily a residential community with a high percentage of lands given over to natural features, open space, parks and walkways. It will be designed as a highly pedestrian environment featuring linked parks and natural features, and some residential units facing onto parks and open space.

The protection and enhancement of the natural environment is a guiding strategy in the design of the community. By respecting and maintaining the existing features of the landscape, a higher quality of design can be achieved. This means that woodlots, ravines and other natural features should be highly visible and accessible where possible. This respect for the natural environment is manifested in the community design, which treats those features as fundamental amenities. The community becomes part of its surroundings rather than turning its back on the natural attributes that play an important role in shaping and defining its livability.

The proposed community plan for Riverview Heights has been developed in keeping with the best principles of environmental sustainability. As a result, the concept of neighbourhoods with distinct edges and centres is inherent in the design to promote walking and shorten automobile travel. The plan encompasses the full range of housing types and tenure as well as employment and retail facilities to generate a complete community of uses and to promote the concept of living and working within the same area. The existing arterial roads are important to the structure of the new community. Mississauga Road on the east, Steeles Avenue on the south and Heritage Road on the west generate clearly defined edges to the community. It should also be noted that the Credit River Valley, a major environmental feature of this area, defines the northern limit of the Community.

1.4.1 Concept Plan

The community design is characterized by neighbourhoods, each with its own recognizable edge and centre. The land use framework for Riverview Heights incorporates a number of important structuring elements, including:

- A multi-modal collector road system consisting of a north/south collector road that ties to Heritage Road at the north and Steeles Avenue in the south, as well as east/west road connections to Mississauga Road and Heritage Road;
- The Mississauga Road commercial corridor and the employment gateway at Steeles Avenue;
- A multi-modal street network of local roads in a modified grid that connects important features in the community and results in a permeable pedestrian environment;
- Community focuses at important locations, including major intersections, neighbourhood gathering places (parks) and employment areas;
- Neighbourhood focuses at the centre of each neighbourhood;
- Trails and pathways connecting to the surrounding natural features, employment, schools, stores, and other City Wide routes;
- Multi-use trails, on-street and off-street bicycle lanes;
- Abundant natural features, including: the Credit River Valley, Levi Creek water courses and the existing woodlots, wetlands and ponds;
- A major community park and recreational centre;
- Storm water management facilities as a component of the open space system; and,
- Two upscale executive housing areas.

The primary ambition of the Plan is to outline the design for a residential community, which has a sense of identity on two levels, one for the entire community and one for each of the neighbourhoods. The identity for the entire community is created by intensifying density and built form along the major streets to support the commercial centre and the transit system. The neighbourhood identities are distinct and linked to specific elements such as natural features, important streets or community amenities, specific to each neighbourhood.

Table 1. Supporting Documents

Report	Report Title	Report Author
Stage 1		
Archaeological	Stage 1 Archaeological Assessment & Summary Report (November 2009)	Archaeoworks Inc.
Cultural Heritage	Cultural Heritage Summary (May 2009)	Malone Given Parsons Ltd.
Environmental	Riverview Heights/Block 40-3 EIR – Environmental Impact Study (October 2008)	AECOM, SLR Consulting (Canada) Ltd.
Servicing	Functional Servicing Report (2008)	R.J. Burnside & Associates Ltd.
Transportation	Environmental Study Report Class EA	MMM Group
	Roundabout Feasibility Review (October 2009)	Ourston Roundabouts Canada
	Road Crossing Assessments: Levi Creek and Heritage Creeks in the Bramwest Study Area (May 2009)	Aquafor Beech Ltd.
Urban Design	Community Design Principles	The Planning Partnership
Traffic	Assessment of Employment Capacity Northwest Quadrant of Mississauga Road and Steeles Ave. Intersection (July 2008)	MMM Group
Employment	Employment Analysis Ornstock Developments Lands (August 2008)	urbanMetrics inc.
Stage 2		
Environmental	Environmental Implementation Report – Environmental Impact Study for Riverview Heights / Block 40-3, City of Brampton (September 2010)	AECOM, SLR Consulting (Canada) Ltd.
	Vegetation Assessment (August 2010)	SLR Consulting (Canada) Ltd.
Heritage	Heritage Impact Assessments for Ostrander and Spring Farm	Wayne Morgan
Noise	Preliminary Environmental Noise Report (July 30 2010)	Jade Acoustics
Servicing	Functional Servicing Report, City of Brampton Secondary Plan, Area 40 (Bram West), Riverview Heights (Block 40-3) (September 2010)	R.J. Burnside & Associates Ltd.
Transportation	Transportation Impact Assessment – Bram West Village of Riverview Heights (May 2010)	MMM Group
	Transportation Impact Assessment - Addendum Report (October 2010)	
	Roundabout Preliminary Design (Memo and Plans) (November 2010)	Ourston Roundabouts Canada
Urban Design	Community Design and Architectural Control Guidelines (pending)	The Planning Partnership
Maple Lodge Separation	Biosolid Separation Letter Report (March 3, 2009)	Barenco Inc.
	Biosolid Letter Report (December 2010)	Trow Associates Inc.

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conformity to development design
guidelines + dddg/cdg applicability plan

2.1 Conformity to Development Design Guidelines

These Community Design Guidelines (CDG) will serve as a supplement to the City of Brampton's Development Design Guidelines (DDG) and their Architectural Control Guidelines for Ground-Related Residential Development (ACGRRD). The CDG's will explore urban design aspects that are unique to Riverview Heights, are largely non-standard and complement the guidelines by providing more detailed urban design guidance and built form direction for the special study areas identified in the plan, as well as community wide special features such as Parks, Community Mailboxes, Channels, Storm Water Management Ponds, Trail heads and Trail Systems and Pathways.

The special character areas are portions of the plan that are unique to the Riverview Heights community and are identified on the map on the facing page. These areas include:

- Upscale Executive Housing Areas - (north and south of Embleton Road)
- Mississauga Road - (employment, commercial and service commercial areas)
- Steeles Avenue West - (prestige industrial and service commercial areas)
- Financial Drive / N-S Collector Road
- Embleton Road
- Heritage Road - (residential and commercial areas)
- The Community Park

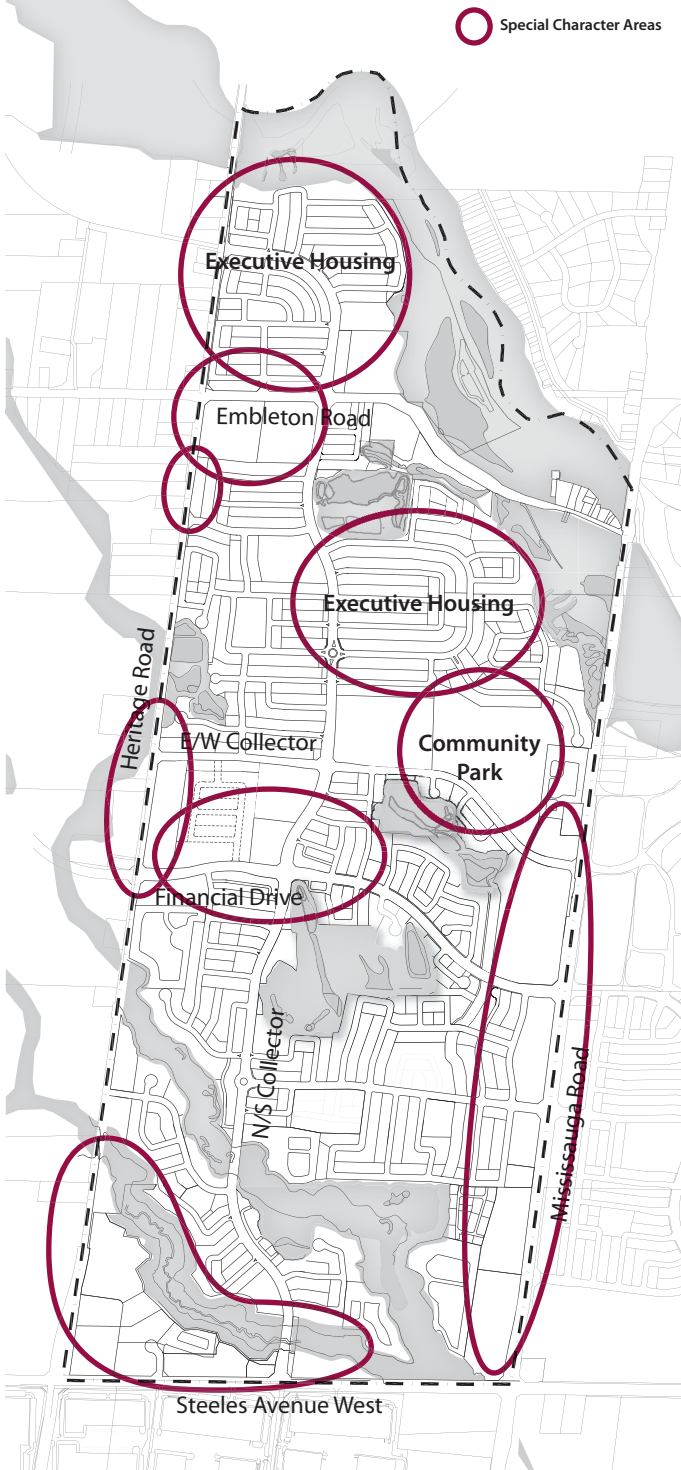


Figure 4. Special Character Areas



2.2 DDG's/CDG's Applicability Plan

The design approach to traditional community development is directed by the DDG's and ACGRRD's. Specifically, Part V - Block Plan Design Guidelines of the DDG's provides a comprehensive list of guidelines related to:

- Community Structure
- Open Space System
- Street Network
- Streetscapes
- Edges and Gateways

The accompanying DDG/CDG diagram indicates how the documents interface in specific areas. As well, Part VI - Site Planning and Built Form of the DDG's relates to Residential Areas:

- Commercial Areas
- Industrial and Employment Areas
- Institutional and Community Sites

Part VI of the DDG's is explored in further detail with the ACGRRD's.

Given that the approach to the design and development of Riverview Heights is to create elements that foster and reflect the notion of a transit-oriented, walkable, sustainable community, much of the previously considered traditional components of urban design will need to be readdressed to varying degrees. The following is a list of some of the key elements that will be discussed as part of the Section 3, Community Design Plan:

- Structuring Elements
 - Character + Identity of the Community
 - Neighbourhoods
 - Street Network
 - Open Space System
 - Community Edges + Gateways
 - Community Mailboxes
 - Community Fencing
 - Tree Themeing
- Special Character Areas
 - Executive Housing Areas
 - Mississauga Road
 - Steeles Avenue West
 - Financial Drive / N-S Collector
 - Embleton Road
 - Heritage Road
 - Community Park

In order to fully describe the intent and proposed design of the many integral components of the community's development, most aspects of the design will be addressed by a combination of the CDG's, DDG's. The CDG's are, in essence, an expansion of many of the guidelines presented within the DDG's.

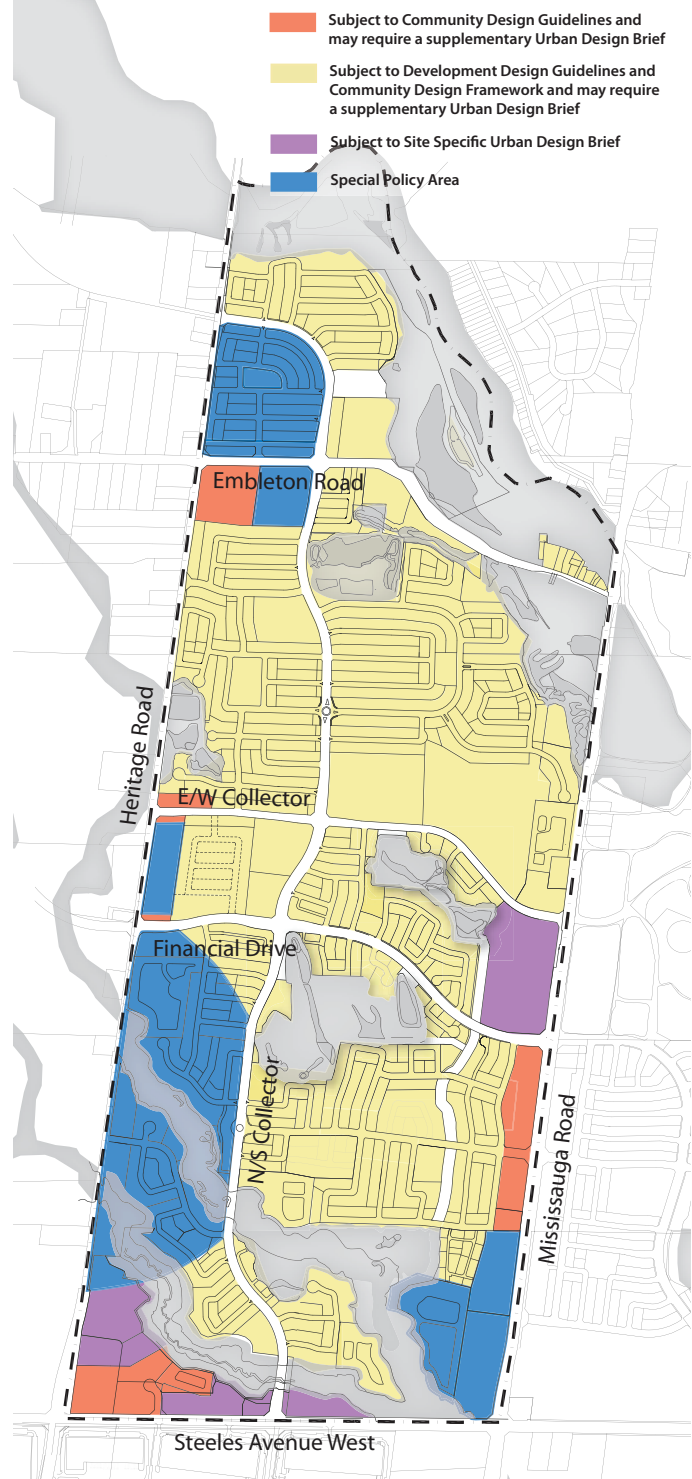


Figure 5. Applicability Plan

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(Urban design + Landscape Guidelines)

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3.1.7 Community Mailboxes	38
3.1.8 Community Fencing	39
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3.2.1 Executive Housing Areas	44
3.2.2 Mississauga Road	46
3.2.3 Steeles Avenue West	48
3.2.4 Financial Drive / N-S Collector	50
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3.2.7 Community Park	56

The following urban design and landscape guidelines should be read in conjunction with Section 4 which outlines the built form guidelines and architectural controls associated with the Community Design Plan.

3.1 Structuring Elements

The principle elements that structure the guidelines are informed by key policy initiatives from supporting documents such as Places to Grow, Province of Ontario. The Growth Plan conformity work plan identified that a number of studies were necessary to update the City's Official Plan and other policies, such as inventories and analysis on greenfields, employment lands, intensification areas, infrastructure capacity, as well as a Stakeholder Awareness and Engagement Strategy. All of these have formed part of the planning process for Riverview Heights.

Brampton's planning process has provided structure for the CDG through its Official Plan and the Bram West Secondary Plan. The Brampton Official Plan ensures that Brampton will grow in a sustainable manner. The City is committed to plan for compact and transit supportive communities that use resources efficiently and are sensitive to the natural environment. This vision is grounded in the overall planning framework of the Official Plan. The original Bram West Secondary Plan was updated in 2006 to accommodate new market conditions and address specific urban design issues. It was approved by the OMB in August 2010.

Additional components of Brampton's planning process that provide guidance to the CDG include: the Growth Management Program which is a comprehensive and detailed approach to meeting the immediate and longer term needs of its growing communities; the Strategic Plan, which identifies six pillars of strategic importance designed to guide City initiatives and achieve the community vision; and, the Flower City Strategy which is a major component of the City's sustainable planning framework and structure. The Strategy works toward increasing the visual recognition of civic initiatives by coordinating and linking together all aspects of the City in a focused manner that will enhance and promote its image. In addition, the Pathways Master Plan outlines the City's plan to create a unique, comprehensive and safe pathway system that connects all residents to neighbourhood, community and city-wide destinations.

3.1.1 Character + Identity of the Community

In keeping with the structure outlined in the Development Design Guidelines, Riverview Heights has been designed as a community of neighbourhoods with a clear hierarchy of streets and open spaces. As has been mentioned, the site is endowed with environmental features that provide the framework for the development of the new community, with the Credit River Valley on the north and Levi Creek moving through and to the west. Both systems are well defined and with additional features such as woodlots and wetlands, provide the basis for a community that will be truly connected to the environment. Attention has been paid to the design of both public realm and private spaces that have an impact on the quality of life in the community including elements such as gateways and edges, storm water management facilities, school sites and especially built form.



Credit River Wooded Area



Credit River Open Space



Heritage Rd.



Heritage Rd. Roundhouse

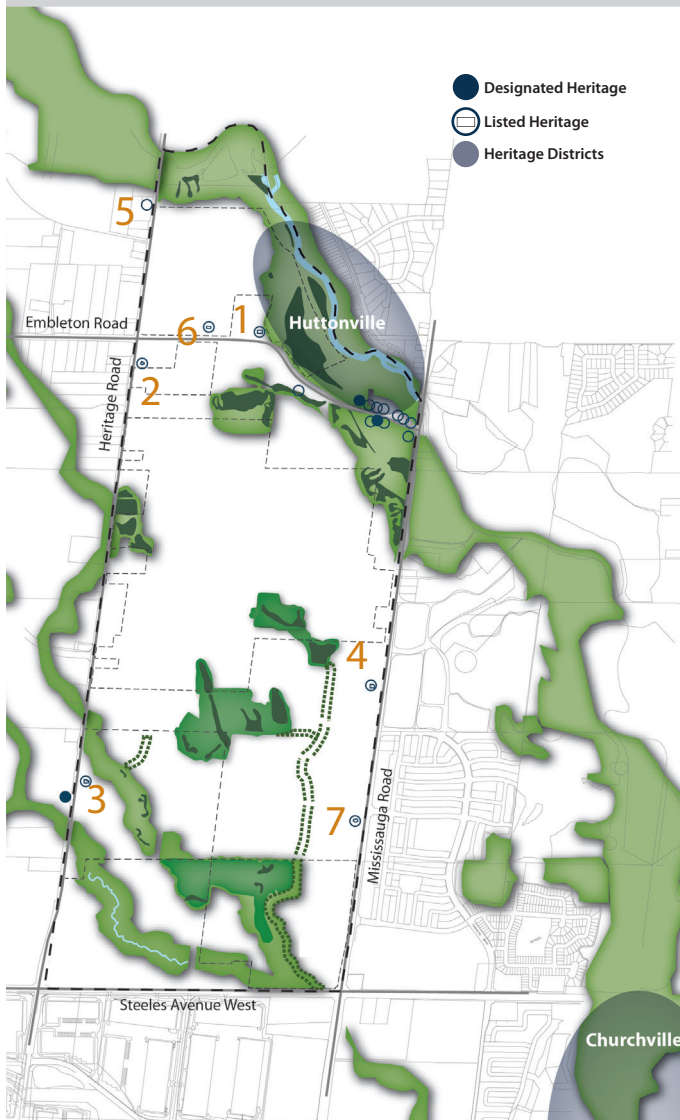


Figure 6. Cultural Heritage

3.1.2 Heritage

The Brampton Official Plan confirms the importance of cultural heritage resources in Brampton. Section 4.9 of the Plan outlines a process for evaluating and recording heritage buildings, natural features and other traditions that establish the continuing importance of the past within the community.

In keeping with the objectives and policies of the Official Plan, a Cultural Heritage Summary Report has been prepared by Malone Given Parsons Ltd. for the Riverview Heights area. The report identifies properties or buildings with heritage interest. Their locations are indicated in figure 6 and include:

1. Huttonville School - Listed in the Registry
2. The Black Farm - Listed in the Registry
3. The McClure Farm - Listed in the Registry
4. The Fuller House - Listed in the Registry
5. Page Cemetery - Designated
6. Ostrander Farm - Listed in the Registry (lost to fire)
7. Spring Farm - Listed in the Registry (lost to fire)

In keeping with objectives generally adopted for heritage properties, those deemed significant should be preserved wherever possible, the quality of structures enhanced where appropriate and restored where functionally and physically feasible. Heritage impact assessments have been carried out on those properties of the participating landowners. The findings of the assessments indicate that of the properties that still exist on land owned by the participating landowners; The Black Farm is presently occupied by the owner; and The Fuller House has been issued for demolition but an agreement to utilize elements of the building on the future development has been made. The McClure Farm is located on the lands of a non-participating landowner. This house is currently occupied and will not be affected by any planned collector road location.

Those buildings that will remain, The Black Farm and the McClure Farm, will be subject to further study before any changes to them or their surroundings can take place and the following principles should be applied;

- such resources will be protected and conserved in accordance with the Standards and Guidelines for the conservation of Historic Places of Canada,
- alteration or removal of heritage attributes on designated properties will be avoided and demolition is prohibited,
- heritage structures or elements will be integrated into the site and/or new buildings in a manner that highlights those components,
- an HIA will be required for all heritage properties which have not yet submitted one,

- where feasible, heritage buildings or elements should be featured in the design of new development or sites within which they are incorporated,
- a heritage permit application will be submitted to the City for approval for changes to designated heritage properties.

In keeping with the principles outlined in the Brampton Official Plan to celebrate the history of the area, buildings that have been removed or have been lost to fire will be commemorated.

The methods of commemoration are outlined in the conditions endorsed by the Brampton Heritage Board and are approved by council.



1. Huttonville Public School- 2322 EMBLETON RD.



2. Black Farm- 8957 Heritage Rd.



3. James McClure Farm- 8331 Heritage Rd.



4. Fuller Farm- 8472 Mississauga Rd.



5. Page Cemetery - west side of Heritage Rd., north of Embleton Rd. and south of the Credit River



6. Ostrander Farm- 2378 EMBLETON RD.



7. Spring Farm- 8252 Mississauga Rd.

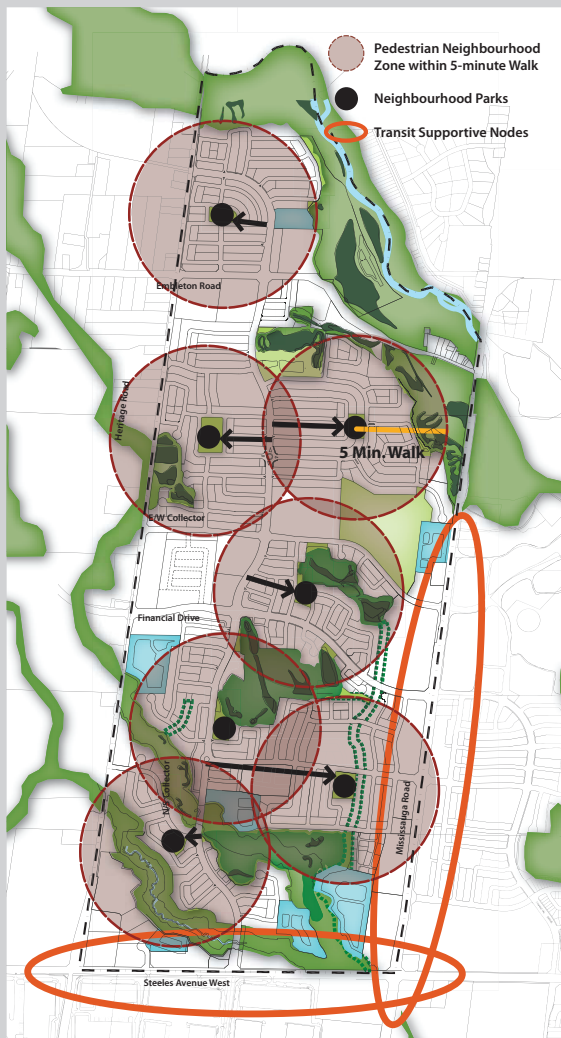


Figure 7. Proposed Neighbourhoods

3.1.3 Neighbourhoods

The Riverview Heights Community is divided into eight neighbourhoods.

- Each neighbourhood has clearly identifiable edges. The edges are created by the ravines and other natural features, the boundary roads, the collector roads and the open space corridor established by valleys and the woodlots;
- All eight new neighbourhoods are joined by local roads;
- Each neighbourhood has a central focus which may contain a park and, a school and/or community buildings, generally located within a five minute walk (400m) of the residences;
- In some instances the neighbourhood extends beyond the five minute walking distance from the central focus where the extension is a natural/environmental element.

3.1.4 Street Network

The street network enables connectivity throughout the community. The local road system enhances permeability throughout the community and promotes pedestrian movement along the principle pedestrian desire lines in the following manner:

- The street network is based on a modified grid of streets and blocks;
- Many streets are curved to provide interesting views to avoid the monotony of a too rigid street grid; and,
- The local road system provides direct access or “windows” to the Credit River Valley and other open space elements.

The Street System is based upon the following:

- A clear pattern and hierarchy of streets;
- Connectivity to neighbourhood focal points;
- A modified grid that responds to natural features and grading;
- A primary collector;
- Neighbourhood connectors;
- Connections to transit; and,
- Multi-modal corridors.

With the exception of the 20m long streets, the street network is based upon approved City standards for roadway design (exceptions may be made at major intersections, where ROW widths may increase), and includes:

- N/S Collector (North/South) - 30m R.O.W.
- Financial Drive - 30m R.O.W.
- E/W (East/West) - 24m R.O.W.
- Local Roads - 17-20m, R.O.W.

- Laneways - 8m R.O.W.
- Heritage Road - T.B.D.
- Embleton Road - T.B.D.

N-S Collector - 30m R.O.W.

The North-South collector is the major connection between Steeles Avenue to the south, and Heritage Road to the north. It is a relatively wide street that provides two traffic lanes in each direction, on-street bicycle lanes and sidewalks on each side. There is no access to private driveways from this street and restricted access (right-in, right-out) from some local roads. For the most part, this collector is framed by the flankages of homes and its boulevard will be planted with trees along its entire length. The collector will widen at major intersections, as necessary, for turning lanes.

Please refer to City Drawing No. 209.

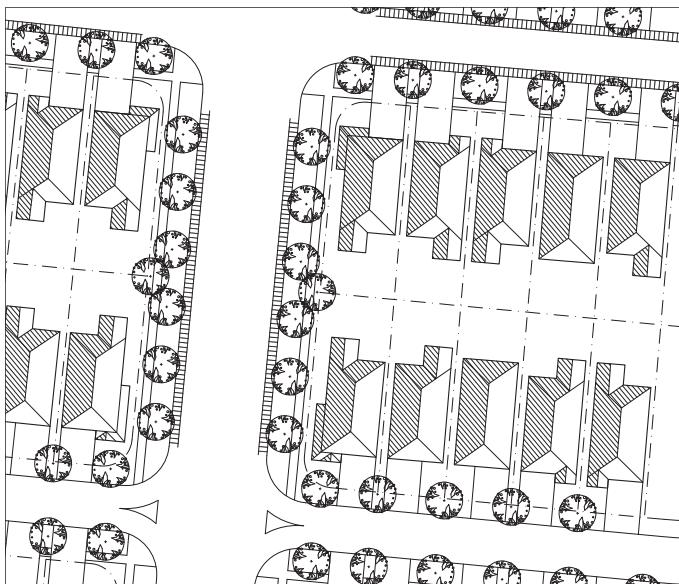


Figure 9. N-S Collector - 30m R.O.W.

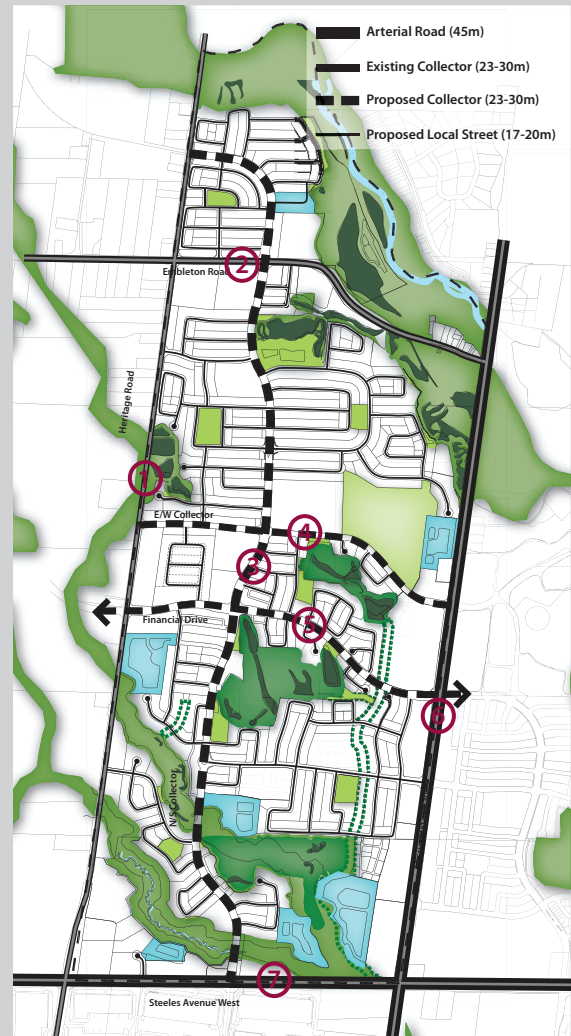


Figure 8. Proposed Street Network

Feature Streets

1. Heritage Road
2. Embleton Road
3. N-S Collector
4. E-W Collector
5. Financial Drive
6. Mississauga Road
7. Steeles Avenue West

Financial Drive- 30m R.O.W.

Financial Drive is a major street that connects Riverview Heights to the surrounding community. It is a limited access collector and has sidewalks and landscaped boulevards on both sides, in addition to a 3m wide above-curb multiuse path on the north side. This street provides two travel lanes in each direction, and widens to provide turning lanes where necessary.

Please refer to City Drawing No. 203.

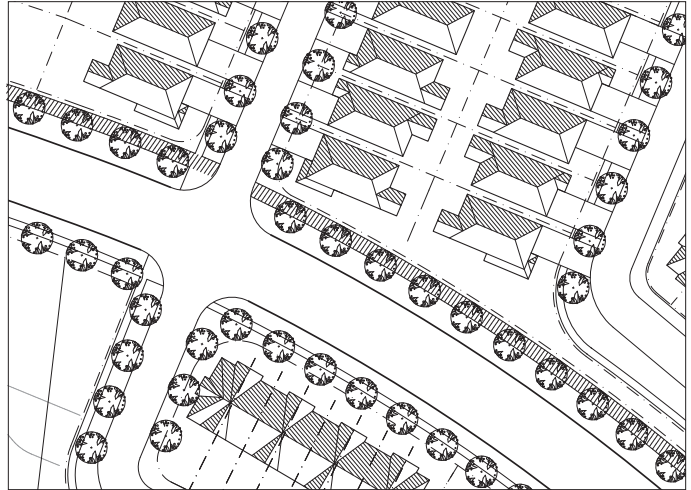


Figure 10. Financial Drive- 30m R.O.W.



E-W Collector - 24m R.O.W.

There are two east-west collector roads with a right-of-way of 24m, allowing for a single lane of traffic in each direction. The northern collector traverses the community and provides access to the high school and community park. This street has sidewalks and bicycle paths on both sides.

The southern road will connect two elementary schools sites and runs from Mississauga Road to the N/S Collector. Sidewalks will be provided on each side of this road.

Please refer to City Drawing No. 216.

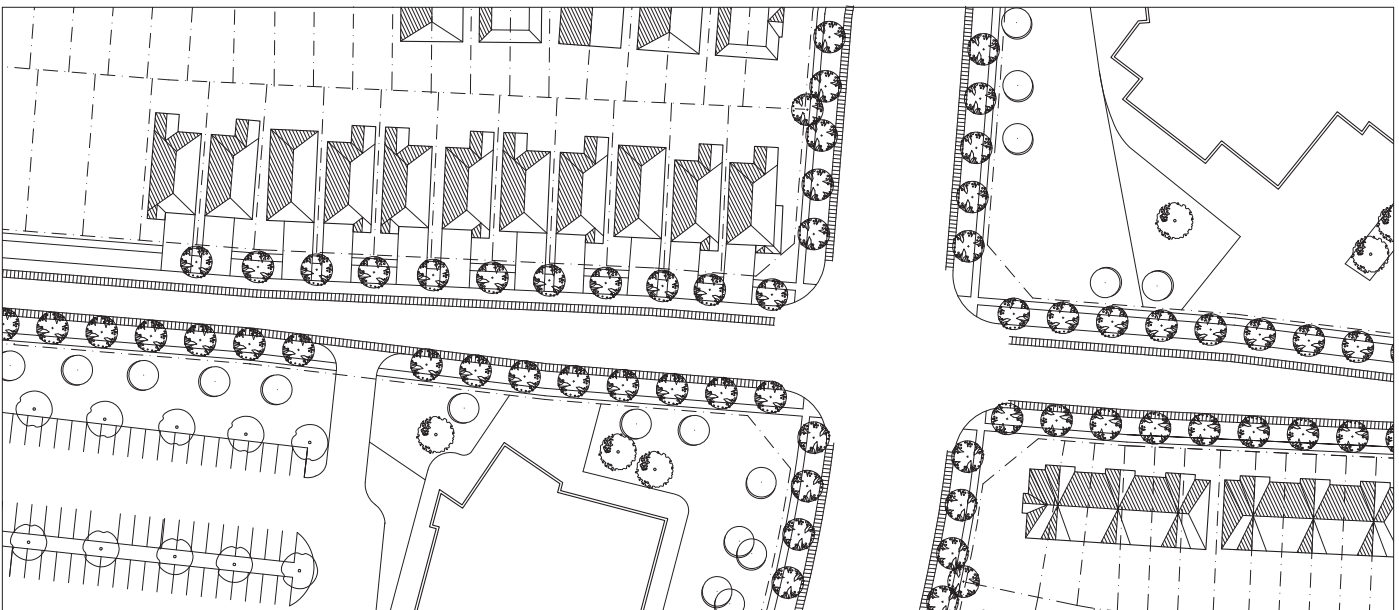


Figure 11. E-W Collector- 24m R.O.W.

Local Streets - 17m R.O.W.

Local streets are 17 metres wide and generally have sidewalks on one side. The scale of this street is meant to relate to the residential nature of the neighborhood. (For the sidewalk locations see City approved sidewalk plan, Figure 28 in Section 3.1.5.4)

Many of the local streets intersecting the N/S Collector will have restricted access (right-in, right-out). Traffic control medians (porkchops) will be part of the intersection design where appropriate.

Please refer to City Drawing No. 200.

Some local streets in the community will have uninterrupted residential frontages longer than normal (more than 250 metres). In some of these cases, to further distinguish the streetscape and reduce the visual “length” of the street, some variation of front yard setback will be required. This may include pre-siting of some units to assure that the variation in setback is achieved. A minimum rear setback of 7.5m must be ensured. Variety must be achieved through a range in the front yard setback or through a mixture of entry features such as the use of porches. The variation will be reviewed by the control architect.

Lanes - 8m R.O.W.

Laneways occur in the plan at specific locations where access is restricted and built form has an important urban design function. Laneways in Riverview Heights will be based upon the City standard for their design. They are located in the first phases of the development on the northeast and southeast quadrants of the intersection of Financial Drive with the North/South Collector.

Please refer to City Drawing No. 219 A

Roundabouts (subject to review and finalization with development engineering and plan review)

The location and standards to be deployed for roundabouts are under review by the City of Brampton Development Engineering Division. Pending ratification, the final details, locations, and associated design notes will be made available at a later date.

Restricted intersections

The locations and final design of these restricted intersections will be subject to detailed design at the time of engineering approvals. Centre medians may be implemented instead of splitter islands in order to properly enforce the anticipated restricted turning movements.

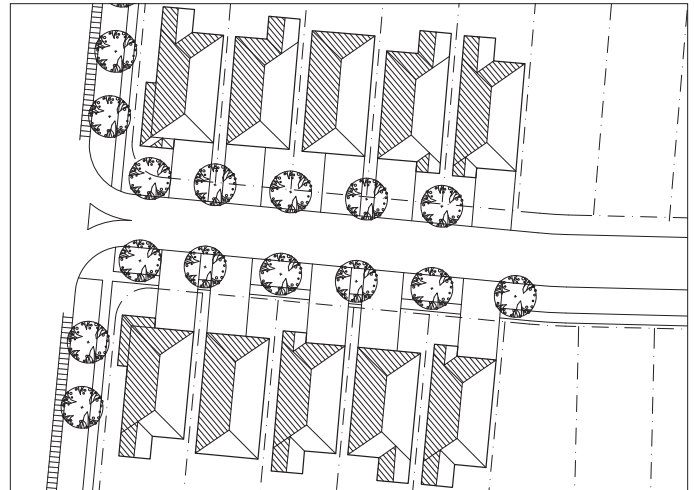


Figure 12. Local Streets - 17m R.O.W.

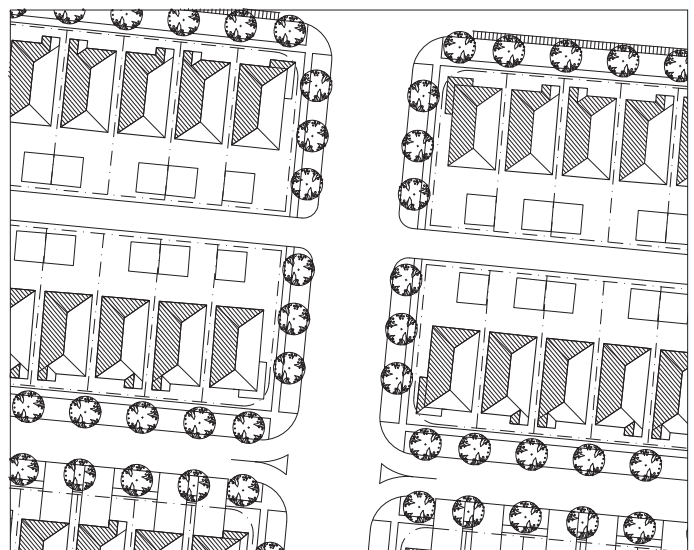


Figure 13. Lane - 8m R.O.W.



Figure 14. Proposed Pedestrian Connectivity Plan



Programmable Park Space



Informal Park Activity Space

3.1.5 Open Space System

As mentioned previously, Woodlots and wetland features are significant formative elements which contribute to the unique character of this area. Open space lands will be used predominantly for conservation and outdoor recreation. They include the public parks system, community centres, lands containing significant landscape or natural features buffers, pedestrian links and walkways and other open space recreation areas and storm water management facilities

Key principles include:

- Parks should be allocated evenly throughout the neighbourhoods;
- Parks and schools are intended to be sites that accommodate a range of facilities and should be connected by important roads which will become major pedestrian routes;
- The open space system should reinforce the sense of Riverview Heights as a connected green community through the judicious integration of all elements of the system including parks, natural features, SWM ponds, paths, and pedestrian streets; and,
- It should be noted that there is flexibility within the school/park site to accommodate a range of facilities and locations.

The open space system is distributed throughout the community. Exposure to the natural features has been provided through the use of single loaded roads in numerous locations. Key components are the existing natural heritage features such as the woodlots, wetlands and valleys - which are a predominant factor in the structure and open space system of this plan. Other components of the open space system include:

- The Community Park
- Pathways building upon the City Wide pathway system
- Storm Water Management Ponds
- Woodlots
- Linkages along and across Levi Creek and L11 Tributary
- Related areas of community focus (vistas, village focuses, neighbourhood parks and parks)
- Neighbourhood parks serve as focal points throughout the smaller neighbourhoods



Upgraded Park Space

Table 2. Parkland Service for Residential Lands
(Excluding 10ha. of Community Parkland)

Parkland Service Level Analysis - Riverview Heights 40-3 (Bram West SP Sub-Area 3)							
Park #	Type	Location / Owner	Phase	Area (ha)	Area (acres)	Proposed Park Facilities	Comments
1	Parkette	Executive Res. N. of Embleton Rd. (GG)	3	0.693	1.71	gazebo, jr. and sr. play structures, unstructured play area	
2	Parkette	Exec Res (GG)	2	0.707	1.75	gazebo, jr. and sr. play structure, unstructured play area	
3	Neighbourhood Park	Great Gulf lands	1b	1.497	3.70		
4	Parkette	Central Woodlot/Humeniuk	4	0.730	1.80	jr. and sr. play structure, unstructured play area	
5	Parkette	Great Gulf / Kaneff	1a	0.700	1.73	jr. and sr. play structure, unstructured play area	
6	Neighbourhood Park	Erin Mills	1a	1.000	2.47	gazebo, jr. and sr. play structure, unstructured play area	
7	Parkette	Ashley south	1a	0.700	1.73	jr. and sr. play structure, unstructured play area	
	Neighbourhood Component of Community Park	Great Gulf	2	1.500	3.71	jr. and sr. play structure, unstructured play area	Agreed with City staff that a portion of the community park will function as Neighbourhood Park, but will not be considered as a separate park
Totals				7.527	18.60		
			Persons				
Estimated Population based on 3,650 to 3,790 units		950 to 1,150 med units	3,126 - 3,784		@ 3.29 persons per unit		
		2,640 to 2,700 units	9,531 - 9,319		@ 3.53 persons per unit		
		3650 to 3,800 units	12,657 - 13,103		Persons		
Park Level of Service Provided			Area in Ha.		Area (acres)		
Total Neighbourhood Parkland Provided in Block Plan			7.53		18.60		
Service Level Requirement			6.33 - 6.55		15.64 - 16.19	Neighbourhood Park Area Required @ 0.5 ha/1000 people	
Total Neighbourhood Park Balance (ha)			1.20 - 0.98		2.96 - 2.41		
Community Park Lands				10.00	built recreational facilities, fields and parking		

Notes:

- * The park areas identified were obtained from the Block Plan Concept dated May 24, 2011 and are subject to minor adjustment.
- ** Subsequent amendments to park size(s) will be dependent on how well service levels are being met based on defined population.
- *** Programs to be determined through consultation with Community Services - Parks Operations and Maintenance.

Key

	Community Park
	Neighbourhood Component of Community Park
	Local Park
	Town Square
	Parkette
	Vest Pocket Park

Prepared by:
MALONE GIVEN PARSONS LTD.

June 6, 2011



Figure 15. Proposed Parks

- * An alternative (temporary or permanent) park site may be required if the park site on block 104 cannot be constructed as a result of Special Policy Area #16 sensitive land use setback requirements

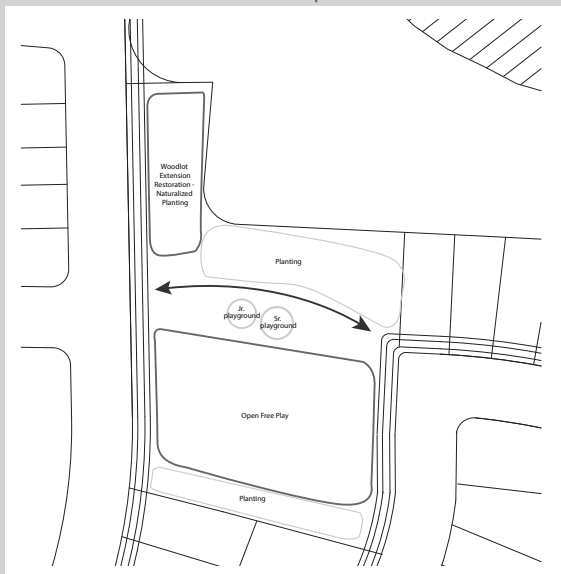


Figure 16. Typical **Neighbourhood Park** Plan

3.1.5.1 Woodlots

Woodlots provide connectivity between the residential community in Riverview Heights and the Open Space system. In addition, in terms of community design, the woodlots are a major structuring element and provide access to greenspace within a 5 to 10 minute walk from a majority of the community. Key design components, which reinforce these woodlot features, include:

- A collector road network which is not only defined by the location of the woodlots but also provides access to them;
- Multiple access points and views that are created through local roads in the form of cul-de-sacs and single loaded roads; and,
- A trail system which provides linkages between woodlots and community amenity features such as parks and Stormwater Management Ponds.

3.1.5.2 Parks

As an integral part of the open space system, neighbourhood parks contribute to the pathways and linkage system of the community. They act as neighbourhood focal points, provide passive and active facilities and are local social gathering spaces. As a result, these facilities will be designed incorporating the following criteria:

- Neighbourhood parks and parks will be located and designed as an integral part of the walkway system;
- They will be the centre of neighbourhoods within an easy walk of local residents;
- They should provide passive seating and play facilities for the residents;
- They will be programmed based on the City's direction;
- They incorporate some design characteristics that reflect the scale and design of nearby homes;
- They will be open to adjacent streets; and,
- Typically, gazebos will be provided at a ratio of about 1 gazebo for every 4 parks. All upgraded parks will have a gazebo. This gazebo should conform to City of Brampton standards for shade structure but use upgraded materials, which include stone masonry column bases.

Neighbourhood Parks

Neighbourhood parks are primarily surrounded by low density residential areas and mixed uses. These parks accommodate gathering spaces, organized recreational fields and play structures. The canopy structure of these parks will combine tree allées, shade trees and small formal planting areas in select parks. All furniture in the neighbourhood parks will comply with City of Brampton Standards (for example, all benches will be Belair Benches in the colour Brampton Blue). Facility Fit Plans will be provided for each park block.

Upgraded Neighbourhood Parks

Two upgraded parks are located in the executive area. These parks will use upgraded paving materials, such as granite, to edge the unit paved paths, stone masonry columns at the entry ways, decorative crosswalks, and play structures (with rubber surfaces). The upgraded parks will use tree alleys and strong contemporary lines to create a variety of gathering spaces. These parks will also have a central gathering space with shade structures (gazebo or arbour). All furniture in the neighbourhood parks will comply with City of Brampton Standards (for example, all benches will be Belair Benches in the colour Brampton Blue.) See section 5.2 for Cost Matrix.

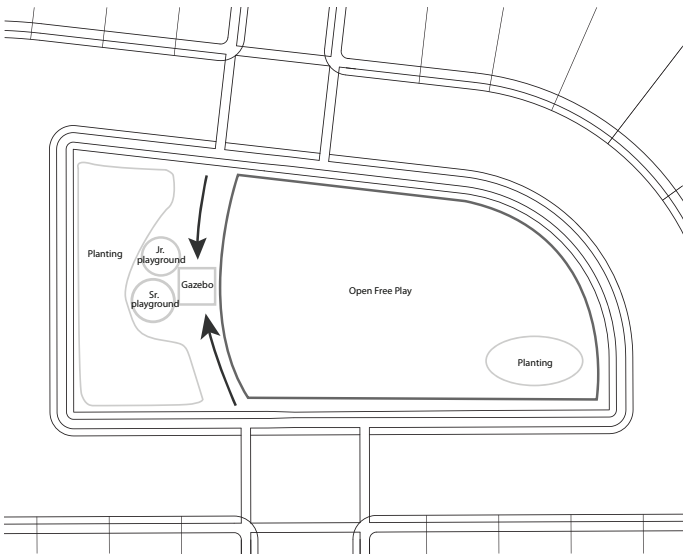


Figure 17. Typical **Upgraded Neighbourhood Park Plan**



Upgraded Entrances + Shade structures

Typical Neighbourhood Park Entrances + Shade structures



All park furnishings

(See Appendix 6.3 for parks layout)



Figure 18. Proposed SWM ponds

(See Appendix 6.4 for enlarged drawings)

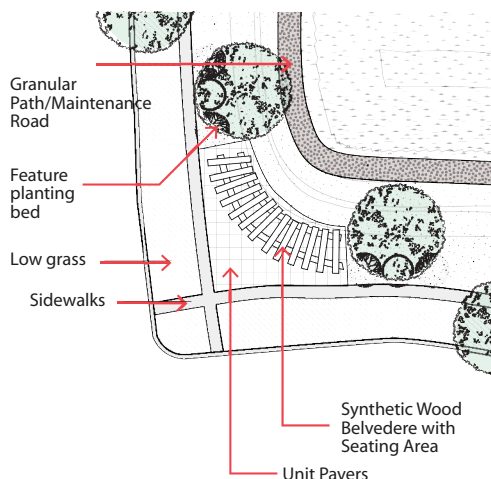


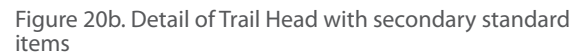
Figure 19. Demonstration Plan of Pedestrian Node and Belvedere SWM ponds

3.1.5.3 Storm Water Management Ponds

Storm water management facilities are an important component of the open space system. Two ponds will be visible from Steele's Avenue and will form a backdrop to the office lands. The large Embleton Pond has been developed in consultation with the City of Brampton and the CVC to be a major feature on the new north/south spine road. The Embleton and (new) Huttonville ponds will be developed to a higher standard, as they are located in executive areas. Executive ponds and ponds at key locations will incorporate a pedestrian node with high quality belvederes. Trail Markers are provided at all pond entrances. Other facilities are integrated with open space and parks throughout the plan.

- SWM ponds will be designed using natural planting material, including both native species deciduous and coniferous trees, as well as perennial flowers and natural grasses appropriate to these facilities;
- A 2.4m wide limestone screening maintenance access which doubles as a pedestrian trail around the ponds will be provided for all SWM ponds;
- To encourage biodiversity SWM ponds will have natural edges and mowing will be kept to a minimum;
- Paths and linkages will be integrated into the design of the SWM Pond facilities where possible;
- Seating areas and belvederes will be developed to facilitate viewing areas in executive SWM ponds and ponds located off of roads and ponds at major entrances into the community. They will include an overhead structure, decorative paving and landscaping, and will serve as a feature for the area.
- Ponds in key locations should be designed to enhance views to important components of the community, such as the pond located between the Community Park and Mississauga Road, and Embleton pond;
- Streets and residential overlooks will be an integral part of the plan;
- Residential development located near SWM ponds will be oriented to the facilities where appropriate; and,
- Should the City implement LID techniques in the future, these measures should not be located within the City's ROW or other City owned lands. Maintenance needs for these stormwater techniques will be carried out by the property owner(s).

The trail system in the community should be incorporated into storm water ponds and accessed by trail heads. Trail Heads should be located at the edge of the pond where the trails enter. (For further information on trail heads, please refer to Section 3.1.5.4 Trail Heads).



Riverview Heights open space + architectural design guidelines

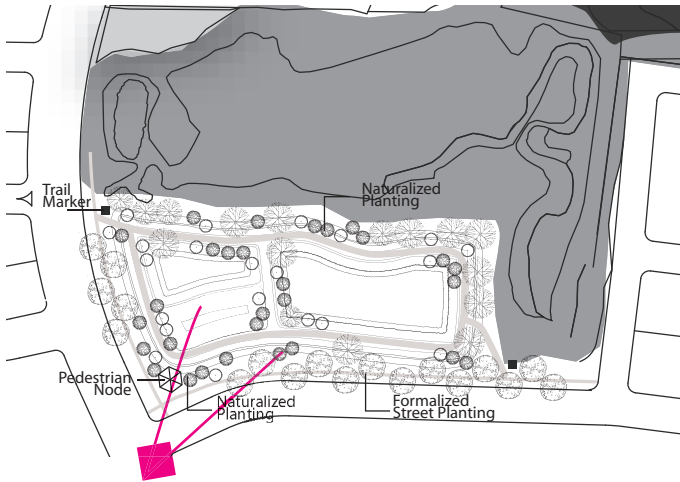


Figure 22. Typical Plan of Embleton Pond with formalized street tree planting and Open Space

Embleton Pond - Focal Point

Embleton Pond is envisioned as an important visual focal point in the upscale executive development of this community. Located along the north/south collector road, it reinforces the sense of natural open spaces throughout the community and acts as an entry element into the neighbourhood. A pedestrian node with belvedere is located at the E/W Collector and N/S collector provided the main viewshed into the open space. (see figure 19 for demonstration plan of pedestrian node). Preservation of the adjacent wetland is necessary due to its significant and essential role in ensuring the maintenance of the water quality in the Credit River Watershed. Accordingly, its suggested design could incorporate the following;

- Low plantings around viewsheds will enhance the open space and Embleton Pond and ensure wetland is experienced as an integrated whole;
- Interpretive signage could serve as a tool that promotes environmental education for users including student groups;
- Existing dead trees have the potential to be used as standing logs and serve as habitat for various cavity nesters including wood-peckers and owls;
- Coarse woody debris could serve to augment the soil with organics and contribute to habitat diversity for various flora and fauna.



3.1.5.4 Pathways (Trail System)

An important component of the Community Design Plan for Riverview Heights is the integration of a system of paths and linkages to tie the neighbourhoods together and enhance the opportunity to move throughout the community. This includes walking and cycling. As part of the open space system, paths will be developed in light of the following:

- Building upon the City Wide pathway system;
- Connecting to a community pedestrian system;
- Linking local open spaces;
- Soft and hard surface spaces, although surfaces will be determined at final stages of plan review; and,
- Linking to external/surrounding Block Plan areas.

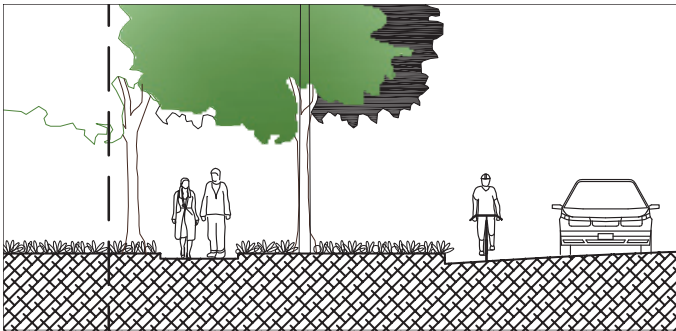


Figure 24. Trail system on streetscape

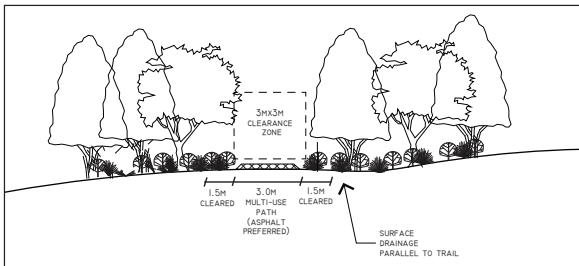


Figure 25. Trail system adjacent to woodlot and open space

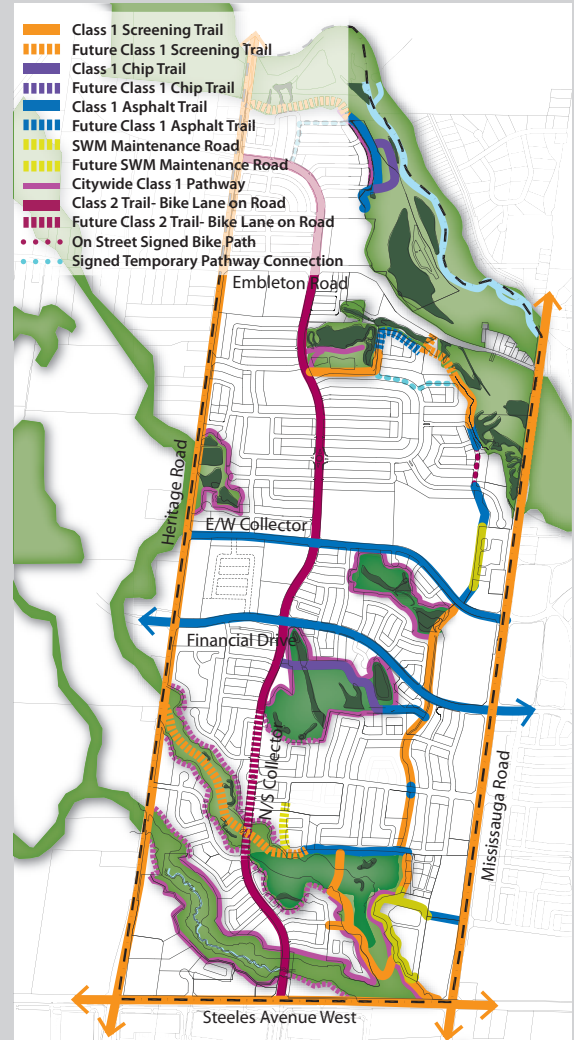


Figure 23. Pathways Plan - City Approved
(See Appendix 6.10 for enlarged drawings)



Pathways at residential/environmental interfaces



Figure 27. Sidewalk Plan - City Approved

The pathway system will link to external/surrounding Block Plan areas, and tie into the existing and future City of Brampton Trails Master Plan designations defined in the following manner (as modified by City staff):

- Cycle and walkway paths connecting neighbourhoods to important destinations will be incorporated into the open space system;
- Key locations within the plan, including the community park, local schools and SWM facilities, will provide the basis for green linkages that will facilitate the establishment of walking and cycling paths as a linked system. Signed routes will be located at the community park and Embleton Pond;
- Paths will be seen as an integral component of the overall pedestrian system that includes sidewalks and special pedestrian streets; and,
- There are three pathway designations including Multi-use Paths (Class I), On-road Bike Lanes (Class II) and On-road Signed Routes (Class III).

The Riverview Heights Community pathway system will include a pedestrian pathway system in the Credit Valley. This will be completed by the landowners, in consultation with the City and the Credit Valley Conservation Authority and will be based upon the following principles:

- Access points and trail heads that are integrated into the pathway system of the community;
- Safe and secure pathway design;
- Environmentally sensitive locations; and,
- Integration of the system into the City's Pathway Master Plan.

The location of linkages and paths illustrated here will provide connectivity and is endorsed by the City. An important component of the pathway system will be pedestrian scaled streets and sidewalks that connect important locations in the community such as parks, schools and public facilities.

3.1.5.5 Trail Heads

A network of trails will be implemented throughout the ravine system, woodlots and SWM ponds. Access to this trail system will be through primary or secondary trail heads, depending on the hierarchy of the trail system.

All pathways (with the exception of informal wood chip trail paths) require vehicle access for both maintenance and safety purposes.

Primary trail heads and trail heads in executive areas will include decorative paving at the entrances of primary trail heads and two City standard benches. Upgraded signage on a stone masonry base that accommodates small plantings may be considered.

Secondary Trail heads will have standard asphalt surfacing at the entrances and one City Standard bench.

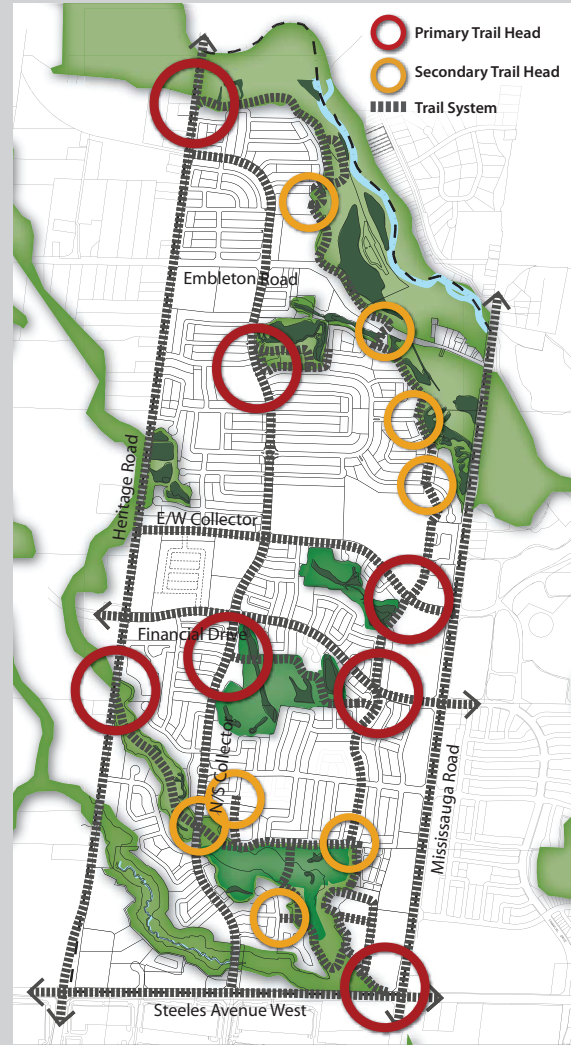


Figure 27. Proposed Trail Heads and Trail System

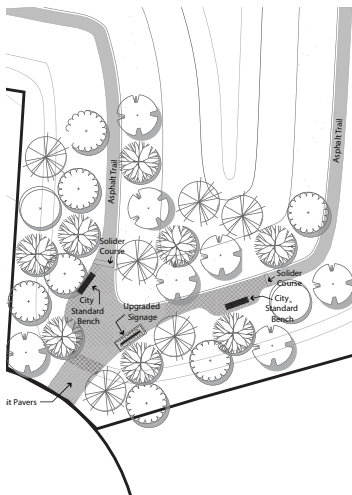


Figure 28. Illustrative example of primary and executive trail head

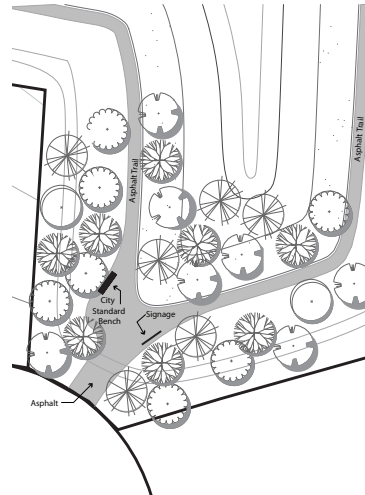


Figure 29. Illustrative example of secondary trail head



Figure 30. Proposed Channel

3.1.5.6 Channel (L11 Tributary)

Tributary L11 of the plan is being restored and enhanced as a 30m natural channel and corridor that will be maintained to protect biodiversity and connect provincially significant wetlands and fish habitats to Levi's Creek.

The corridor riparian zones play an important function in managing water quality and seasonal water levels. These areas are also critical for fish and wildlife habitat management and movement. As well, the L11 corridor will play an integral role in path system's connectivity throughout the community.

- The tributary channel will be designed using natural channel principles of fluvial morphology, and the riparian zone shall be restored using native species plant material, including deciduous and coniferous trees, shrubs, and perennial flowers and natural grasses, as appropriate;
- Streets and residential overlooks will be an integral part of the plan;
- To encourage biodiversity the channel will have natural edges;
- Paths and linkages will be integrated into the design of the channels;
- Community linkages will also be integrated to connect with the pathway;
- In addition to the channel, a 5m wide corridor has been provided on the west side of L11 channel to facilitate the pathway and 2m trail setback from the rear lot lines is required;
- Where appropriate, seating areas and belvederes will be developed to facilitate their use as passive viewing areas; and,
- A 30m wide area will be maintained to protect biodiversity.

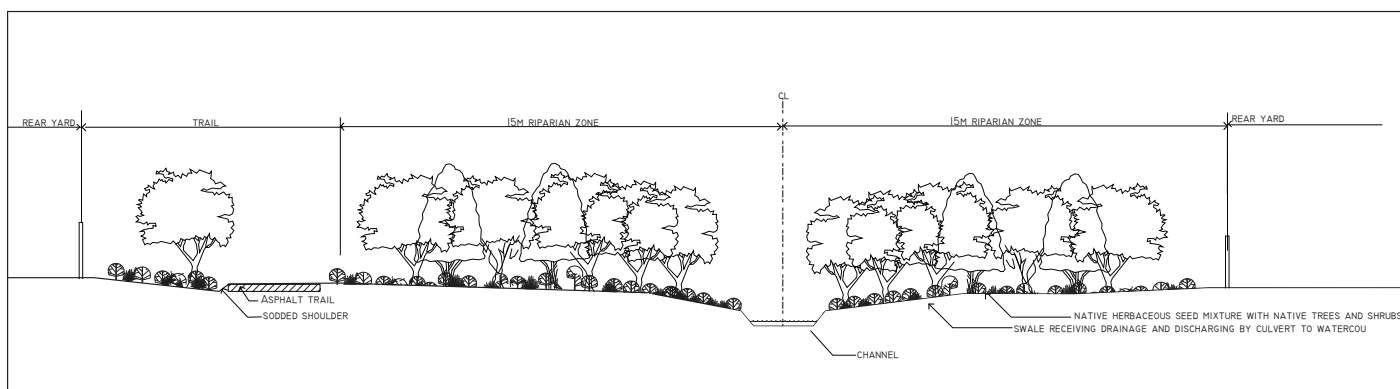


Figure 31. Typical Section of a Channel

(See Appendix 6.4 for enlarged drawings)

3.1.6 Community Edges + Gateways

There are a number of opportunities to create gateways into the Riverview Heights community (see accompanying diagram). Gateway and edge conditions reflect the following design objectives:

- Gateways will reinforce the 'Community Identity' and sense of arrival;
- Gateways will consist of a combination of lotting, built form and landscape features;
- They will be coordinated with the design vocabulary of community design; and,
- Gateways will offer the opportunity to communicate neighbourhood identity.

Gateway conditions will be developed with the following design considerations in mind:

- Upgraded corner design units termed "Gateway Units" will be developed as important entrances into the community as described in the City's Development Design Guidelines;
- To facilitate movement along major streets restricted access will be integrated with the design of many intersecting streets. Final intersection design will be determined at the detailed design stage. However, in special cases, entry medians will be incorporated into street design to reinforce the gateway conditions. Medians 5m or wider could incorporate planting into it's gateway condition. A median less than 5m must be a hard surface;
- Entry features and buildings at gateway corners will be scaled to the size of the adjacent streets to enhance the entry experience;
- Siting of gateway buildings will be guided by the priority lot plan of the architectural control guidelines and will be part of the "Gateway Unit" design; the priority lot plan will be developed in conjunction with final draft plans;
- Special gateway design will be provided for entry into Upscale Executive Housing Areas;
- Crosswalks should all have ladder stripe crosswalk markings, however, all Primary Gateways, main roundabout at the N/S collector and crosswalks in the executive areas should be enhanced by stamped asphalt in the ladder stripe (final locations of crosswalks to be determined at final stages of plan review); and,
- At the roundabout on the N/S collector, gateway features will be located at either side of the crosswalk to showcase it as a primary gateway.

(See Appendix 6.5-6.6 for enlarged drawings)

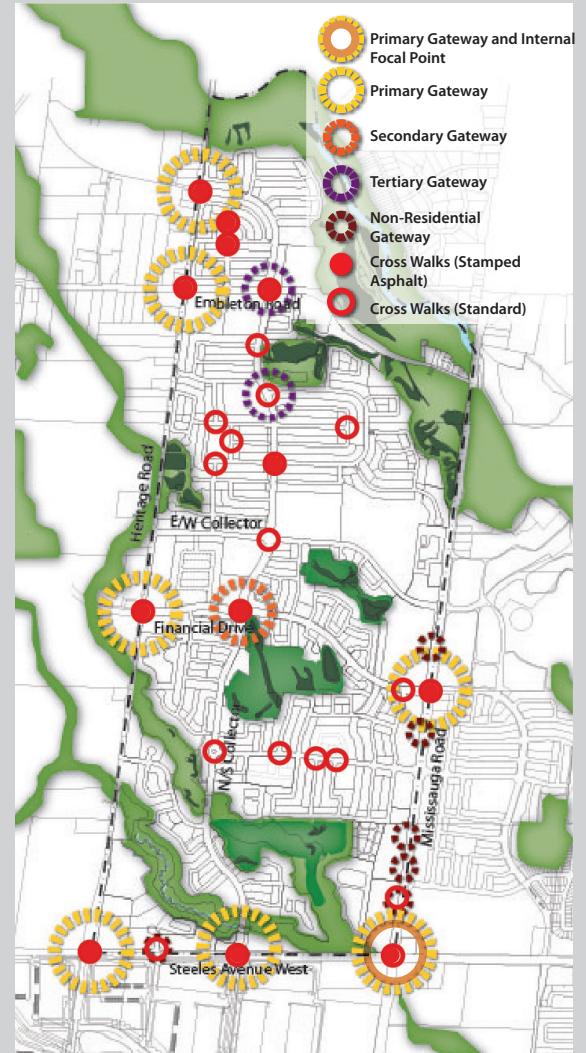


Figure 32. Proposed Gateway Hierarchy



Figure 33. Scale Comparison of Gateway elements

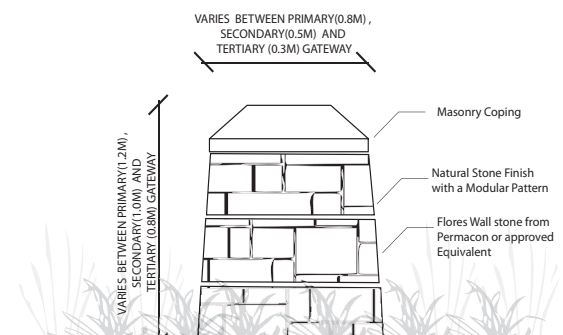


Figure 34. Diagram of Masonry Pier

Primary Gateway and Internal Focal Point

The intersection of Steeles Ave. and Mississauga Road has been identified as an Internal Focal Point in Brampton's Gateway and Beautification Program. This intersection also serves as a primary gateway into the community. The scale and design of this gateway will relate to the existing internal focal point at the Esso station on the northeast corner of the intersection. The stone masonry of this gateway will match the masonry used throughout the community. The gap between the two masonry walls will act as an entry way into the community and trail system that is accessible from the intersection.

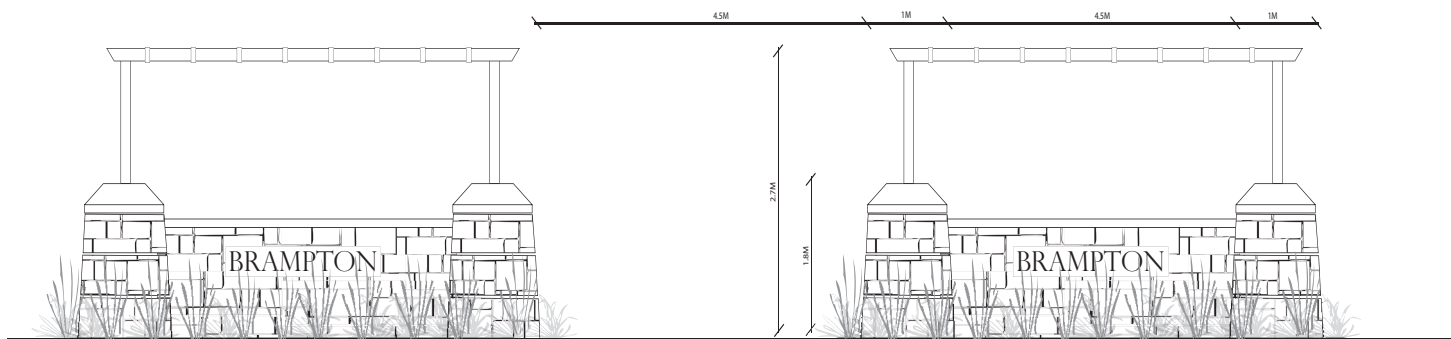


Figure 35. Diagram of Primary Gateway and Internal Focal Point

Primary Gateway

Three columns on both sides of important entries into the community via collector roads will identify these major gateways. These columns vary in height and are located on the street edge. The large middle column on the street edge has the community name engraved on the street side to strengthen community identity. Plantings around these gateways will use species recommended for arterial streets (see plant species recommendations, Appendix 6.7).

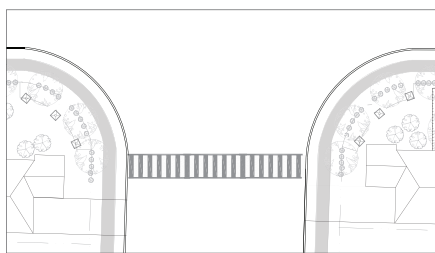


Figure 36a. Plan

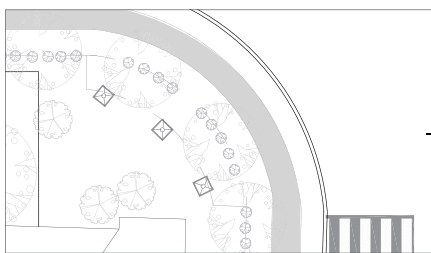


Figure 36b. Detail



Figure 36c. Elevation

Secondary Gateway

Major intersections within the community are identified by three identical columns on each side of the street. The columns are located on the edge of the ROW. The three columns frame the intersection and act as a threshold, as the sidewalk curves around the block. Plantings at these gateways must comply with the recommended plants for major collector streets (see plant species recommendations, Appendix 6.7).

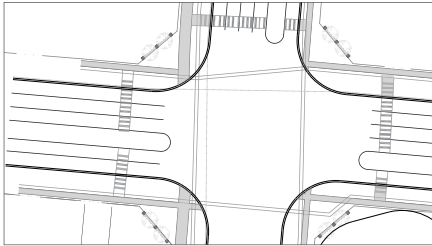


Figure 37a. Plan

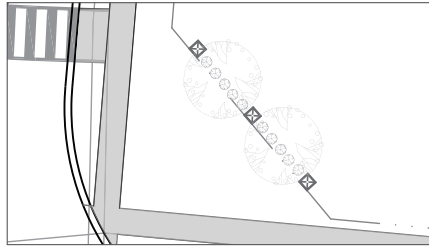


Figure 37b. Detail



Figure 37c. Elevation

Tertiary Gateway

Two columns on either side of the road will identify neighbourhoods and local streets. The columns are located on the edge of the ROW and surrounded by low shrubs and a deciduous tree – these plantings will have a gardenesque quality and use less commonly planted, more unique, tree species (see plant species recommendations, Appendix 6.7).

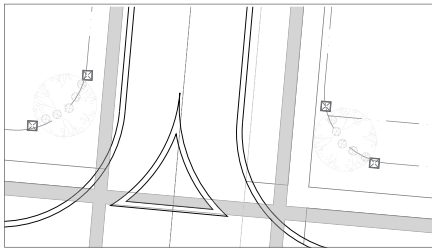


Figure 38a. Plan

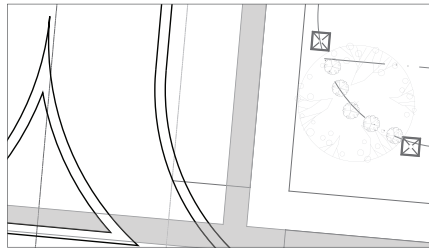


Figure 38b. Detail



Figure 38c. Elevation

Non-residential Gateway

Three masonry column gateway with commercial fencing is used to identify entryways into employment areas in the neighbourhood. Plantings around these gateways will use species recommended for arterial streets (see plant species recommendations, Appendix 6.7).

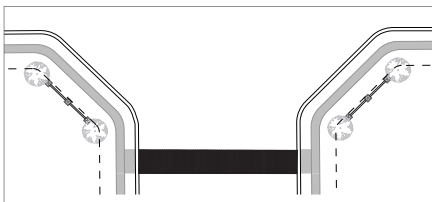


Figure 39a. Plan

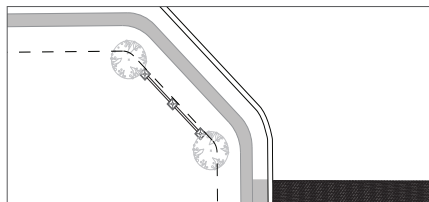


Figure 39b. Detail

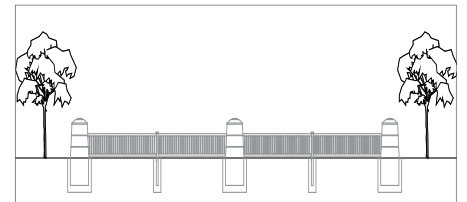


Figure 39c. Elevation

(See Appendix 6.6 for enlarged drawings)

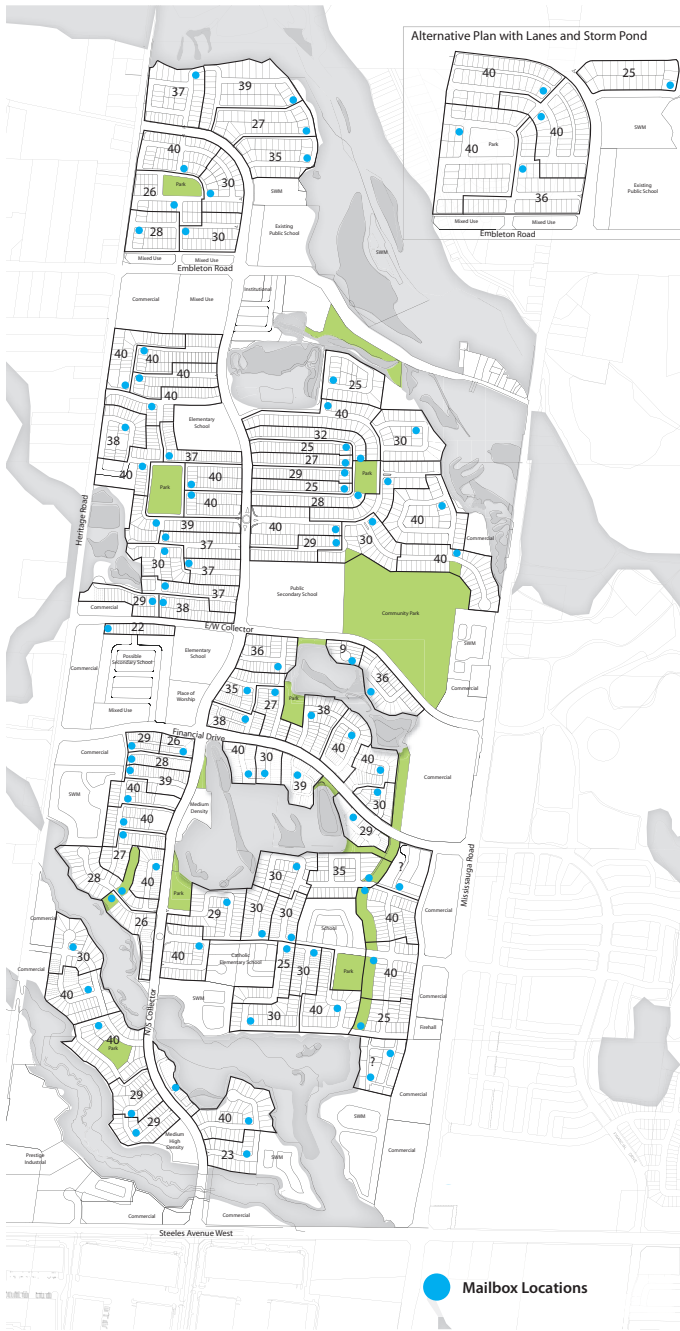


Figure 40. Conjecture of Proposed Community Mailbox Locations based on 600 ft. rule

Final locations to be determined by Canada Post

3.1.7 Community Mailboxes

Each community mailbox unit typically serves 40 households within a 600ft walking distance. Community Mailboxes in Riverview Heights community will be located on flankage lot conditions. Based on the number of houses in a 600ft walking distance from key flankage conditions, 3 standard Canada Post mailboxes will be located on a concrete pad based on Canada Post Standards.

Configurations of the cluster of mailboxes will be based on Canada Post Standards and use a linear configuration that edges the sidewalks.

Community mailboxes in executive areas will have a metal trellis with a synthetic wood-type finish to act as a shade structure. The arbour must comply with Canada Post materials and building standards.

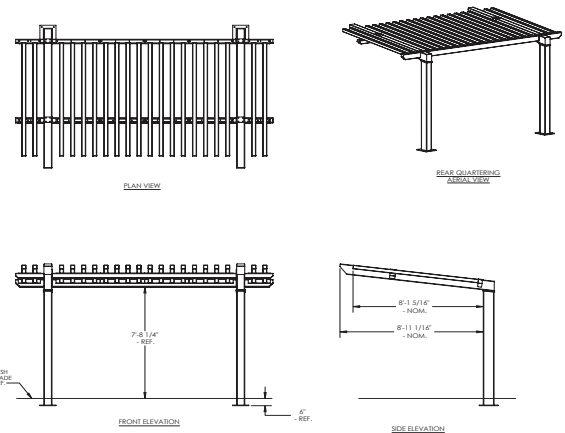


Figure 41. Sketch of proposed trellis



Figure 42. Illustrative example of single community mailbox unit: Typical and Executive Areas

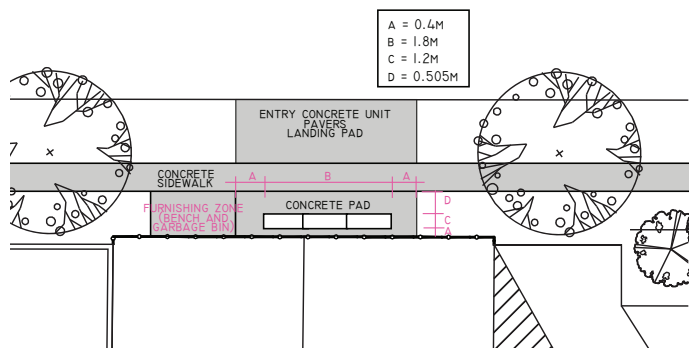


Figure 43. Flankage lot condition

3.1.8 Community Fencing

Common elements, within the public realm and bordering it, help define the distinct character of the community. Fencing within Riverview Heights will be of the same design throughout. The materials will change based upon the condition and location within the community as illustrated herein. Generally, the fences will be of wood construction. Rear lot and flankage fencing will be based upon the 1.8m model; however, there may be instances where acoustic regulations result in a higher fence. In key locations such as the north/south road, the pillars will be of masonry construction. Where the fencing defines the private realm in such location as Mississauga Road, the lower 900mm fence will be used. In all cases fencing should reflect the following:

- Fences should be designed as an extension of the residence;
- Consistent fencing shall be used throughout Riverview Heights;
- Fences on the N/S collector should be sited in keeping with section 4.2.3 in the built form section of the report;
- For noise attenuation, fences may have a combination of berm and fence, where the required height exceeds 2.2m; and,
- Fences should be a maximum height of 1.8m to maintain visibility along a street.

Front Yard Fences and Privacy Fences

Fences are encouraged as a means to create privacy and provide street definition in the community of Riverview Heights.

- Privacy fences are required on corner lots;
- The height of privacy fences shall be 1.8m;
- Privacy fencing should be designed to incorporate a gate on the portion of the fence that returns from the lot line to the side wall of the unit;
- Where possible, a privacy fence should project from the dwelling at a recommended 1.5-2.0m distance beyond the end corner of the unit;
- Fences provided by the developer/builder shall be subject to review by the control architect;
- Fences facing the North/South collector should conform to the guidelines in section 4.2.3; and,
- Privacy fencing required along flankage lots at mailbox locations.



Residential Fencing



Commercial Fencing

Noise Attenuation Fences and Walls

Acoustic fences and walls employed as a means to provide noise attenuation for private homes and amenity areas shall comply with the following guidelines:

- Acoustic fences shall provide adequate visual and physical buffering to the residences without creating an uninviting wall;
- Where masonry piers occur on acoustic fences, they should be the same material and colour as all entry elements in the community;
- Acoustic fences should be designed to match the community standard fencing; and,
- The acoustic fence should extend beyond the end of the house or incorporate a suitable return to it, in accordance with the recommendations of the noise study for the area.

Figure 44. Residential Fence Typology 1: TYPICAL
Wood Fencing

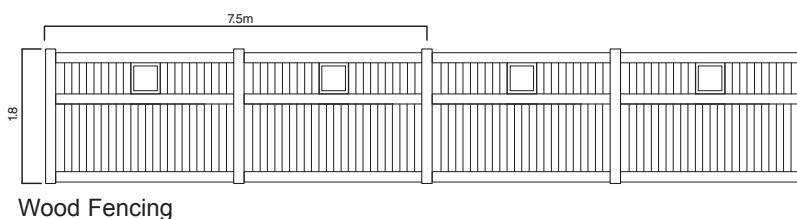
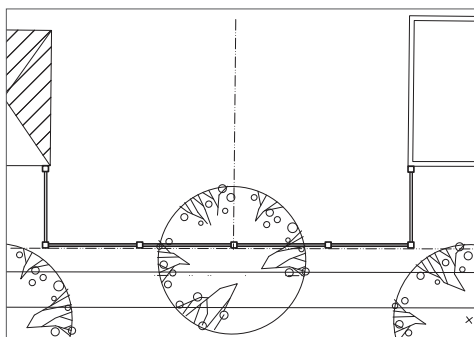


Figure 45. Residential Fence Typology 2: UPSCALE EXECUTIVE HOUSING
Wood Fencing with Stone Masonry columns every 7.5m

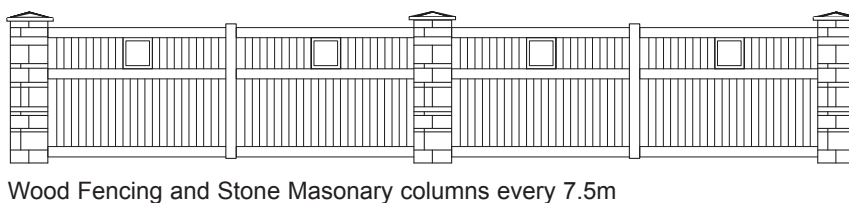
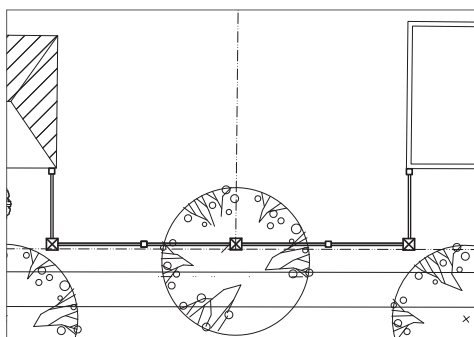


Figure 46. Residential Fence Typology 3: ALONG N/S COLLECTOR ROAD
Wood Fencing with Stone Masonry columns every 15m

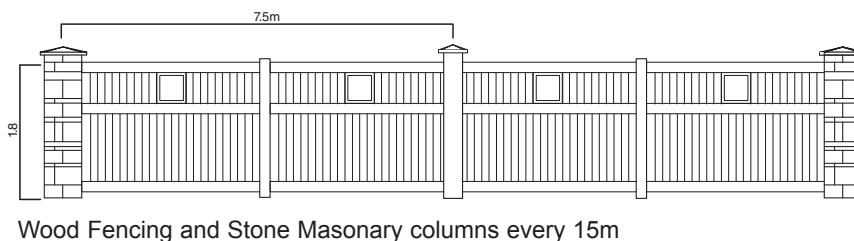
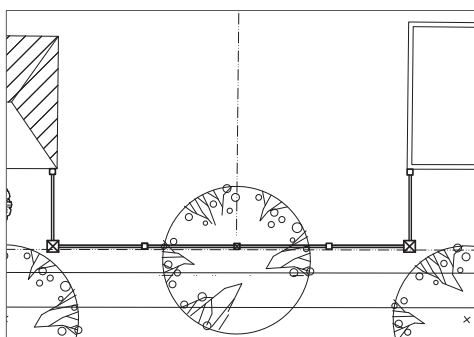
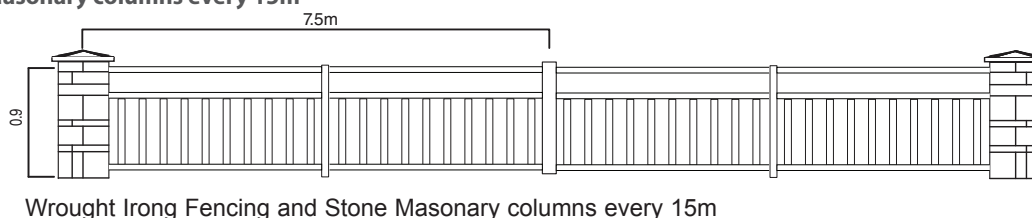


Figure 47. Privacy Fence - Commercial Centres
Wrought Iron Fence with Stone Masonry columns every 15m



3.1.9 Tree Theming

Landscape treatments vary with the scale of streets as well as in special locations within the community. The accompanying figure illustrates where planting themes are incorporated into the streetscapes. The character of each street is described in detail in Appendix 6.7 and is comprised of the following general planting characteristics in what has been termed *Urban Zones Tree Character - Themed Streets*

Arterial Streets

These streets will be distinguished with large, single-stemmed specimen trees that have a high resiliency. The urban design objective is to create a hierarchy of landscape treatments such that the wide major streets include a larger scale of tree specimen that is in keeping with the scale of the roadway.

Major Collector Streets

Collector Streets will include tree specimens that are large, single-stemmed specimens with high resiliency. The urban design objective is to provide a tree canopy in keeping with the scale of these important streets.

Minor Collector Streets

Similar to other collectors, the plantings along these streets will include large, single-stemmed specimens with medium resiliency. The urban design objective is to create a streetscape that is slightly less intensely canopied and planted than that of the larger streets.

Executive Areas Streets

These streets will include single-stemmed specimens with medium resilience that include colourful canopies and are planted closer together than on other streets or are of a larger caliper. The urban design objective is to distinguish these streets as having a heightened landscape impact from the initial stages of the development.

Local Streets

Local streets will generally be planted with large, gardenesque plantings including under utilized tree species moving toward urban forest biodiversity. The urban design objective is to generate a rich canopy of trees that have a mix of trees with a variety of species on each street.

Local Streets Adjacent to Open Spaces

Where local streets are adjacent to open space, the street plantings will focus on utilizing native priority species with significant biodiversity. The urban design objective is to extend the open space areas into the domain of the street rights of way.

Community Gateway Plantings

Special places within the community where individual identity is important, will be distinguished through ornamental plantings with a high aesthetic priority. The urban design objective is to augment any built gateway components with special planting that sets each neighbourhood apart.

It should be noted that most species recommended within each urban zone are all equally suitable to most planting environments potentially encountered within each typology.

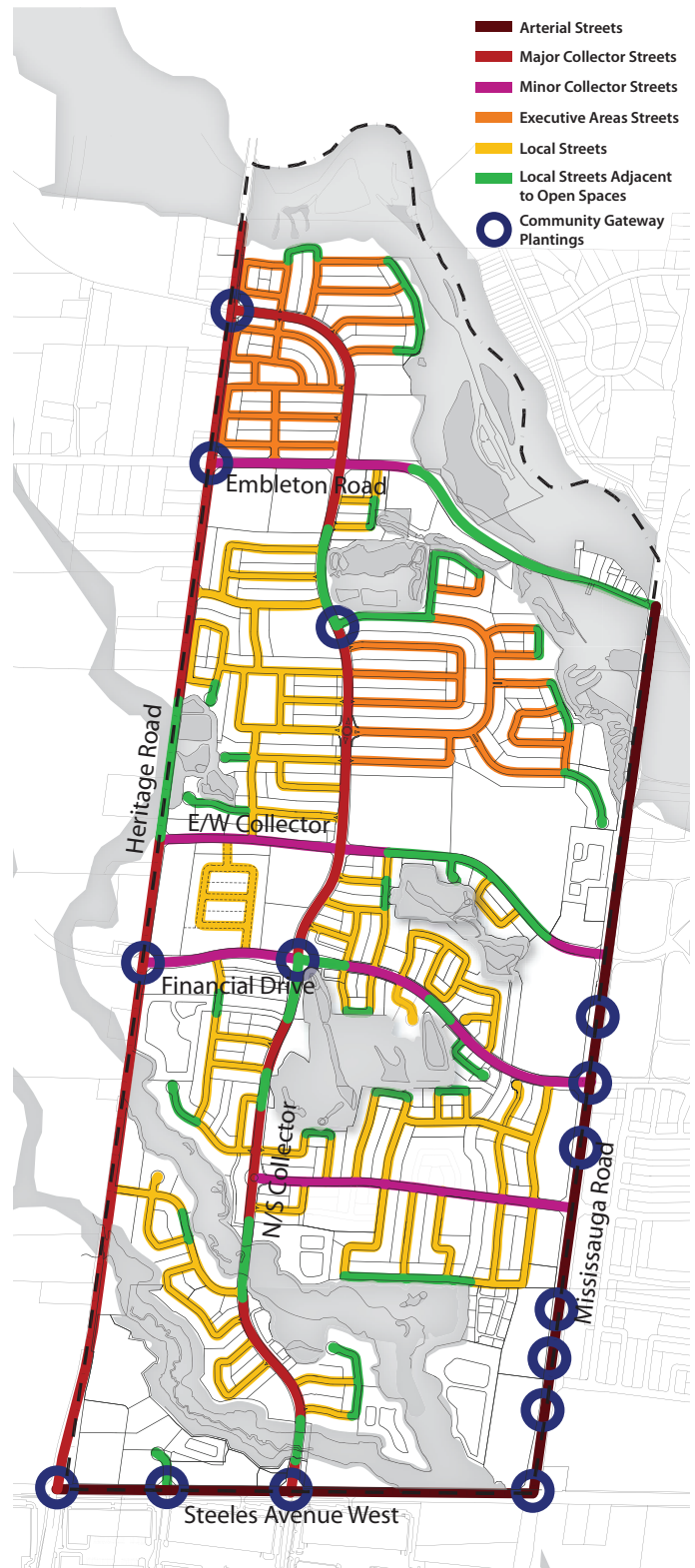


Figure 48. Proposed Tree Theming Plan

(See Appendix 6.7 for plant species recommendations)

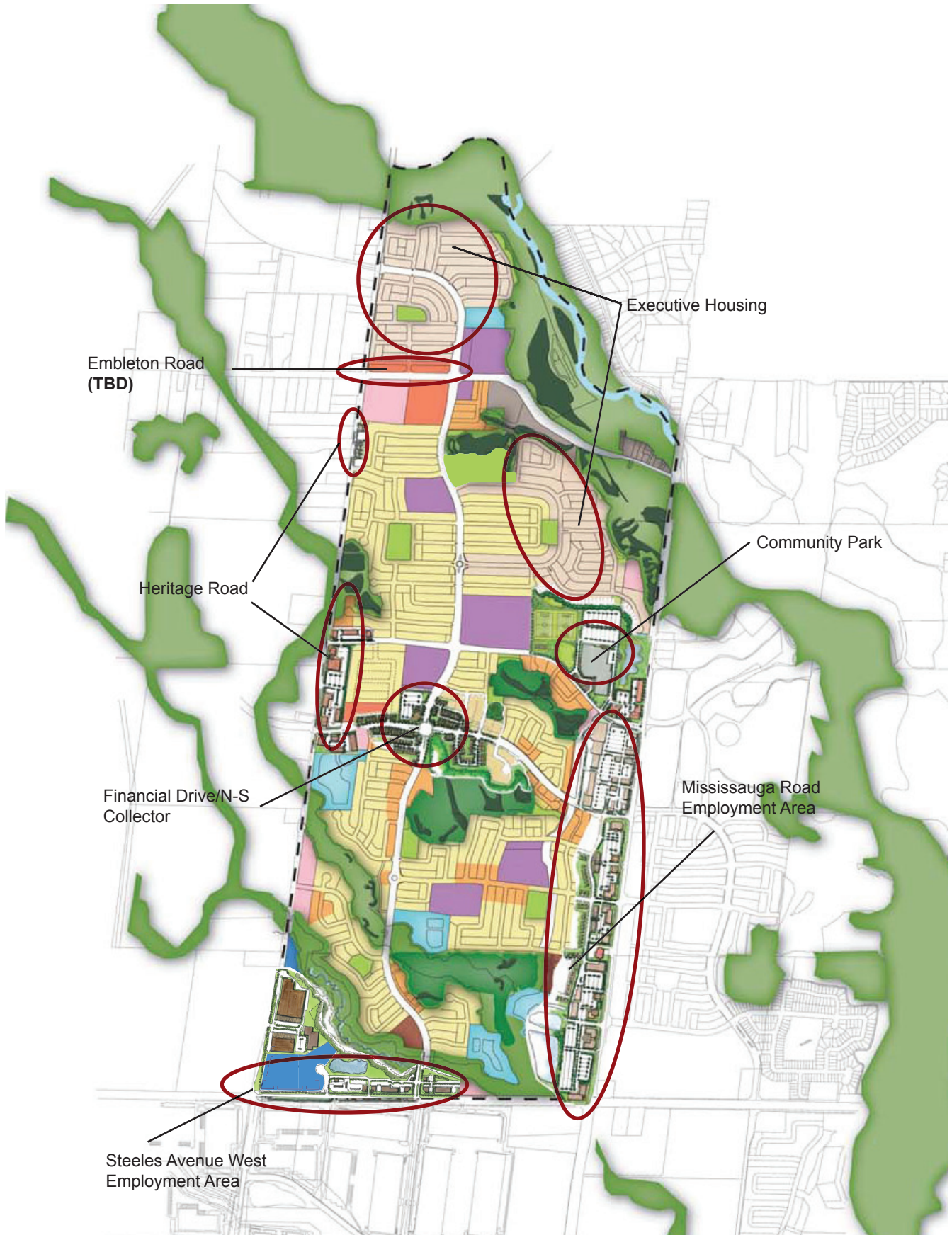


Figure 49. Riverview Heights - Special Character Areas

3.2 Special Character Areas

Riverview Heights has been designed to emphasize those characteristics that will distinguish this community from others in Brampton. The vision for the community is one that maximizes its special components to create a unique new place. The influence of the extensive natural features existing on and around the site has been significant. As a result, a number of areas of the community have been identified for particular attention.

Executive Housing Areas

Riverview Heights residential areas include two executive housing neighbourhoods that are not necessarily limited to large lots. The areas will include a range of housing types including upscale executive townhouses. The primary distinguishing features will include high quality consistent architectural styles and a rich streetscape extending from the roadway to the face of the home. An enhanced public realm will be developed for the Upscale Executive Housing Areas, including street boulevards, gateway conditions and other public realm conditions in and adjacent to these residential areas.

Mississauga Road Employment Area

The character of Mississauga Road has been developed in concert with the proposed development on its east side. An important objective is to assure that a fine grained system of streets is embedded in the design of the area to break down the scale of parking areas and to provide the opportunity for pedestrian connections throughout.

Steeles Avenue Employment Area

Located on the north side of Steeles Avenue between Mississauga Road and Heritage Road, this employment area will be the location of land uses similar to the employment uses south of Steeles Avenue. This employment area will be characterized by large-scale office/warehouse buildings. The design and the scale of the buildings should result in an environment that is comfortable to work in. This means that, in spite of the scale of the buildings, their design should stress a human scale and a connected system of streets and walkways.

The new works yard will be located on the west portion of the site, a short distance north of the intersection of Steeles Avenue West and Heritage Road. It is important that the City's buildings be designed and sited at a comparable level to the uses on the rest of the site.

Embleton Road (still under review)

Embleton Road is a natural extension of the heritage village of Huttonville to the east. It is the local main street focus for the community and provides areas where residents can gather. The character of this area as a Village Focus is enhanced through its relationship to adjacent buildings and land uses. This area has been identified as a Special Study Area, and the future of the road, as well as the land uses related to it, will be determined at a later time.

Financial Drive/North South Collector

The intersection of these two major streets within Riverview Heights is indeed an important "place" within the community given that it is where the two major streets that reach beyond the borders of the community meet. In keeping with the objective of generating special locations within a community, this is a major residential crossroads. Combined with the built form on three corners and the vista to the woodlot on the southeast corner, the open space and residential nature of Riverview Heights is reinforced. The northwest corner of the intersection has been identified as the location of a place of worship. As a result, there is the opportunity to reinforce its importance with built form.

Heritage Road

Heritage Road has an important function as both a north/south street connecting to new residential communities to the north of the Credit River, and a local street with heritage properties and existing residential uses along its length. One of the objectives for the design of the community where it interfaces with Heritage Road is to generate a scale and character that reflects its cultural heritage in the community. An important principle for the character of this road is to maintain its rural nature while allowing for development over time. The siting and orientation of homes along the road, in combination with the rural nature of the roadway, will result in a unique street edging the new community.

The Community Park

The community park is located in the northwest quadrant of the intersection of Mississauga Road and a new east/west street. The Park will serve the wider Bram West community with active facilities, focal points and landscape features. Located at a gateway to the community, the park is designed to create a focal point. The park will accommodate a full range of activities including a community centre and play fields for the wider Brampton community.

A portion of the park (1.5 ha) will be designed to serve a local park function.

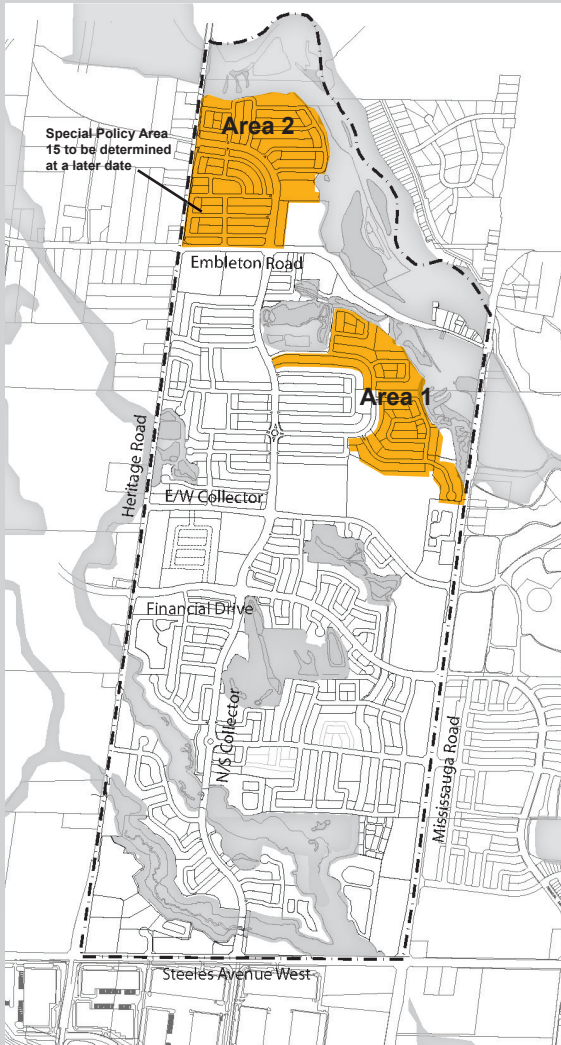


Figure 50. Executive Housing Character Areas - Location

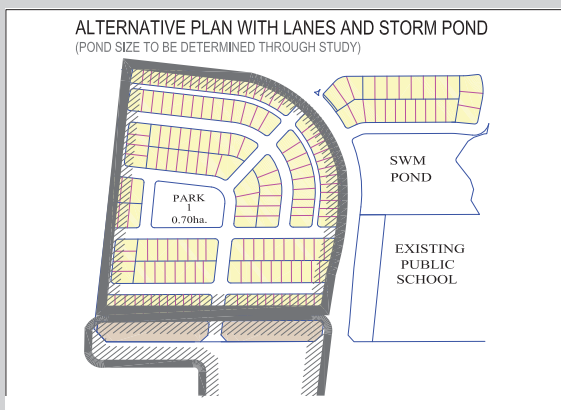


Figure 51. Alternative Laneway Plan for Executive Residential, Special Policy Area 15

3.2.1 Executive Housing Areas

Vision

It is expected that housing, landscaping and the public realm within the upscale executive housing areas will be of a higher level of design quality than other housing within the community. The executive housing should be designed within the full range of styles, massing, scales and quality of residential design in the Riverview Heights Community. The principles for the design of Executive Housing Areas will be guided by the 'Design Workbook for Upscale Executive Housing' (dated 2000) and that learned from other Block Plan upscale executive developments since that time.

Executive housing forms should not necessarily be limited to large lots. Upscale townhouse units are encouraged, particularly where facing roads with limited access or to provide a transition between the larger lot executive homes and other land uses within the community. In Riverview Heights, where residences back onto the community park, special provisions will be made to provide a proper transition. General principles that guide executive housing areas include;

- Architecture/built form will be of high quality in its design, use of materials, and implementation;
- High quality streetscapes including upgraded landscaping;
- Streets should embody a higher level of landscape treatment and the streetscape should extend from the edge of the roadway to the face of the residence;
- Enhanced public realm will be developed for the Upscale Executive Housing Areas including street boulevards and gateway conditions leading into these areas;
- Special consideration in the architectural treatment of garages;
- Fencing designed to complement the style of the residences; and,
- Special attention to the treatment of utility meters.



Executive Housing Recessed Garage

Objectives

Similar to all other neighbourhoods within Riverview Heights, the character of the executive housing areas should be consistent. The objectives include:

- Executive housing areas will be designed to a higher level than other neighbourhoods and will be distinguished from traditional dwelling areas by the use and implementation of high quality design and materials;
- There should be a consistency in street scale and building setbacks throughout the neighbourhood.

Urban Design & Landscape Guidelines

- Each neighbourhood should have a consistent planting palette that will distinguish it from other neighbourhoods;
- Parks will have upgraded paving materials and will include special entry elements and covered gazebos where appropriate;
- Decorative metal fencing will be required at Stormwater Management Ponds and vista blocks within the executive housing areas;
- Mailbox locations in executive housing areas will include special detailing. Executive Mailbox upgrades will be reviewed and approved by the City and Canada Post (see Section 3.1.7 Community Mailboxes, Figure 43a+b);
- The level of landscaping in executive housing areas shall be distinguishable and further upgraded;
- In executive housing areas an upgraded public realm planting program shall be implemented including:
 - trees planted at City standard of 12-18m spacing with special 100mm - 150mm canopy in executive areas,
 - special paving at crosswalks to be determined at plan review stage,
 - upgraded street signage,
- Where they occur, long streets should be treated to reduce the sense of overly long corridors through the use of varying setbacks, varied elevations and a higher variety of unit types than on typical streets.



Executive Housing Streetscapes



Enhanced landscaping located at gateway lots.



Executive Housing Large Lots

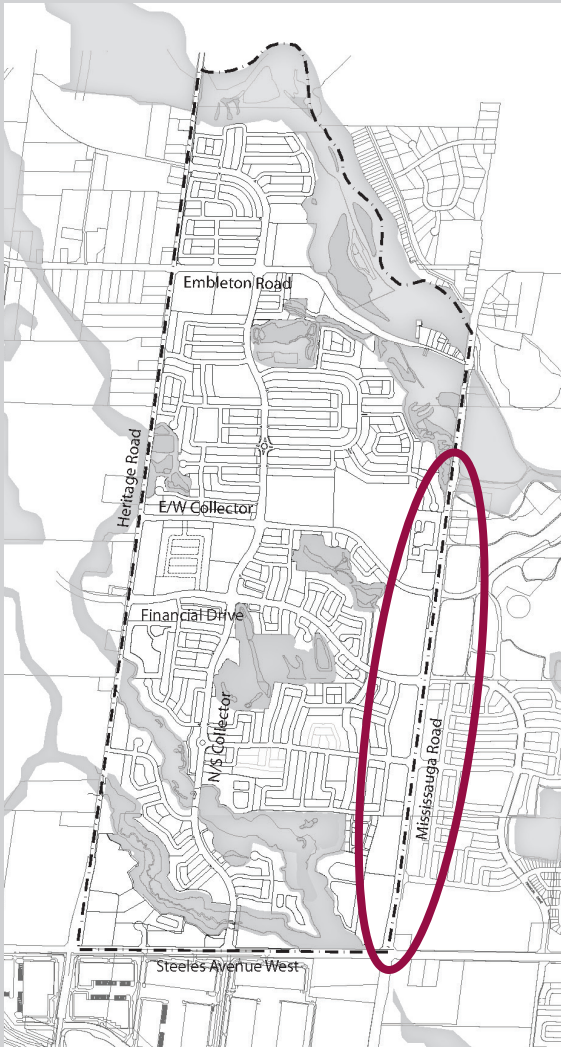


Figure 52. Mississauga Road Character Area - Location



High quality architecture is envisioned for Employment Areas



Reinforce the street edge through built form.

3.2.2 Mississauga Road

Vision

The study area reaches from the Community Park on the north to the intersection of Mississauga Road with Steele's Avenue on the south. The land uses vary from offices near Steele's Avenue and a major retail centre to the north. This employment area will generate an image of the Riverview Heights Community as viewed from Mississauga Road. The vision for the Mississauga Road Employment character area is one that has fine-grained streets, promotes easy access and generates an environment that is at a pedestrian scale. In order to reinforce these qualities the guidelines have concentrated on the edges, gateway conditions (section 3.1.6) and transition areas between non-residential and residential areas (section 4.3.4).

Objectives

- The employment lands will be developed in keeping with the scale and character of those planned for the east side of the roadway to achieve a consistent streetscape;
- Siting and design of buildings should produce a cohesive, high quality designed environment;
- Provide an appropriate transition to residential uses;
- Create common space / amenity space; and,
- Limit visible surface parking from main street frontages along Mississauga Road.

Urban Design & Landscape Guidelines

Employment areas should be richly landscaped to generate the image of a prestigious area, to break up the parking areas and to encourage use of walkways and sidewalks.

- Encourage high quality design and materials to ensure prestigious and attractive built forms;
- Prominent massing and built form at intersections and at main access points, at least 2-3 storey building height;
- Ensure at least 50% building frontage along Mississauga Road;
- Encourage structured/underground parking wherever possible over time as development intensifies, except for neighbourhood retail;
- Encourage a phased approach;
- Where drive-thru's are allowed they should have regard for the guidelines in OPA 40 (d). Please see section 4.4.1 for further details;

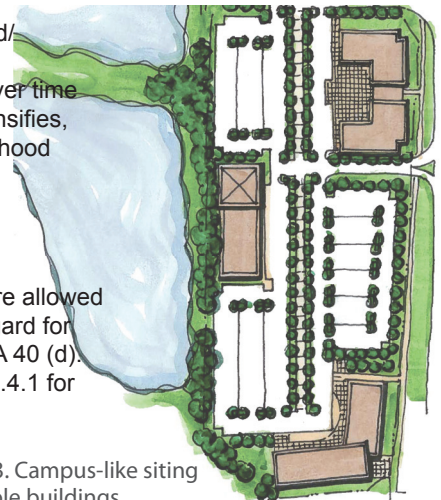


Figure 53. Campus-like siting of multiple buildings

- Siting of the buildings should allow for views through from Mississauga Rd to the natural areas on the west where possible;
- Siting of buildings should reinforce the gateway conditions at the intersection of Mississauga Road and Steeles Avenue utilizing massing and height to address the corner;
- Buildings shall be sited close to the internal streets to reinforce human scaled streetscapes;
- Mississauga Road is wide and, as a result, buildings should be sited to produce a continuous street wall and parking shall be located away from the road;
- Siting of buildings along internal sidewalks should encourage pedestrian movement and walkways should be maintained in front of employment uses, and to provide access from residential areas to Mississauga Road;
- When located on a shared street, active building elevations shall face the residential uses to the west and be compatible with the homes they face;
- Loading docks will only be allowed at the rear, or side, of buildings and outdoor garbage enclosures are not permitted;
- A landscape buffer shall be provided for buildings that face onto or sit next to residential uses;
- Parking areas should include clear pedestrian routes to building entries. The connections from Mississauga Road, east to the large uses should include sidewalks, landscape and seating where space permits;
- Where possible, landscaped islands shall be implemented at the end of parking rows within large expanses of parking areas;
- Plant material and street trees should be chosen to withstand road side conditions and to maintain views of commercial facades and signage;
- Upscale landscaping along Mississauga Road and internal to the commercial plaza will include masonry columns, decorative metal fencing, soft landscaping, irrigation, and decorative paving, etc;
- Planting within the landscape buffers may include some ornamental planting within the arterial edge, integrated with sidewalk connections;
- Where parking areas are visible from Mississauga Road, landscaping shall be provided;
- Buildings shall be designed to reduce the impact of lighting or noise on the adjacent residential uses;
- For safety, views to all retailers, storefronts, and businesses within the retail centre shall be maintained wherever possible;
- Commercial buildings shall employ a transition in scale, coordination of materials, massing and architectural details to promote a pedestrian-friendly environment; and,
- Sufficient landscaping shall separate the retail centre from adjacent residential uses.

Demonstration Plan

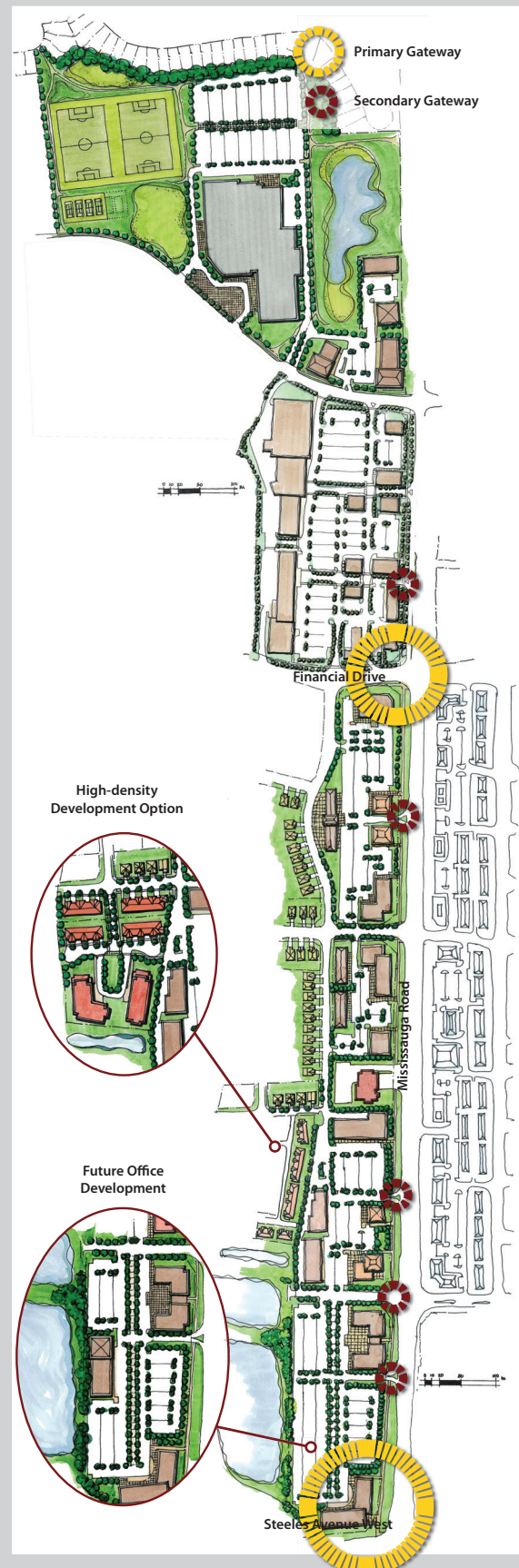


Figure 54. Mississauga Road Demonstration Plan

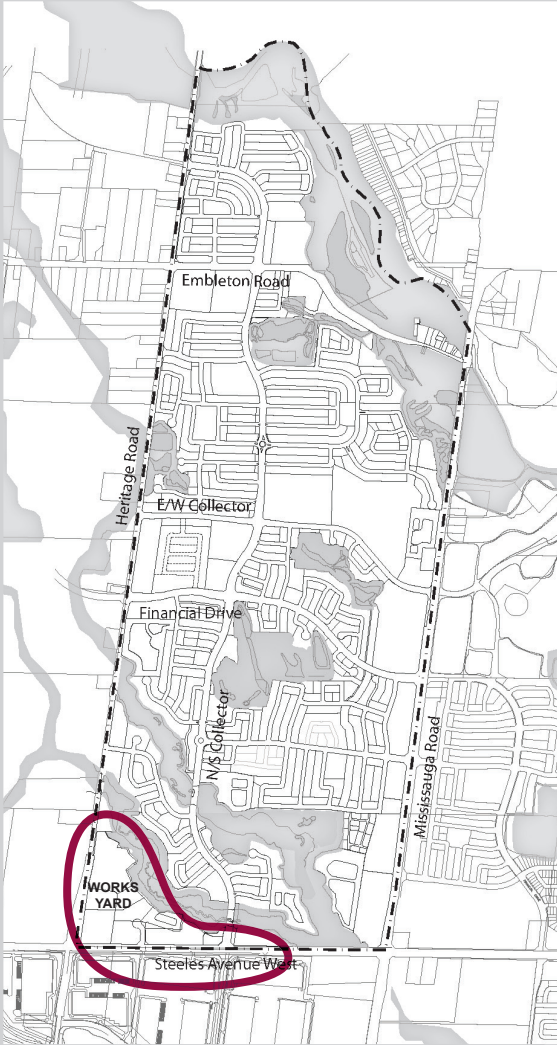


Figure 55. Steeles Avenue West Character Area - Location



Built form should frame the gateway



A continuous built edge along Steeles Avenue

3.2.3 Steeles Avenue West

Vision

Located on the north side of Steeles Avenue between Mississauga Road and Heritage Road, this area will be the location of land uses similar to the employment uses south of Steeles Avenue, as well as the City's works yard. The vision for this character area is to create a prestige industrial area as a face to the community from the south. This employment area will be characterized by large-scale office/warehouse buildings. The design and the scale of buildings should result in an environment that is comfortable to work in. In spite of the scale of these buildings, their design should stress a human scale and a well connected system of streets and walkways. As is indicated on Mississauga Road, to reinforce these qualities the guidelines have concentrated on the edges, gateway conditions (section 3.1.6) and transition areas between non-residential and residential areas (section 4.3.4).

The demonstration plan for the area illustrates one way in which the site might develop in keeping with the urban design objectives of the City. The site fronts onto Steeles Avenue and Heritage Road. The north edge of the site is bounded by Levi Creek, a natural open space amenity. The intersection of the north/south collector road and Steeles Avenue provides the opportunity to generate a gateway to the community. The plan indicates smaller uses at this location, such as a bank or localized retail facing the street. Finally, the location of storm water management facilities along the open space system extends the natural system into the heart of the employment area.

Objectives

- To provide building massing at the entrance to the community from Steeles Avenue;
- To create built form along Steeles Avenue that is consistent in height and landscaping;
- To accommodate strong links to the open space system on the north; and,
- To limit surface parking visible from the frontage along Steeles Avenue.

Urban Design & Landscape Guidelines

The design of employment areas will result in a strong image from surrounding streets and easy access between buildings on the site.

- Site planning for the employment lands fronting Steeles Avenue will be developed in a manner that is similar to that proposed for the area to the south;
- Siting of buildings should reinforce the gateway condition at the intersection of Mississauga Road and Steeles Avenue;
- Minimum 2 storeys in height and at least 50% building frontage along Steeles Avenue;
- Buildings should be sited close to the roadway to reinforce human scaled streetscapes;

Demonstration Plan

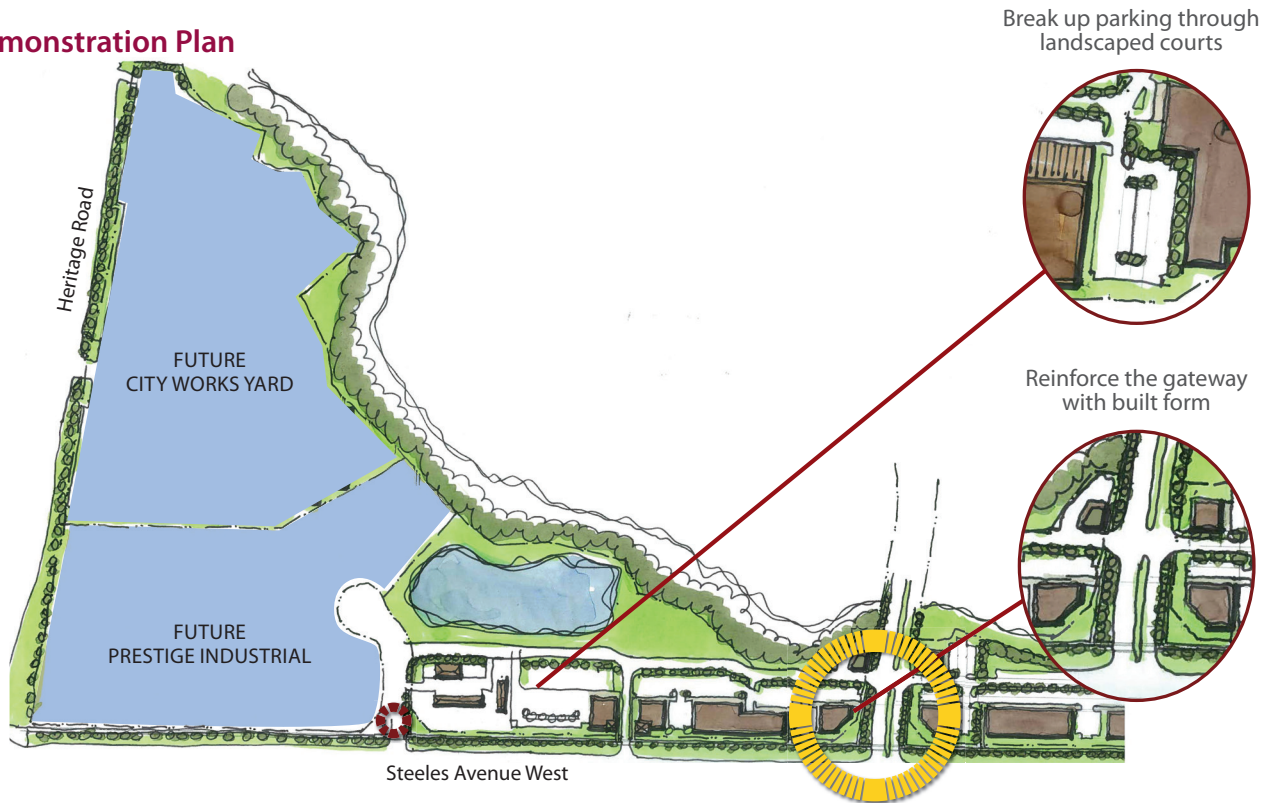


Figure 56. Steeles Avenue West Demonstration Plan

- Parking should be located away from the arterials to emphasize built form, street wall conditions and landscapes;
- Siting and design of buildings should produce a cohesive high quality designed environment;
- Buildings should be sited to encourage movement between and within sites;
- Loading and service activities should occur at the side or rear of the building and outdoor garbage enclosures are not permitted;
- Parking should not dominate the street;
- Parking lots should be located, wherever feasible, at the sides and rear of buildings. Parking will not be permitted in the front yard of buildings along Steeles Avenue.;
- Large parking areas should be combined between adjacent buildings where feasible and located in "parking courts" to reduce the impact of parking lots on the street edge;
- 6.0m minimum landscape buffers should be maintained along industrial frontages and arterial and collector roads;
- Where possible, landscaped islands shall be implemented at the end of parking rows within large expanses of parking areas;
- Building entrances and pedestrian walkway connections from building frontages shall be accented by landscaping; and,
- Plant material used in the landscape of industrial sites should be consistent with approved community planting plans and community character.

- If gas stations or drive-thru's are being contemplated, they shall conform to the *City of Brampton Drive Through Facility Guidelines; Part 6, Section 4 of the Development Design Guidelines (April 2011)* and *City of Brampton Automotive Service Centres Guidelines; Part 6, Section 3 of the Development Design Guidelines (March 2010)*;



Landscaped parking areas

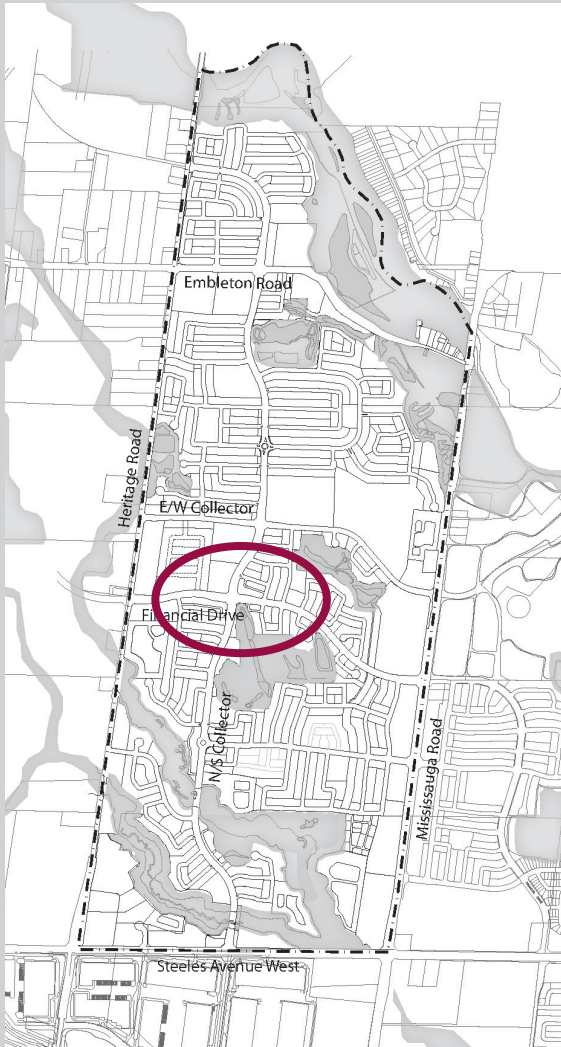


Figure 57. Financial Drive / N-S Collector Character Area - Location

3.2.4 Financial Drive / N-S Collector

Vision

Riverview Heights is primarily a residential community. The intersection of Financial Drive and the N/S Collector reflects this in that the predominant visual experience is that it is framed with residential units, open space and a place of worship.

The intersection of these two major streets within Riverview Heights is indeed an important “place” within the community. Built form on three corners and exposure to the woodlot on the southeast corner reinforces the open space and residential nature of Riverview Heights. This focal point should include the following elements:

- The location of three storey townhouses built near the roadway to frame the street and enhance the pedestrian character of the community;
- Side entry conditions at the three developed corners to provide private entries from the corner;
- The use of lanes and/or specially designed units to face entrances onto the street; and,
- An urban trail head to the pathway system, and
- Built elements of the place of worship that reinforces the street wall at the corner

Objectives

- To provide building massing at the key intersection of the community; and,
- To generate a semblance of “street wall” at the intersection to heighten the sense of arrival and gateway.

Urban Design & Landscape Guidelines

The design and siting of residential buildings at this intersection should generate a consistent image of the community as a residential neighbourhood

- Siting of buildings should reinforce the gateway condition at the intersection of Financial Drive and the N/S Collector;
- Buildings should be sited close to the roadway to reinforce human scaled streetscapes;
- Buildings should be at least three storeys in height to address the scale of the intersection;
- Buildings should be sited to address the street with front entries and sidewalk connections;
- Building design should be consistent on all three corners;
- Buildings should be sited close to the street; and,
- Parking should be hidden from views from the intersection.

Demonstration Plan



Figure 58. Financial Drive / N-S Collector Demonstration Plan



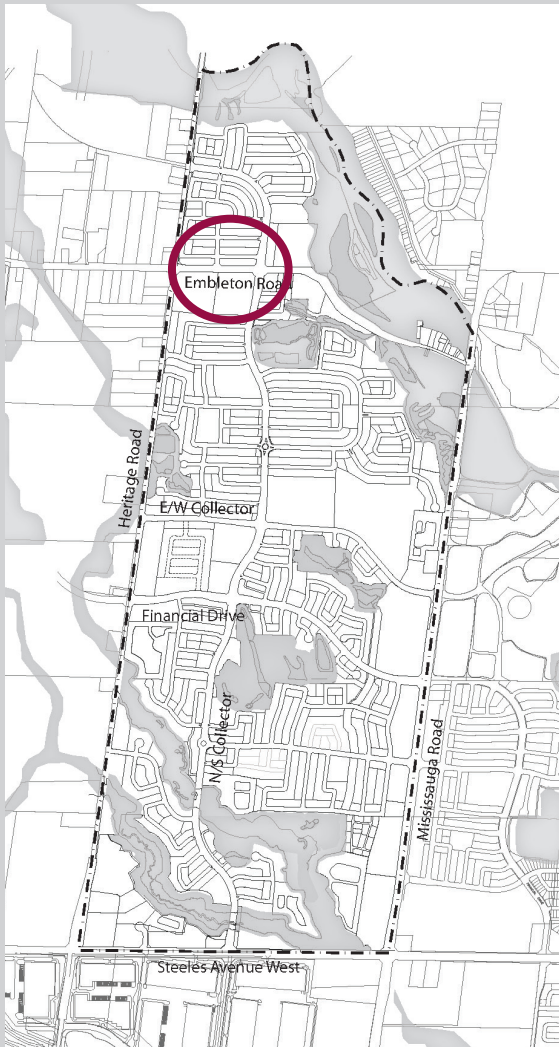


Figure 59. Embleton Road Character Area - Location

3.2.5 Embleton Road

(special policy area - still under review)

Vision

Embleton Road within Riverview Heights is a natural extension of the heritage village of Huttonville to the east. It is a regional road and will remain as 2 lanes in the existing Village of Huttonville up to the school site. It is the local main street focus of the community and includes the following characteristics:

Objectives

- Community Gathering Spaces

One of the primary functions of Embleton Road is to provide an area where residents can gather. Its design will include:

- Public space oriented toward adjacent roads and important intersections;
- Hard surface areas for seating and gathering; and,

- Interaction between the public realm and adjacent residential lots

The character of this Village Focus will be enhanced through its relationship to adjacent buildings and land uses. The design and siting of adjacent buildings should consider the following:

- Buildings adjacent to public spaces should be sited to have major windows facing the Main Street; and,
- Buildings adjacent to the public spaces should be scaled to provide enclosure to the Main Street to reinforce its pedestrian nature.

This area has been identified as a Special Study Area, and the future of the road, as well as the land uses related to it, will be determined at a later time. An Urban Design Brief may be required at that stage.

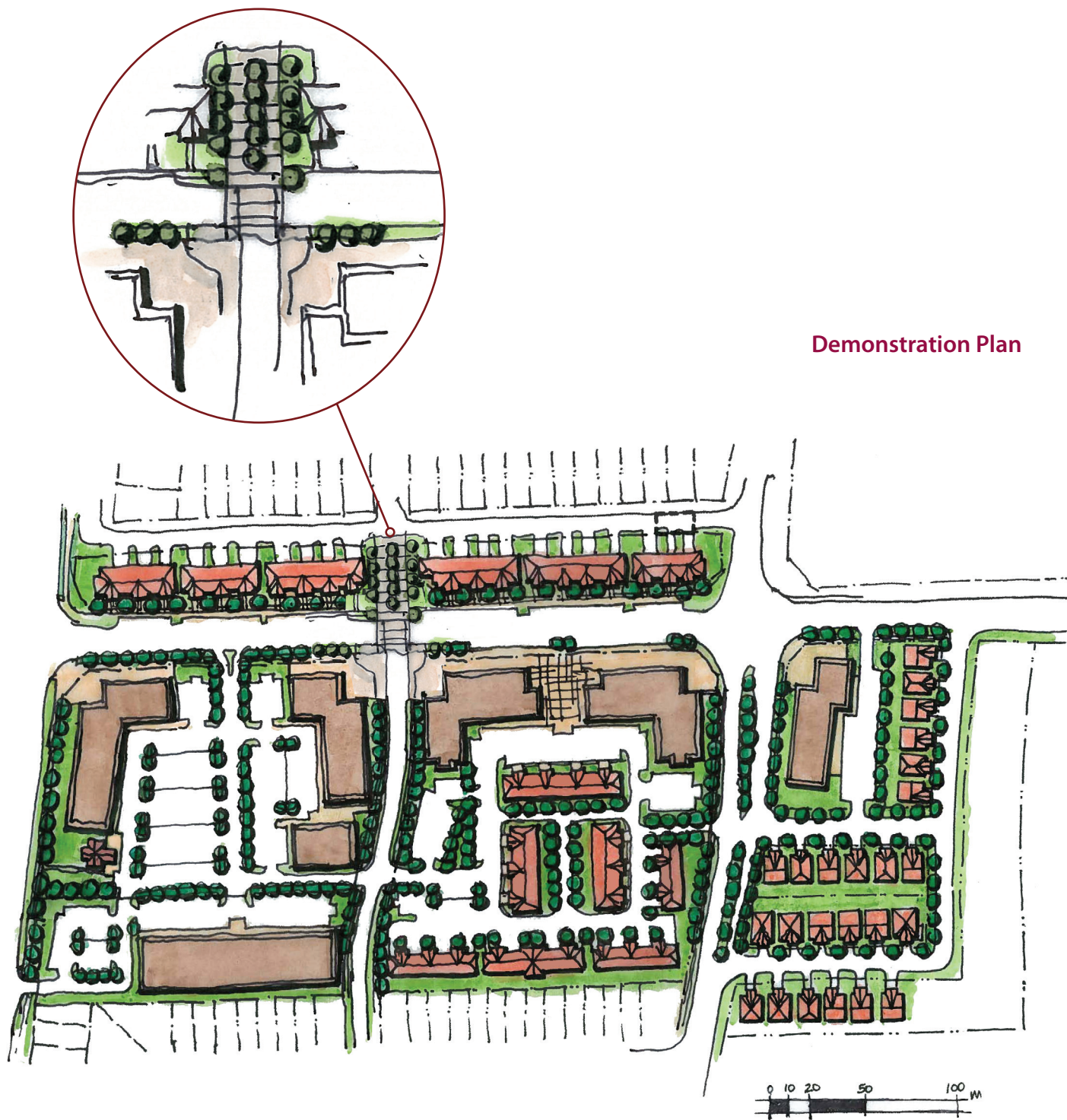


Figure 60. Embleton Road Demonstration Plan

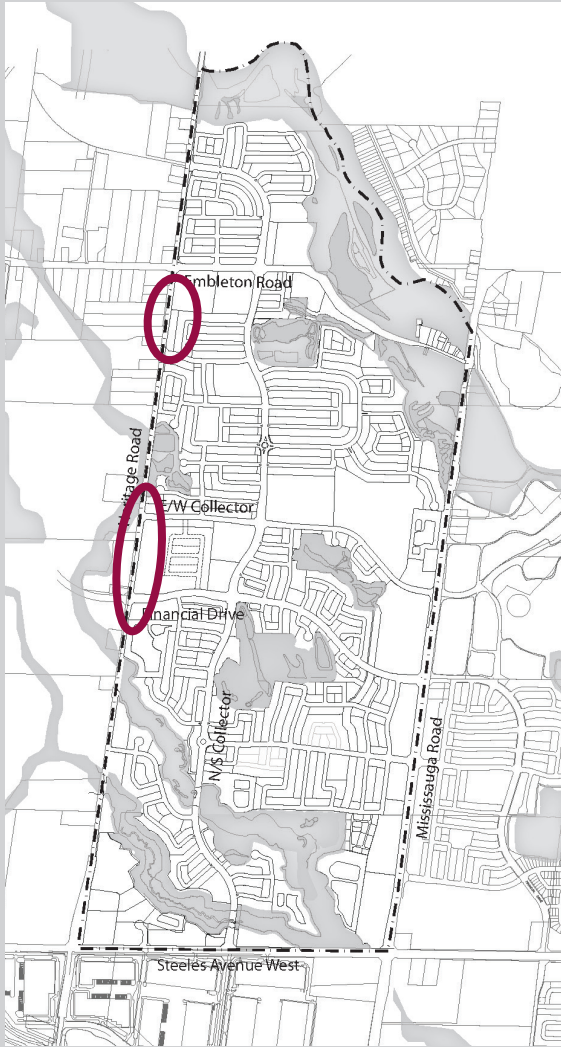


Figure 61. Heritage Road Character Area - Location

3.2.6 Heritage Road

Vision

Heritage Road has an important function as both a north/south street connecting to new residential communities to the north of the Credit River, and a local street with heritage properties along its length. One of the objectives for the design of the community where it interfaces with Heritage Road is to generate a scale and character that reflects its cultural heritage in the community. An important principle for the character of this road is to maintain its rural nature while possible, allowing for change to occur as needed.

The siting and orientation of homes along the road, in combination with the rural nature of the roadway, will result in a unique street edging the new community.

Objectives

Heritage Road is an important edge to the Riverview Heights community. It projects an important image of the community and as it changes over time, the design and siting of buildings along its length should be cognizant of the road's future. It is possible that the road will be widened in the future so the potential to create a naturalized boulevard at that time should be considered. To achieve this, the location of sidewalks and a multi-use trail should be considered that will allow them to remain should the road be widened. Secondly, a rural cross section might be considered in the future to retain the rural character of the roadway. Landscape treatment and public realm improvements should be maintained with the long term condition of the road in mind.

Urban Design & Landscape Guidelines

- Sidewalks and landscaping should be located so that they will not need to be relocated in the future, when widening will be necessary;
- A rich landscape palette should be implemented including trees and landforms where appropriate;
- Retail buildings should be located adjacent to the street for at least 50% of the frontage to generate a street wall;
- Parking lots should be broken into smaller "pods" using landscape and buildings to create them;
- Strong urban character at important intersections including Embleton Road, the east/west collector, and Financial Drive; and,
- Driveway access from Heritage Road is not encouraged; however, if it occurs, the following shall apply:
 - Driveways should be combined to reduce entrances,
 - Driveways should be of sufficient width to allow cars to turn around on site,
 - Siting and layout will be reviewed by the Control Architect.

Demonstration Plan

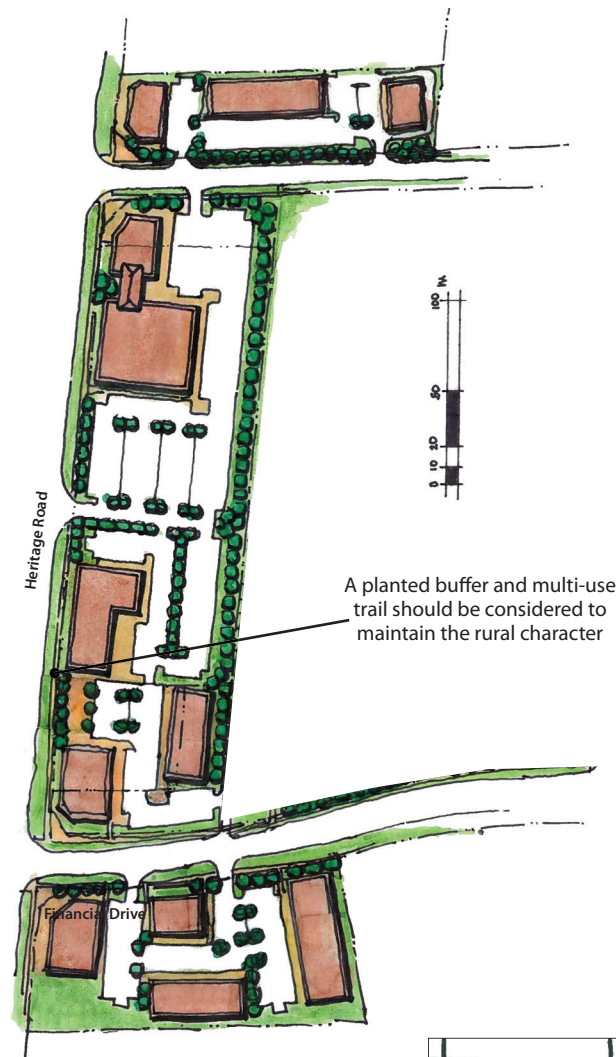


Figure 62a. Heritage Road

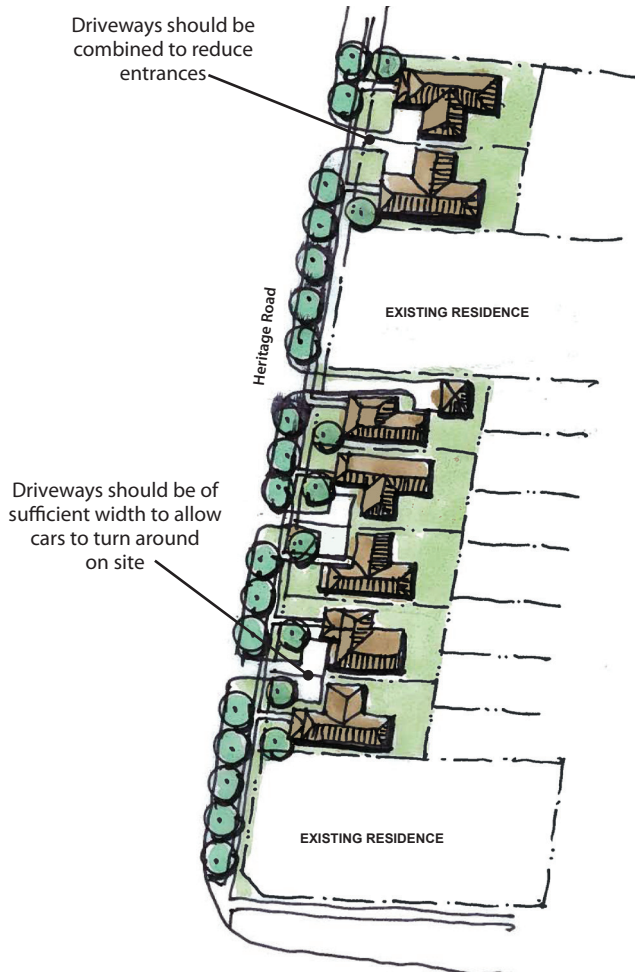


Figure 62b. Heritage Road Residential Frontage

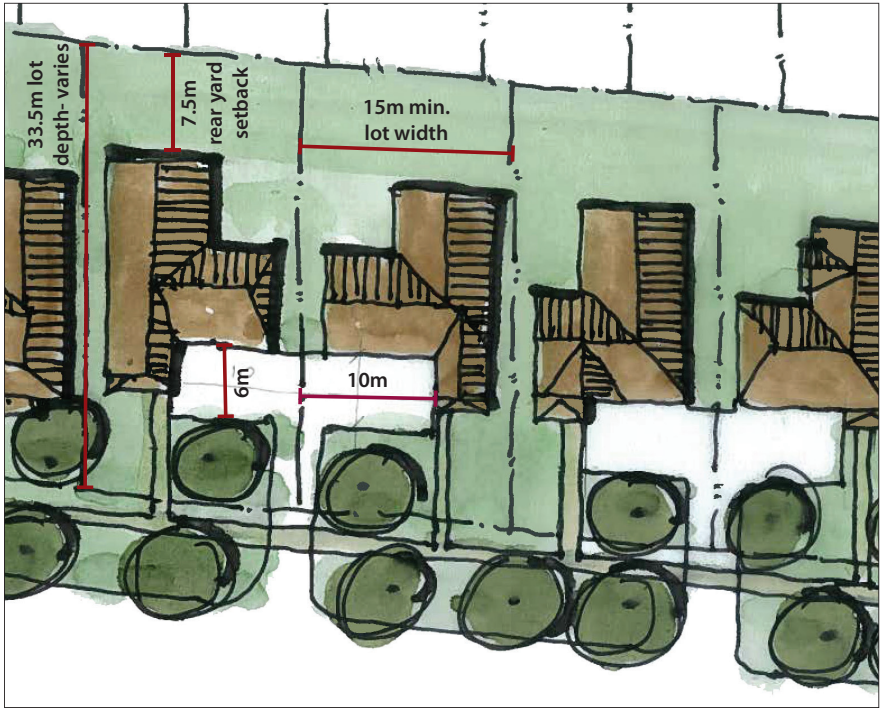


Figure 62c. Detail of driveways fronting onto Heritage Road - Minimum dimensions



Figure 63. Community Park - Facility Fit - Location

3.2.7 Community Park

Vision

The community park is located in the northwest quadrant of the intersection of Mississauga Road and a new east/west street. The Park will serve the wider Bram West community with active facilities, focal points and landscape features.

• Active Facilities

Active facilities are meant to provide recreation opportunities for the residents of the west side of Brampton. The City has suggested that the facilities proposed at this time are:

- Community centre - approximately 150,000 sq. ft.
- 2 senior sports fields
- 1-4 tennis courts

May contain some or all of the following:

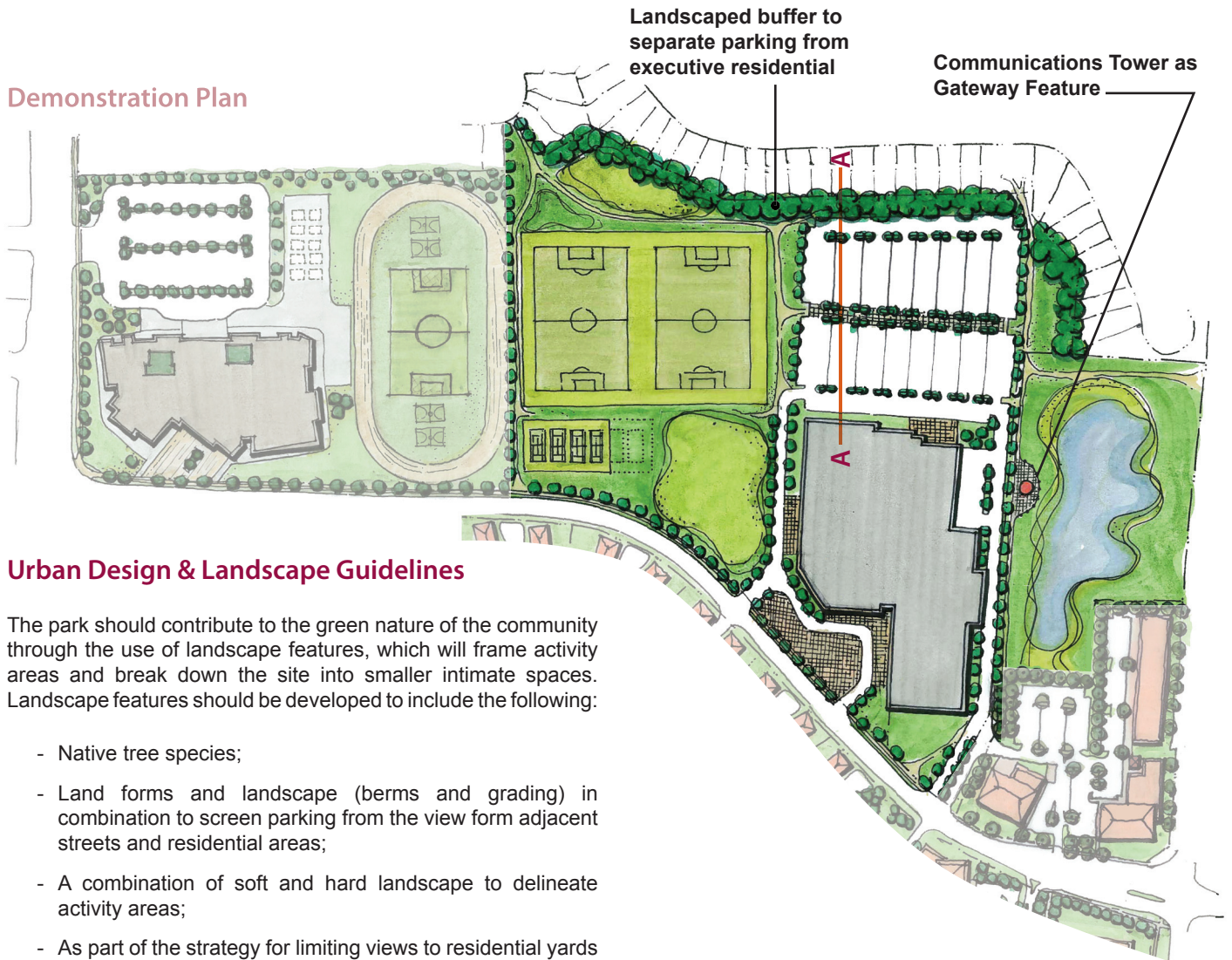
- Sr. playground
- Splash pad
- Multi-purpose play pad
- Potential for minor skateboard facility

• Focal Points

The park is located at a gateway to Riverview Heights and as such, should be designed to create a focal point for the community. A number of design features should be considered when developing the site, including:

- The site is adjacent to a storm water management feature which should be considered when designing the site as an opportunity for views to and from Mississauga Road;
- Consideration should be given to relocating the existing communications tower to where it can be seen as a gateway feature; for example on the west side of the SWM, in front of the new community centre;
- Buildings should be located to address the street framing views and enhance the pedestrian scale of the street;
- Parking should be located to be hidden from view, wherever possible;
- Connections to the surrounding community should be enhanced to encourage walking/cycling to nearby facilities;
- Part of the park (1.5 ha) will be designed to serve a neighbourhood function;
- Site design (lighting design of fields and parking lots) should consider the impact of lighting on the adjacent residential neighbourhood; and,
- Joint use with the adjacent high school.

Demonstration Plan



Urban Design & Landscape Guidelines

The park should contribute to the green nature of the community through the use of landscape features, which will frame activity areas and break down the site into smaller intimate spaces. Landscape features should be developed to include the following:

- Native tree species;
- Land forms and landscape (berms and grading) in combination to screen parking from the view form adjacent streets and residential areas;
- A combination of soft and hard landscape to delineate activity areas;
- As part of the strategy for limiting views to residential yards adjacent to the community park, a combination of berms, landscape plantings and/or trees should be located along the length of the rear yard fencing;
- The opportunity to achieve the objectives of Brampton's Flower City Strategy; and,
- Forms of landscape that allow for views into the site to further CEPTED objectives.

Figure 64. Community Park - Facility Fit Demonstration Plan for illustrative purposes only

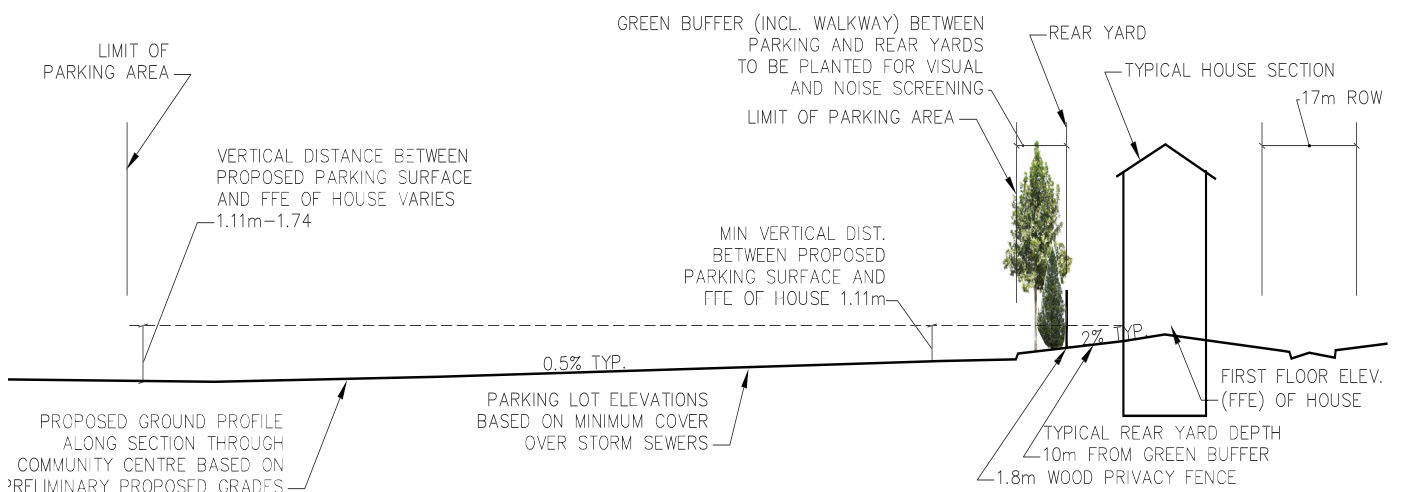


Figure 65. Section A-A' of Landscaped Buffer

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The following architectural controls are to be read in conjunction with the City's Development Design Guidelines Chapter 7 "Architectural Control Guidelines for Ground Related Residential Development" (ACGGRRD). Additional guidelines have been developed to reflect the unique conditions inherent in the community of Riverview Heights. Section 4 outlines these built form guidelines and their accompanying architectural controls. This section should also be read in conjunction with Section 3: Community Design Plan, which focuses on urban design and landscape guidelines. Architectural criteria stated in this CDG is in addition to the requirements of the ACGGRRD and must be read in conjunction with that document. In the event of a discrepancy between the minimum standards mentioned in this document and the DDG (ACGGRRD), the DDG shall supersede. The implementation process with respect to the Control Architect, architectural controls and review are outlined in Section 5: Implementation.

4.1 Building Form Character + Distribution

Riverview Heights is envisioned as a community with a full range of housing types, institutional buildings and employment use structures. The built form related to all of these types of buildings will, in large part, define the character and quality of the environment of Riverview Heights. The density, height and relationship of buildings to each other and to the street will be urban in nature. The architecture that predominates will be further detailed in the architectural controls for the community. In general the following principles will apply:

- The predominant form of residential buildings will be single-detached, semi-detached dwellings, and townhouses (medium density);
- The plan also provides for a few mid-rise apartments, live-work, institutional buildings, including schools and the community centre, and commercial structures;
- Low density residential buildings will be found throughout the majority of the neighbourhoods;
- Medium density residential buildings and mid-rise apartments will be located along the main spine roads and in key areas where they support retail and community functions;
- Live-work units will be located strategically near the community focus areas and where local retail is desirable such as the Embleton Road-Heritage Road intersection;
- Some local retail will be located at important local road intersections where it supports the neighbourhood;
- Employment buildings will be located primarily along Mississauga Road and Steeles Avenue;
- Unit types will be mixed within each neighbourhood and on single streets to the greatest extent possible to promote diverse and interesting streetscapes;
- The relationship of buildings to the street will be carefully established to reinforce the pedestrian nature of the community;
- The architecture of individual buildings should promote diversity, interest and pedestrian scale. The details of the architecture will be fully described in this section 4 and augment the City's Development Design and Architectural Control Guidelines and are required prior to Stage 2 Block Plan approval;
- Ground related buildings will be designed to address adjacent streets to enhance CEPTED objectives and to promote eyes on the street; and
- Massing and siting of important buildings will acknowledge their location in the plan through the use of architectural treatments such as tower elements and/or upgraded elevations.



Townhouse Built Form



Heritage Built form



Mid-rise Built form



Single Family Built form

Built Form Typologies + Built Form Distribution

Throughout the community there will be a range of built form including an array of residential types, retail/commercial, office, prestige industrial and Institutional. In order to develop a community that has variety and yet a consistent level of quality, consideration must be given to some repetitive elements that will be found in each residential house type.

Sections 4.3 and 4.4 describe the typologies that could be found in the Riverview Heights Community and highlights the places where they may occur on the plan.

The variety of residential building types will range from large lot single-detached units (15.2m-21.3m frontages) in the executive housing neighbourhoods to smaller lot single detached homes (10.4m-14m frontages), semi-detached units (7.2m-7.95m frontages), townhouses (6.1m-6.6m frontages) and mid-rise multi-unit buildings.

Provisions for Non-Standard Built Form Types not included in the DDGs

The community includes a number of built forms that are not presently described in the DDGs. The built form guidelines in this section will provide guidance for the design of live-work units, mixed use buildings and additional guidance for non-residential buildings.

Provisions for Preservation + Integration of Heritage Built Form

The integration of heritage buildings and other historic artifacts is an important premise of the master plan. The plan indicates the re-use of historic structures as typified by the use of the home south of Embleton Road on Heritage Road as an integral part of a future commercial centre (see section 3.2 Special Character Areas). Additionally, future development of Embleton Road will have regard for the historic character of Huttonville to form part of the built form of that area.

Where heritage structures have been lost, provision will be made for commemorative markers, use of street naming, heritage interpretive signage and other commemorative features as deemed appropriate by the City, in the vicinity within a parkette or other public space.

Priority Lot Plan - Statement

To indicate where a higher level of design detail will be mandatory a priority lot plan will be incorporated into the architectural controls. The following section (4.2) identifies the important elements for priority locations and this plan will generally identify where special features will typically occur.

Priority lots are those that:

- Frame entries to the community or neighbourhoods;
- Back onto public use lands such as parks and SWM ponds; and,
- Face open space/natural heritage lands.

The priority lot plan for Riverview Heights will be developed in conjunction with final draft plans.

4.2 Priority Locations

The following are site specific guidelines with respect to buildings whose site conditions differ from the standard ones described in the City's Architectural Control Guidelines. A plan indicating the location of priority lots is found in section 5, Implementation

4.2.1 Elevations Facing/Flanking Open Space

The Riverview Heights master plan has been designed such that the majority of employment lands and residential uses are separated by a natural buffer provided by the open space system. In addition, the majority of institutional sites are located adjacent to open spaces.

Objective:

To ensure that the built form of residences address the open space they surround, and that their design elements provide an extension into those views.

The architectural expression of homes surrounding open spaces shall have regard for the following:

- Long building blocks shall be highly articulated to avoid long uninterrupted facades that provide little visual interest; and,
- Where fencing is required, upgraded fencing established in the Riverview Heights Urban Design Guidelines for community fencing (3.2.7) is encouraged and in executive areas it is required.



Residential units backing onto naturalized areas

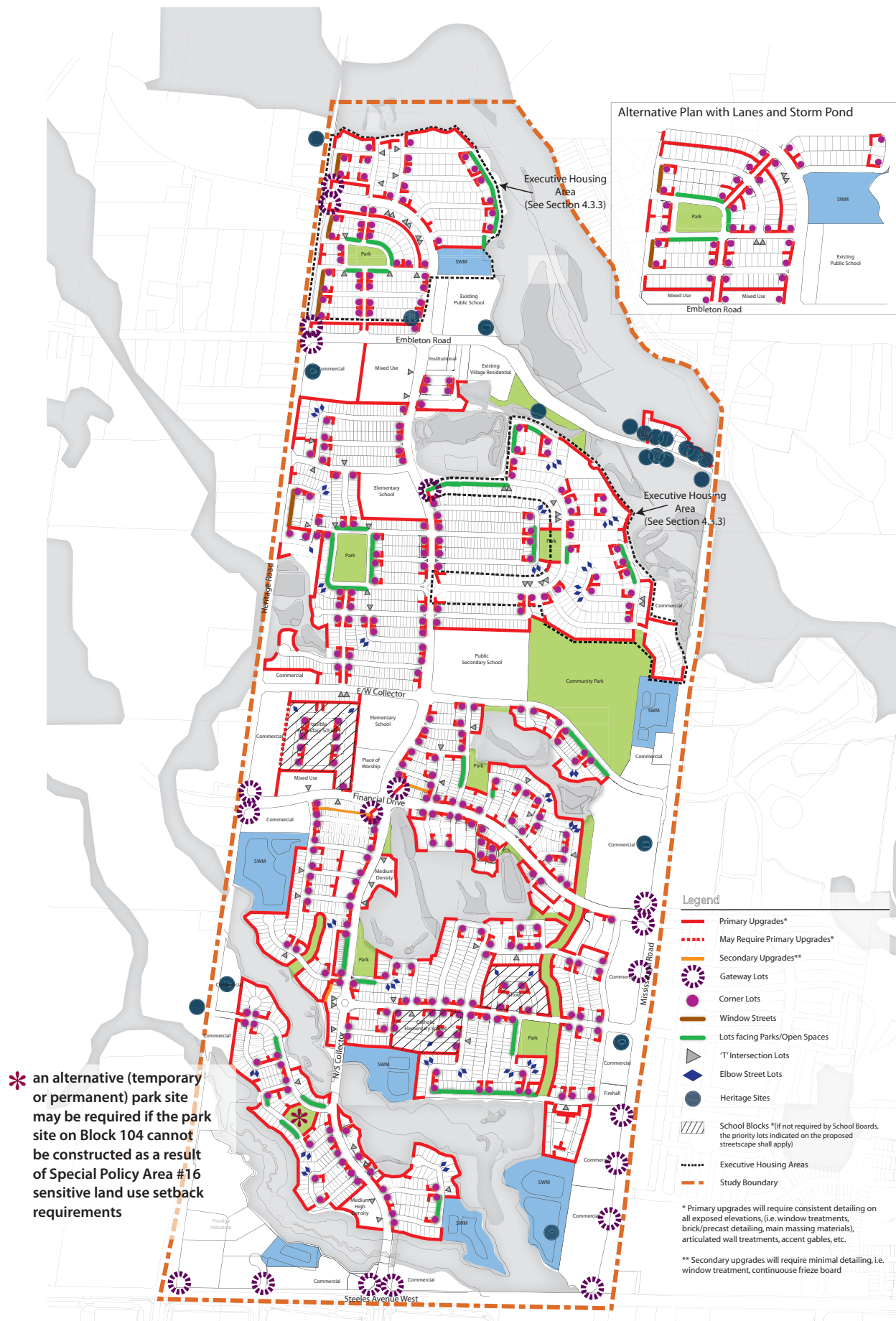


Figure 66. Riverview Heights - Priority Lot Plan

(See Appendix 6.8 for enlarged drawing)



Units designed for roundabout lots

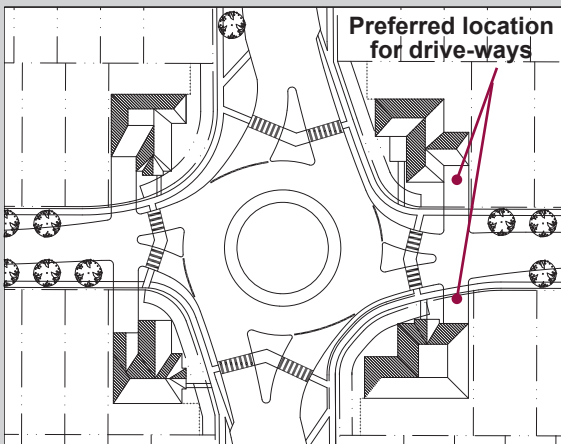


Figure 67. Massing to address roundabout lot condition

4.2.2 Residential on Roundabouts

Objective:

Dwellings adjacent to roundabouts/traffic circles should provide streetscape definition through siting, facade design and massing of dwellings.

- Front, side and rear elevations exposed to public views and spaces shall be highly articulated, with particular emphasis on the building entrance and/or entry feature. A combination of fenestration variety, bay windows, material variety and dormers may be used to achieve this objective;
- The architecture should incorporate special built form to address the roundabout/traffic circle condition;
- Rear yard fencing should be designed as an integral part of the dwelling unit and shall not be allowed to extend beyond the rear corner of the unit;
- Fences should be designed as upgraded flankage fences as per the Riverview Heights Urban Design Guidelines as per section 3.2.7;
- Guidelines for Corner Units (Chapter 7, Section 5.2 in the City's DDG's), shall also apply;
- Driveways adjacent to splitter islands and sidewalk crossings shall be avoided wherever possible. However; if necessary, the design will need approval from the City's Engineering/Traffic Department at the detailed design stage; and,

(The splitter islands depicted on the block plan along the north-south collector are shown to indicate restricted intersections along this corridor. However, the locations and final design of these restricted intersections will be subject to a detailed design review at the time of engineering approvals).

4.2.3 Flankage on North/South Collector Road

Objective:

Lots flanking onto the North/South Collector Road should be designed and sited to create a consistent street edge and an active streetscape.

The North/South collector road is long and the units along it are primarily sited so that the flankage elevation of the residential unit is facing the road. To reduce the impact of rear yard fencing and to generate a streetscape that supports the notion of a livable street, the following considerations shall be given to the homes flanking collector roads:

- Dwellings shall be located as close to the collector road as possible to create a strong street edge;
- Where front entries are not present along flankage elevations, architectural elements such as more pronounced wall bump outs or bay windows shall be provided; and,
- To minimize the impact of the rear yard fencing the following guidelines will be considered:
 - The length to privacy fences along the flankage should be limited to 35% of the lot depth, except for deep executive lots or as per the approval of the Control Architect;
 - Where the length of the fence face parallel to the collector exceeds 15m (to rear lots) the centre pilaster shall be masonry;
 - Where fences are located closer to the road than the house, the fence shall be designed as an upgraded privacy fencing with masonry pillars;
 - Where fences are located closer to the road than the house, consideration should be given to provide variety of setbacks to the fence face including, locating portions of the fence setback to permit for a landscaped space and/or angling the fence face to create a serrated edge;
 - Where fences are located closer to the road than the house, a tree will be planted to be centred on the fence adjacent to the property line within the R.O.W; and,
 - Gates will only be allowed on that portion of the fence that is perpendicular to the roadway.

These guidelines shall apply to flankage lots adjacent to the North/South Collector Road and Financial Drive.



Example of corner privacy fence

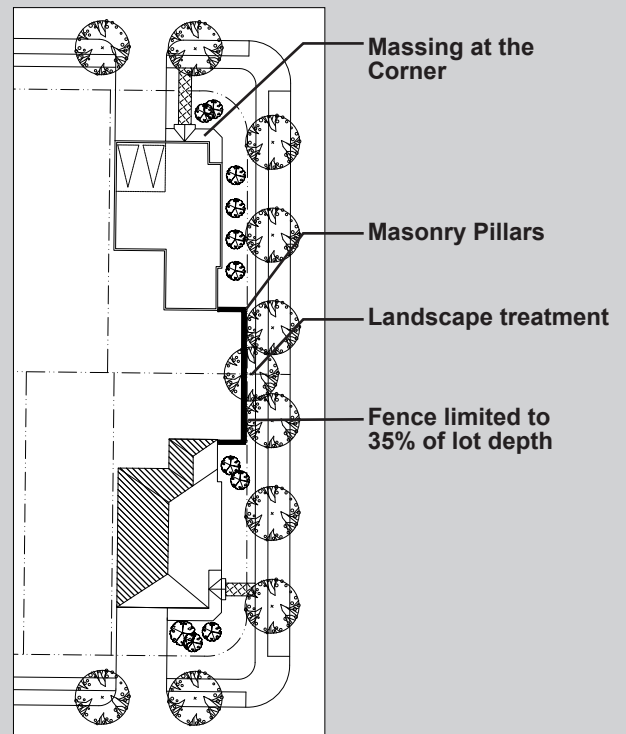


Figure 68. Flankage on N/S Collector Road

4.3 Residential + Mixed-Use Building Typologies

4.3.1 Low Density Blocks

4.3.1.1 Single Family Detached Homes

Single-family detached units consist of a single residence on an individual lot fronting onto a public street. An important aspect of the design of the units will relate to the extent and location of the garage and its affect on the front elevation of the home. For the most part, architectural controls relate to the elevations of the home that can be seen from the surrounding area. The controls established by the City of Brampton relate mostly to single family residences and how they are impacted by garages.

Single family homes in Riverview Heights will be provided on a range of lots, from large lots in executive housing areas to smaller lots throughout the community. The key components of single family residences will relate to the detailing, massing and materiality of each home. Each neighbourhood should reflect a consistent approach as described in the City's DDG's (Chapter 7, Section 3.1 Architectural Style).

Objective:

In Riverview Heights, Single-detached units should be integrated into the design of the block and the neighbourhood using the same level of detail and material quality as the other homes on the same street.

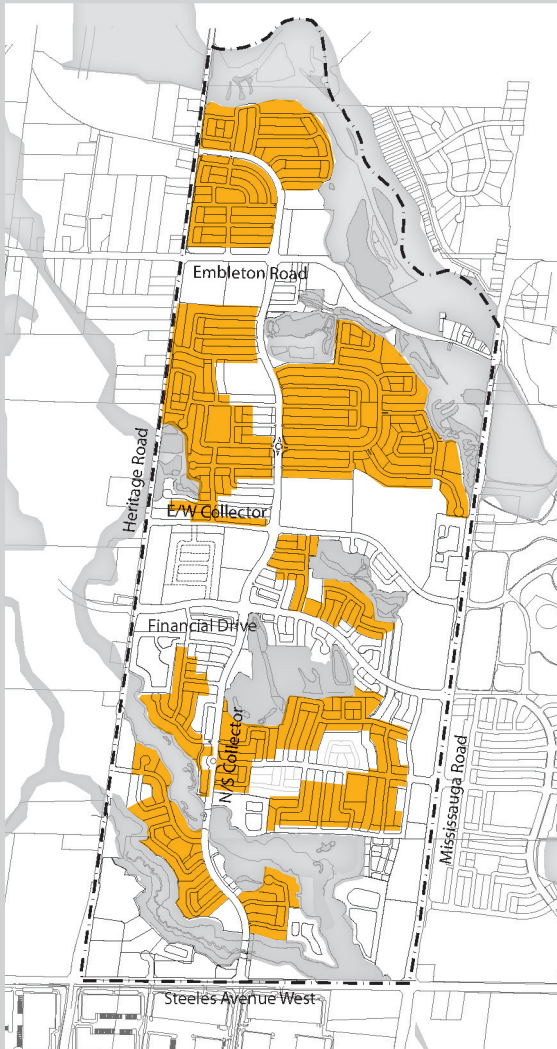


Figure 69. Conceptual Location of Detached Single Family Residential Areas



Figure 70. Typical single family unit

4.3.1.2 Semi-Detached Homes

Semi-detached units are two attached homes that are usually somewhat larger than townhouse units but smaller than the typical single detached home. Semi-detached units provide a choice between detached homes and multiple unit blocks. As with the detached homes, garages are primarily located on the front elevation of the home and they are incorporated as an integral component of the house design.

Objective:

In Riverview Heights, Semi-detached units should be integrated into the design of the block and the neighbourhood using the same level of detail and material quality as the other homes on the same street.

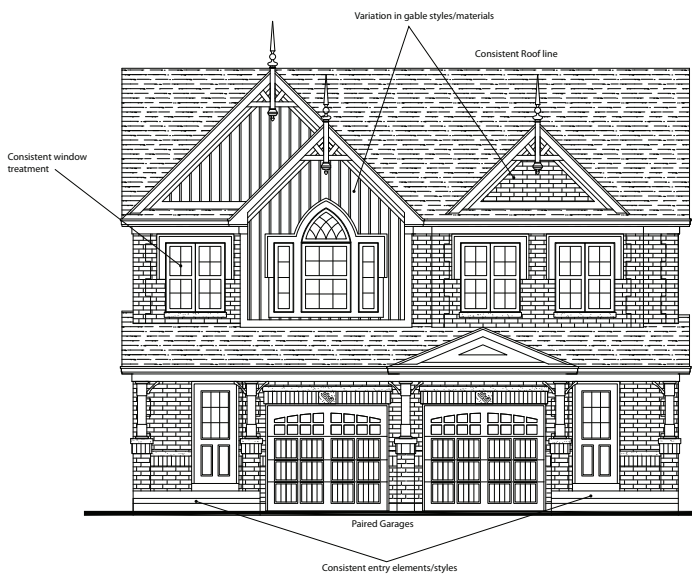


Figure 72 Typical Semi-Detached units

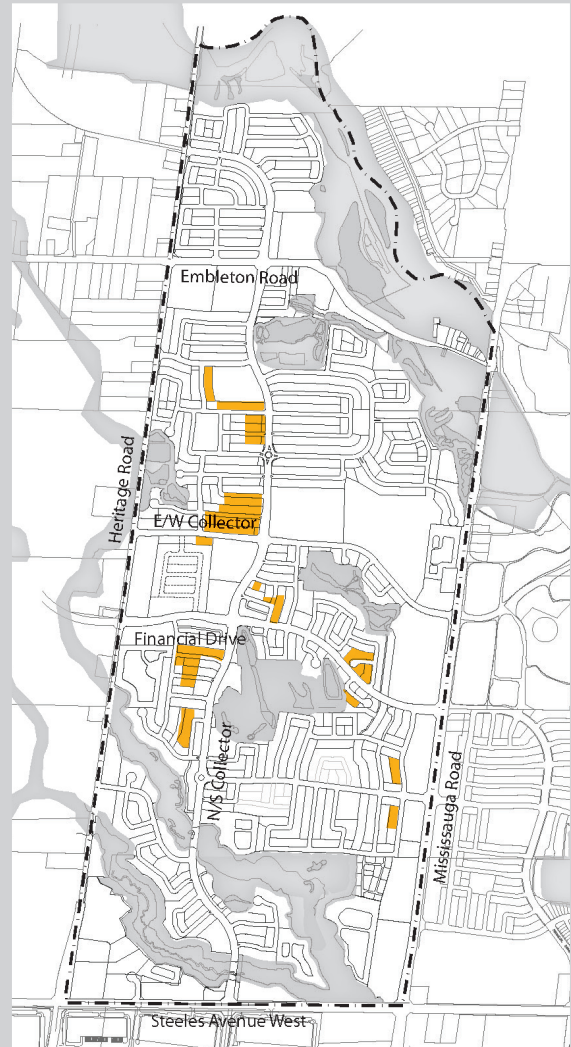


Figure 71. Conceptual Location of Semi-Detached Residential Areas



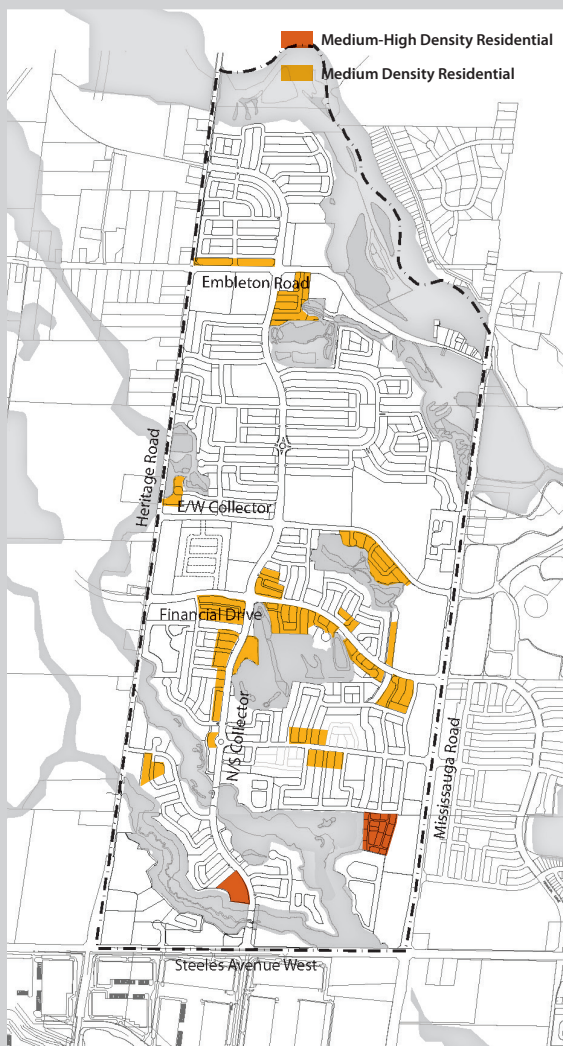


Figure 73. Conceptual Location of Medium + Medium-High Density Blocks



4.3.2 Medium + Medium-High Density Blocks

4.3.2.1 General Conditions

Higher densities are generally located along major streets and in areas near retail uses, reinforcing their importance as major community gathering spaces. The medium density blocks allow for a natural built form transition to the lower density residential neighbourhoods. Medium and medium-high density blocks will include:

- Townhouses
- Live/Work Units
- Residential/Mixed-Use Apartment Buildings

The transition between the low density residential areas and employment and commercial uses is generally in the form of medium density townhouses. Throughout the Riverview Heights Community, the medium and medium-high density uses are primarily located along Financial Drive, Embleton Road and the North/South Collector Road. These architectural controls have been adopted in conjunction with the community design plan to ensure that their transition is sensitive to the scale of the uses. Throughout the community the built form of the medium density blocks, is two to three storeys in height, and the architectural expression will reflect the residential character of the adjacent single family homes. Laneway product, as indicated in Figure 73, are encouraged to be used within this block plan.

There is one high density residential block to the south of the North/South Collector Road and toward Steeles Avenue West. The architectural controls will strive to ensure that high density residential uses are integrated well with the adjacent community uses in massing, scale and architectural expression.

Built Form Principles

- Detailed guidelines for townhouse units can be found in Brampton's "Architectural Control Guidelines for Ground-Related Residential Development" (August 2008).
- Detailed guidelines for Mixed-Use and Live/work units can be found in Section 4.3.2.2 Mixed Use Areas of these guidelines.



4.3.2.2 Specific Conditions for Mixed-Use Areas

Objective:

To ensure that mixed-use buildings provide activity at the public street and provide greater access to retail uses for the residents of the community.

The following guidelines for the proposed mixed-use block shall be considered:

- The design of these buildings should clearly distinguish between retail and residential uses;
- Should the building exceed 2-3 stories in height, a change of materials or setback should be incorporated to provide a sense of transition to the street;
- The building entrance to residential units above should be designed as a key component of the facade;
- Materials should reflect that of the adjacent neighbourhoods;
- Utility metres shall be clustered or “ganged” and enclosed through masonry, recessed in the design, and screened from view through;
- Air Conditioning units shall be discretely located at the rear of all units (i.e. garage area recess or on deck level and screened from view); and,
- Signage and other details should follow the guidelines for retail uses (section 4.3.1).

Mixed Use Areas are often the focal points of communities and as such strive to promote a more urbanized climate and create pedestrian friendly streets. Generally, they mark village centres and places of high activity. Mixed-Use areas will include:

- Live/Work Units
- Mixed-Use Apartment Buildings

In addition to the Guidelines for Medium + High Density Blocks and Non-Residential Guidelines in this document, the following considerations shall be given to live-work units and mixed-use apartment buildings:

General Conditions

In the Riverview Heights Community, mixed-use areas are located along Financial Drive, at Embleton Road and adjacent to the prestige Industrial uses along Mississauga Road. A mixed use apartment block is located on the North/South Collector just north of Steeles Avenue West and adjacent to the residential uses backing onto the valley.

Objective:

The built form of mixed use areas shall be pedestrian friendly in scale and transition well with the adjacent land uses.

- Buildings shall be located close to the street edge with consistent setbacks;

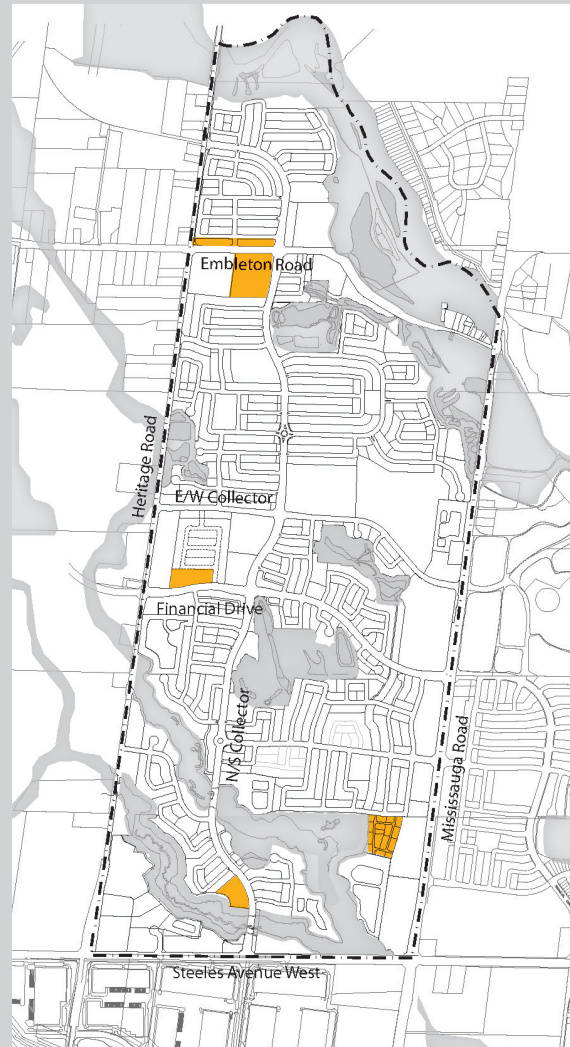


Figure 74. Conceptual Location of Mixed-Use Areas





- Grade related commercial development shall be located on the ground floor of buildings;
- All buildings should be of a consistent architectural character to reinforce a cohesive image;
- Garages and driveways are encouraged at rear laneways to accommodate retail uses at grade;
- On-street parking should be provided where possible and off-street parking should be screened by buildings or landscaping; and,
- Hard surface paving (i.e. wide pedestrian sidewalk) should be provided between the street edge and building with street furniture and soft landscaping to create a comfortable pedestrian experience.

Built Form Principles

Objective:

The design of mixed use buildings shall complement the architecture of surrounding residential uses as well as reinforce their importance within the community.

- A strong base should be designed to reinforce the pedestrian nature of the uses on the street and the residential uses above should be clearly distinguished;
- Front facades must be highly articulated with a variation in massing, colour, materials, brick detailing and window treatments;
- Encroachments into the right of way may include balconies, signage or any architectural details which do not obstruct the public sidewalk;
- Built form may be of individual “free standing” building or of a block design format with 3-10 business sited side by side;
- Larger commercial spaces should be broken up through vertical features and details (i.e. pilasters, columns, entry and main window surrounds, etc.) to give the appearance of smaller individual buildings;
- Where individual residential units are on the ground floor, entrances should be elevated a minimum of three steps to provide privacy;
- Parking structures at or below grade shall not be located along predominantly retail streets and their entrances must connect to the building; and
- Canopies, signage and street furniture should be coordinated along a street block.

4.3.2.3 Townhouse Homes

Townhouse units represent the medium density housing component in the community. The City's DDG's (Chapter 7, Section 3.2.3 - Townhouse Dwellings) set limits on the number of units, in a block, at 8 units. In Riverview Heights builders will be encouraged to limit block size at 6 units, where possible. Townhouse units may be 2 to 3 storeys in height with parking accessed by front loaded garages, rear laneways or, in some cases, common parking areas. As with other ground related residential units, townhouses are oriented to the street and the garages are a major component of the front elevation. Townhouse units are smaller and narrower than other types of residential units and therefore, the garage portion of the unit is normally limited to single car garages as outlined in Chapter 7, Section 4.2.2 of the City's DDG's.

Objective:

In Riverview Heights the detailing and materials used in the design of Townhouses in each neighbourhood should reflect that of all the other ground related homes.

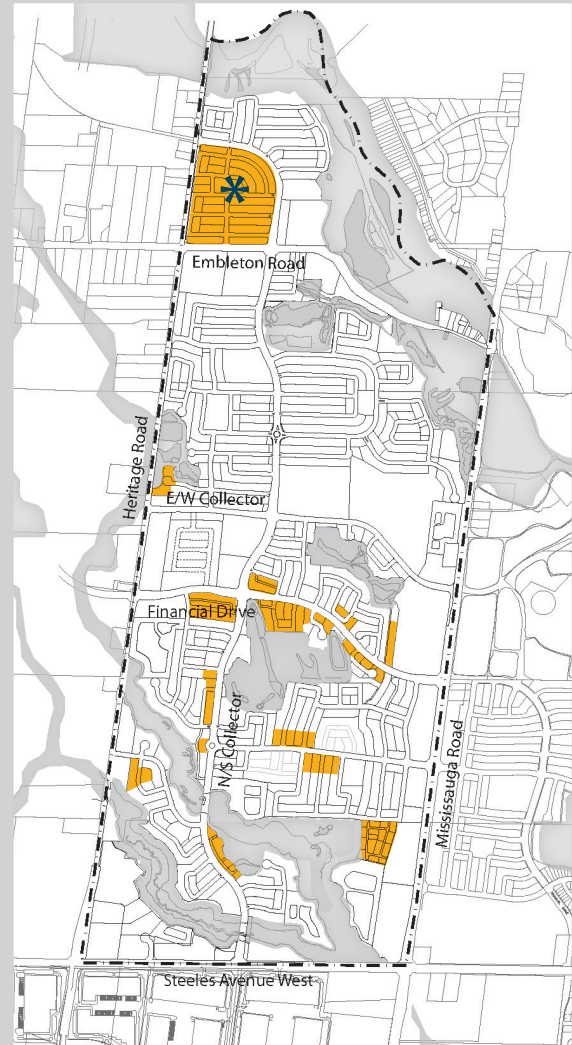


Figure 75. Conceptual Location of Townhouse Residential Areas

* As a Special Policy Area this has the possibility of being developed at medium density (currently designated low density)

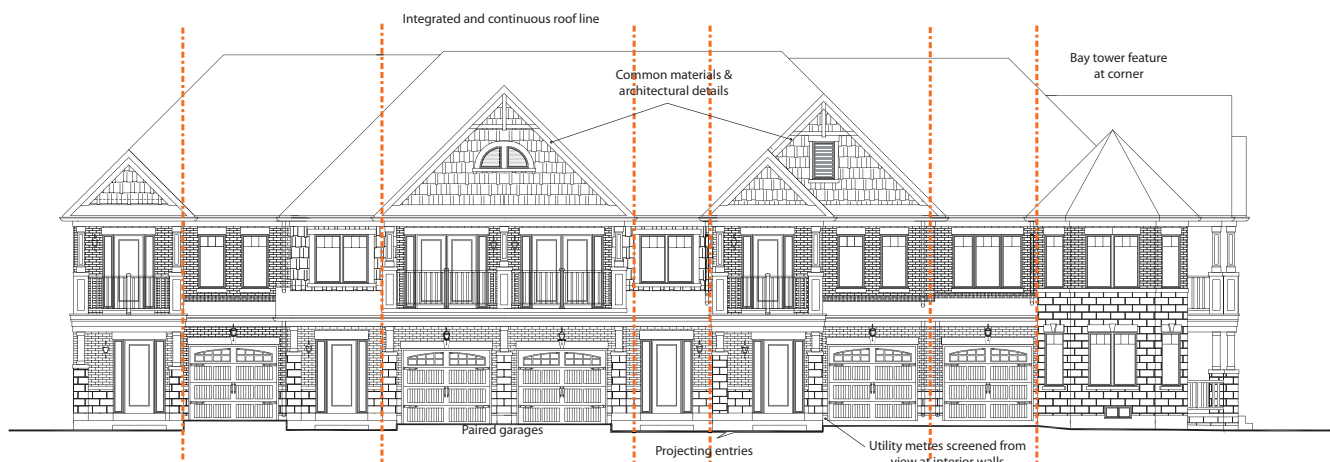


Figure 76. Typical Townhouse block with projections and gables to break up massing

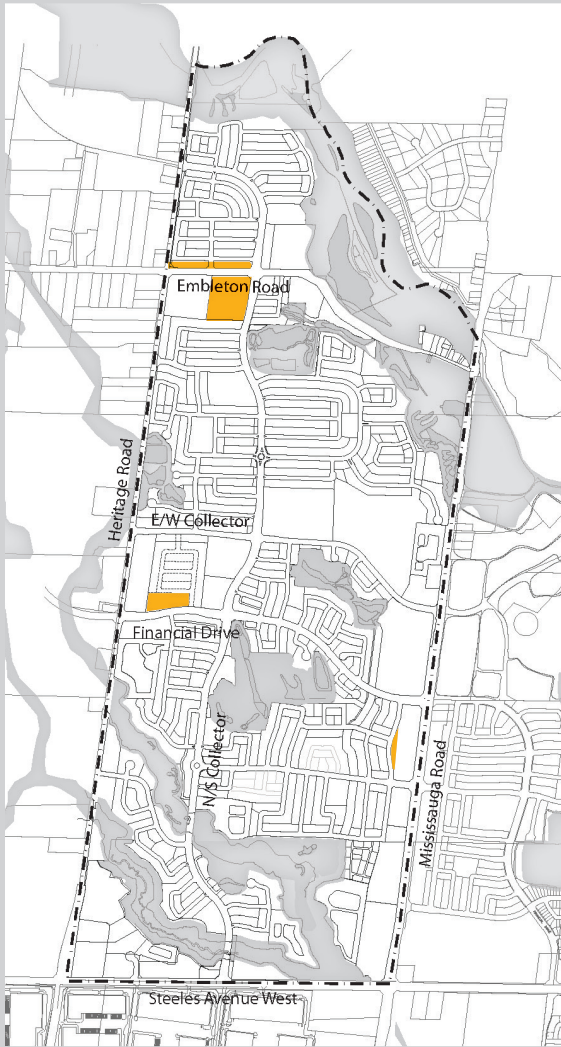


Figure 77. Conceptual Location of Live-Work Areas



4.3.2.4 Live-Work Units

The advent of mixed residential/commercial units in a low-rise form is a recent occurrence within Greater Toronto Area communities. These units generally feature residential accommodation on the upper levels of the building with commercial/office uses at grade. Entries to the residential units are at the front, side or rear of the block of units. The basic design is similar in scale to a block of townhouses. Parking for the residents is located behind the unit with parking for the commercial uses provided on-street or also at the rear of the unit. Since commercial uses need to orient to the public street, access to garages is not found at the front of the unit.

The City of Brampton Official Plan (October 7, 2008) notes that Live-Work units can “provide for limited home-based office, personal service and convenience commercial uses that are compatible with the primary residential use and the surrounding community”. Development of such unit types will have regard for Official Plan policies (4.2.14 Live-Work Units), related Zoning By-law requirements and the guideline requirements for Live-Work blocks are outlined in section 4.3.2.4 of this document.

Objective:

In Riverview Heights live-work units will be designed to reinforce the street edge and enhance the range of housing choices within the community. Their design should indicate a clear distinction between the non-residential and residential portions of the building.



Figure 78. Typical live/work block broken down into separate components

4.3.2.5 Apartment Buildings (Residential + Mixed Use)

Apartment buildings add to the range of housing types provided in communities. In Riverview Heights mid-rise apartments will be generally located in special character areas on major streets or near employment areas or major streets as shown in the corresponding plan. This form of building ranges from 3.5 to 6.0 storeys in height. They often form the key buildings within main street and other mixed-use areas. In addition, their height may be used as a built form gateway element.

Objective:

In Riverview Heights apartment buildings should be designed to complement the level of design of the surrounding neighbourhood and provide appropriate architectural transition to adjacent residential areas.

There are several potential sites for apartment buildings. The specific apartment site is located at the south end of the North/South Collector, next to residential uses and backing onto naturalized open space. In addition there is the potential for apartment buildings to be located to the west of the Mississauga Road office area and on Embleton Road in Special Study Area 19. The following guidelines for the proposed apartment blocks shall be considered:

- Architectural elements to promote a pedestrian scale at street level shall be incorporated through the use of patios for ground level units, common areas and principle entrances;
- Multi-storey buildings shall be designed to express a base, middle and top through the use of materials and design elements;
- Primary entrances shall be located facing the adjacent street;
- Buildings shall be well articulated to avoid long uninterrupted facades;
- Where elevations flank onto open space they shall be of consistent materials, window styles and detailing as per the front;
- Rooftop mechanical equipment shall be screened from public view through either placement of units, incorporation into the building architecture or an enclosure complementary to the building design/materials;
- Loading and service areas shall be sited at the rear of the building and screened from view with landscape buffers or architectural built form; and,
- Parking structures at or below grade shall not be located along predominantly retail streets and their entrances must connect to the building.

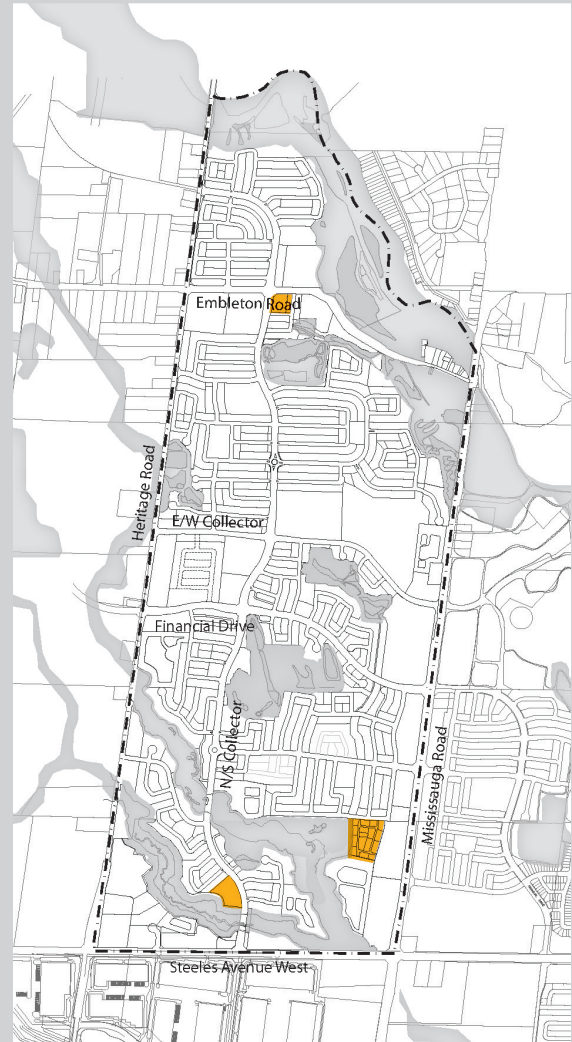


Figure 79. Conceptual Location of Residential Apartment Areas

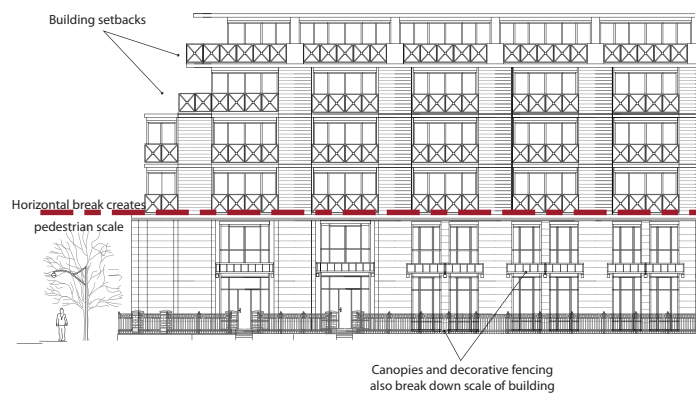


Figure 80. Typical apartment building elevation

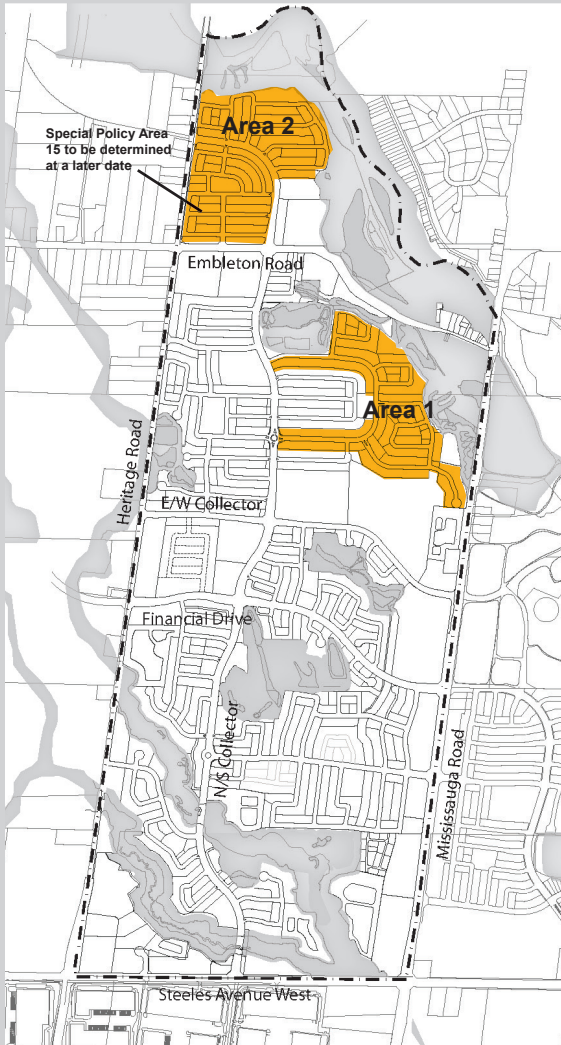


Figure 81. Conceptual Location of Executive Housing Character Areas



Landscaping marks the entry into executive housing areas

4.3.3 Executive Housing Areas (Single Detached + Townhouses)

4.3.3.1 General Conditions

There are two executive housing areas within Riverview Heights, each is surrounded by ravines and wetlands, and adjacent to community focal features such as schools and parks. The executive housing areas include Special Study Area 15, which is subject to further study and may permit a higher density. An Urban Design Brief may be required at a later date for this area, as laneway housing is being considered as well in the Special Study Area. In addition to the proposed upscale nature of these neighbourhoods, the built form for executive housing must also respond to the design principles established for each area.

The built form of executive housing must complement all forms of architectural expression found within the Riverview Heights community and harmonize well with adjacent housing types.

Single detached dwellings generally vary in lot size from 50' to 70' frontages. Townhouse dwellings may also be considered to help transition from these areas to the rest of the Riverview Heights community (see Special Policy Area 15). It is important that a variety of models be developed to create visually diverse streetscapes which give the executive housing areas 1 & 2 a sense of uniqueness and place in relation to the rest of the Riverview Heights Community.

The following guidelines shall be read in conjunction with *the City of Brampton's Architectural Control Guidelines for Ground-Related Residential Development* (August 2008) and *the Design Workbook for Brampton's Upscale Executive Special Policy Areas* (September 2000).

Objective:

To promote a higher level of design in executive housing areas, ensure that unique designs are celebrated and that building variety along the street is assured.

- All model designs are expected to have highly detailed facades which avoid long flat walls, unless part of the architectural style. Side elevations shall also incorporate projected features such as bay windows or box outs where appropriate;
- Unit sittings on lots 15.0 metres (50 feet) wide or greater shall incorporate larger exterior side yards, of 1.5 metres (5'-0"), as implemented through the City of Brampton Zoning By-law. The larger interior side yards will distinguish the executive housing areas from other neighbourhoods in Riverview Heights; and,
- To ensure adequate variety along the streetscape, identical elevations may only be repeated once every 4 units.

The following principles and detailed guidelines shall apply to all forms of residential development in executive residential areas and adjacent transition areas.

4.3.3.2 Architectural Styles

A variety of architectural styles that are in keeping with existing traditional forms of housing found in Southern Ontario, and that are appropriate for executive housing design, should be considered. These may include, but are not limited to styles such as Victorian, Period (Tudor) and Colonial Revival, Georgian, Arts & Crafts, Gothic and Classical Revival, Beaux Arts, Second Empire, and Queen Anne Revival. Some of the more common styles that have influenced designs found in new communities include:

Victorian

Victorian styles found in Southern Ontario include some of the following defining features:

- simple massing forms;
- higher pitched roofs;
- main cladding materials are traditionally brick and stone;
- use of decorative and ornamental trim in gables, porches and entrances;
- taller / slender window styles and the use of bay windows; and,
- to highlight the executive style housing, designs should be embellished with a round, hexagonal or octagonal tower with a steep, pointed roof.

Georgian

Another popular style found throughout Ontario, Georgian Architecture, is defined by simplicity of form. Some defining features are;

- balanced and symmetrical facades with a centrally located entrance;
- simple roof forms that include both low slope hip and gable ended forms;
- doorways with flattened columns or pilasters and/or detailed doorway architraves and pediments;
- profiled frieze board treatments which may include dentil style treatments;
- avoidance of overly decorative detailing; and,
- windows also are traditionally double-hung and multi-paned, use of sash and palladian style windows that are evenly spaced across the house's front facade. Windows often include shutters as part of their detail.

Arts and Crafts

Arts and Crafts style houses are traditionally earthy and natural, defined by their relationship to the natural environment and designed more for function than from any particular style. Some defining features are:

- lower pitched roofs, and roof slopes which incorporate porches below;

These are examples of the various architectural styles in Southern Ontario and are meant to inspire the design of new homes. Exact reproductions of such houses are not to be expected for models offered for sale in the community.



Victorian farmhouse in Lyndon, Ontario



Tudor style house, Kitchener, Ontario



Tudor style Townhouse Block



Colonial Revival style house, Kitchener, Ontario



Georgian style home in Springdale, Ontario



Georgian inspired Townhouse Block



Eden Smith Arts & Crafts Style house in the Beaches, Toronto



Example of an Arts and Crafts style house

- built of natural materials, typically built of real wood, stone and brick;
- porches with thick square or round columns and stone porch supports;
- deeper roof soffits / overhangs with possible exposed beams and may include triangular brackets;
- porches with thick square or round columns and stone porch supports; and,
- discreet entrances with covered porches.

Contemporary

Contemporary designs may be considered pending review by the Control Architect. Some of the following elements will need to be present on proposed designs:

- the use of materials (i.e. stone, brick, stucco, etc.) and colours that are consistent with those used on other executive housing proposed for the community. The use of engineered wood will also be considered and be subject to review by the Control Architect;
- facade designs will relate to horizontal and vertical architectural features present on other traditional design;
- to emphasize doorway entries, designs may include flat canopies with deep overhangs and massing elements such as a cantilevered upper storey or recess;
- flat roof designs will also be permitted where appropriate to the design of the dwelling; and,
- the elevations shall provide a balanced facade composition with large windows to emphasize the dwelling designs massing.

4.3.3.3 Built Form Principles

Objective:

To assure that the highest quality of design is consistently applied throughout the executive housing areas, each key architectural component of the residence will be designed to a level outlined in these guidelines.

Architectural details shall be consistent on all four elevations and will include materials and accents which are appropriate to the architectural style of the dwelling. For appropriate styles and architectural detailing see ACGGRRD's, Chapter 7, Section 3.4.

- Consistency of details shall include the frieze board detail, main wall cladding and base masonry, and window types and styles (i.e. single hung, double hung, traditional muntin bars, prairies style, etc). Window surrounds or other visually framing details shall not be required where they are not visible;
- All wall changes of plane or brick bays shall have a minimum projection of 250mm (10") from the wall face;
- All bay windows and box-outs should preferably project 300mm (12") from the wall face; however, projections

to a minimum of 150mm (6"), will be considered where architecturally appropriate and in scale with the building elevation; and,

- All front facade and other highly exposed elevation glazing shall be clear. The use of fake dormers and black glass details shall be prohibited.

Main Entrances

- All entries will be covered and weather protected using a porch extension or specific entry feature designed for the unit;
- Steps / stairs shall be designed as an integrated component of the dwelling and, where opportunities exist, stone or brick should be considered as a treatment for front landings;
- Exposed ends of risers shall be prohibited; and,
- Front steps shall be limited to five risers, except where grading conditions require more. Where more than 5 risers are required at the front entry, they shall incorporate a landing where possible, and face lower steps to a driveway or shall disperse the steps through the use of grading.

Roofs

- All main roof side slope pitches shall be a minimum of 8/12; however, corner lot models are encouraged to have 10/12 or higher roof pitch on all elevations;
- A range of roof styles shall be provided for house designs proposed for executive housing that relates to their particular house style to ensure massing variety (i.e. Victorian - high pitched and asymmetrical, Georgian - lower pitched, gable ended and simple, Arts & Crafts - long low slope, etc.);
- Where a lower roof pitch or flat roof style is in keeping with a particular architectural style or where an overly large pitch is out of scale with the house design, a lower roof pitch will be considered subject to review by the Control Architect;
- Roof overhangs shall be a minimum of 300mm (12") to allow for the accommodation of the depth for some styles of richly detailed frieze board; and,
- Porch roofs shall have a minimum slope of 4/12. However, flat roof styles that are appropriate to the style of the house, and detailed accordingly, shall also be considered.

Porches/ Porticos/ Balconies

- All entry features shall project from the main wall face, however, recessed entries shall be considered where appropriate to the architectural style of the building;
- Porches are encouraged to be a minimum of 1.8 (6'-0") metres in depth;
- Porch columns/posts shall be a minimum of 10" (250mm) in diameter or width and include masonry bases where consistent with the building style. Smaller column/post diameters will be considered for certain styles (i.e. Victorian). In the instance where double posts or columns are employed, a reduced width will be considered;



Executive Townhouses



A variety of architectural styles shall be offered. Trim, moulding and window details create unique elevations.



Entries should be emphasized



A variety of materials articulate and create attractive elevations



Material variety and landscaping create attractive corners and gateway lots



Gateway sign is incorporated into the dwelling



Lots fronting onto open space with porches

- All model designs shall have at least one elevation designed with a porch option or significant portico. Where neither are provided, the entrance will be embellished with a detailed door surround / architrave and a pediment; and,
- The colour of railings and columns shall be complementary to each other and the exterior colour package.

Gable Details and Frieze Board Styles

A variety of gable trim and frieze board detailing is encouraged that relates to the architectural style of the executive house that will be proposed; the following shall be considered:

- The use of increased second storey heights to permit for enhanced detailing of the frieze board between the window header and the underside of the roof soffit;
- The use of 175 to 250mm (7" to 10") frieze board that is used consistently on all four building elevations;
- The use of 175 to 250mm (7" to 10") gable details that could include, profiled cornice designs (e.g. canamould), three step moulding, detailed vergeboards (e.g. on Victorian styles), dentil details, rich brick detailing, or other similar high quality details; and,
- The gable and frieze board details will be consistent with each other wherever possible.

Window Styles and Surround Details

A range of window styles are encouraged, with upgraded materials and glazing including the window surrounds or sill details and trim such as:

- Where precast concrete surrounds are employed they should wherever possible include a stepped detail that is a minimum 25mm (1") in width;
- In addition to soldier course headers above windows, a rowlock treatment or precast concrete element/detail should be incorporated and where possible be raised a minimum 25mm (1") from the wall face; and,
- The use of details above and below windows including crosshead mouldings (e.g. canamould) and double precast banding or brick rowlock details.

Exterior Colours and Materials

All exterior colour and material packages shall include the highest quality of materials. Colour packages shall be designed to blend with one another in order to create a harmonious streetscape. All elevations on executive housing shall be clad consistently and false fronting shall not be permitted (e.g. mainly stucco clad dwellings shall have stucco cladding on all dwelling elevations). The following main cladding materials may be used:

- Brick masonry; calcite brick shall not be permitted;
- Stone, with natural stone being encouraged;
- Stucco, only where it is integral to the architectural style of the dwelling;
- All siding shall be fibre-cement or high quality vinyl, preferably in a "Board and Batten" style. Vinyl is only

permitted as part of detailing and should not be structural. Each model will be reviewed and will need approval from the Control Architect; and,

- All roof shingles shall be of a high quality with a minimum 30 year guarantee or better.

General Guidelines:

- Where stucco or fibre-cement is used as a main cladding material, it is encouraged that a range of colour tones be utilized including medium and darker tones. Cream and white as a main cladding colour should be avoided;
- Where stucco or fibre-cement is used, a stone or masonry base is encouraged on all elevations;
- To ensure sufficient colour variety, a minimum of 10 unique exterior colour packages should be provided by the builder with no more than 30% of dwellings sited with the same exterior colour package along a block frontage. Block frontage in this case is determined from corner to corner;
- A maximum 250mm (10") of concrete foundation wall is permitted on exposed elevations and 300mm (12") interior side elevations; and,
- The roof on bay or box-out window features is preferred to be of copper or standing seam prefinished metal materials.

3 Car Garages

- 3 car garages are permitted on lots of 18.3m (60'-0") where no more than two garage doors are facing, and parallel to, the street. This may include the tandem style garages or configurations where one or more of the three garage faces is perpendicular to the street;
- Front facing 3 car garages are permitted where a variety of setbacks and garage configurations are provided on lots 19.8m (65'-0") and greater. A variety of garage wall articulation shall be required to mitigate the massing of the garage portion of the house with one garage bay being behind or forward of the adjacent garages a minimum of 0.6m (2'-0") with 1.2m (4'-0") encouraged;
- Courtyard style garages that project beyond the main front wall will be considered on a limited basis, be sited on interior lots with widths of 19.8m (65'-0") or greater, and will have an architecturally detailed and articulated garage wall elevation to address the street frontage. This garage style will be paired with the courtyards of each unit facing each other; and,
- 3 car garages which face the street on 21.3m (70'-0") lots must be recessed a minimum of 3.0m (10'-0") from the front wall face. Where an enhanced porch / portico treatment is provided, a reduced recess will be considered based on architectural merit or where appropriate to the architectural style of the house design.

Garage Door Styles & Driveway Treatments

- A variety of high quality garage doors and appropriate high quality decorative hardware (i.e. style and materials) shall be provided that blend with the architectural style of the unit;



High quality garage doors and garage face mitigation

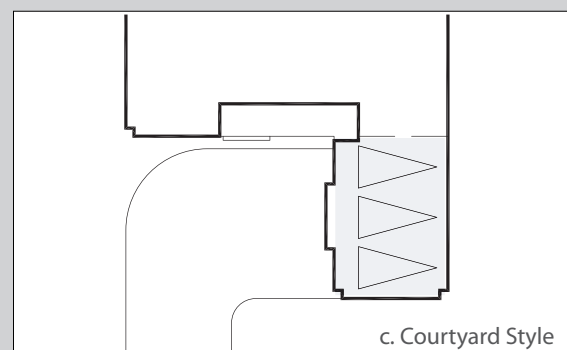
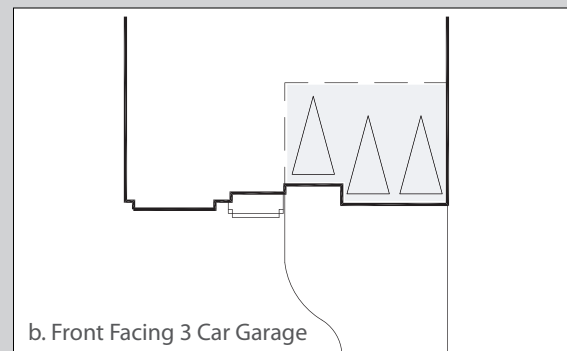
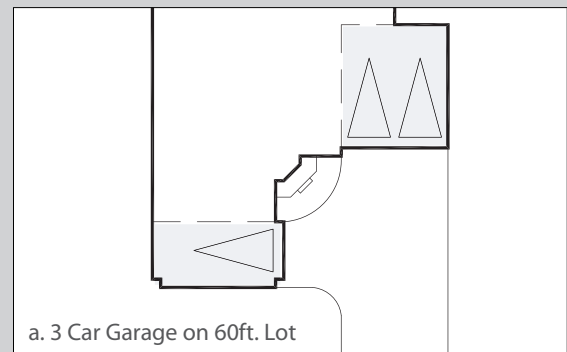


Figure 82a, b & c. 3 Car Garage Variations

- Elevations adjacent to open spaces and highly exposed are encouraged to include articulated elevations using plane changes/brick bays, large bay windows or box-outs; and,
- Walkout decks and porches on rear elevations visible from the street will have upgraded rear deck designs (i.e. railings, posts or stairs of stained or painted wood, heavy gauge wrought iron or similar, complementary to the rest of the dwelling).

Landscaping & Fencing

It is the small details of built form and landscaping which assist in the creation of a unique community and distinguish it from others.

Landscaping packages and decorative front yard fencing for individual units should be considered for all 18.3m- 21.3m (60' and 70') units in Executive Housing Areas.

Custom Homes

Custom homes will be subject to architectural review and will be required to meet all criteria of the above noted guidelines and with all other identified City guidelines. Styles and materials of custom homes will also be reviewed within the context of the entire community they serve.

4.3.3.4 Executive Townhouses

Objective:

To allow for the integration of a range of housing types within the executive areas, executive townhouses will be designed in keeping with the built form principles for all executive residences. The built form guidelines for executive single-family homes shall apply to executive housing. In addition;

- Executive townhouses should reflect the scale and articulation of executive single-family and semi-detached homes;
- Executive townhouses may be used to provide a transition in scale between executive residential areas and adjacent neighbourhoods within Riverview Heights;
- The minimum width of a townhouse unit frontage will be 6.5m;

- The width of garage doors shall conform and be governed by the City of Brampton By-law;
- Projecting garages will not be allowed on executive townhouses. Where there is a porch or portico the garage shall be recessed, at a minimum, the depth of that element. Where there is no porch or entry portico present the garage shall be recessed behind the main front wall face of the unit a minimum of 1.0m (3'-4").
- To differentiate units within a block, the use of full height stone cladding, second storey porches and where appropriate roof style variation or features shall be employed (i.e. dormers, gables, brows, tower feature on corners, etc.);
- A variety of gable styles should be considered (i.e. double gable, closed gable, open gable, pediment gable, gable detailing, etc.);
- Exterior materials shall be of a high quality and shall be consistent throughout each block of townhouses; and,
- Address numbers will be consistent and strategically placed at the entrance or other visibly appropriate location.



Example of unit differentiation in a townhouse block

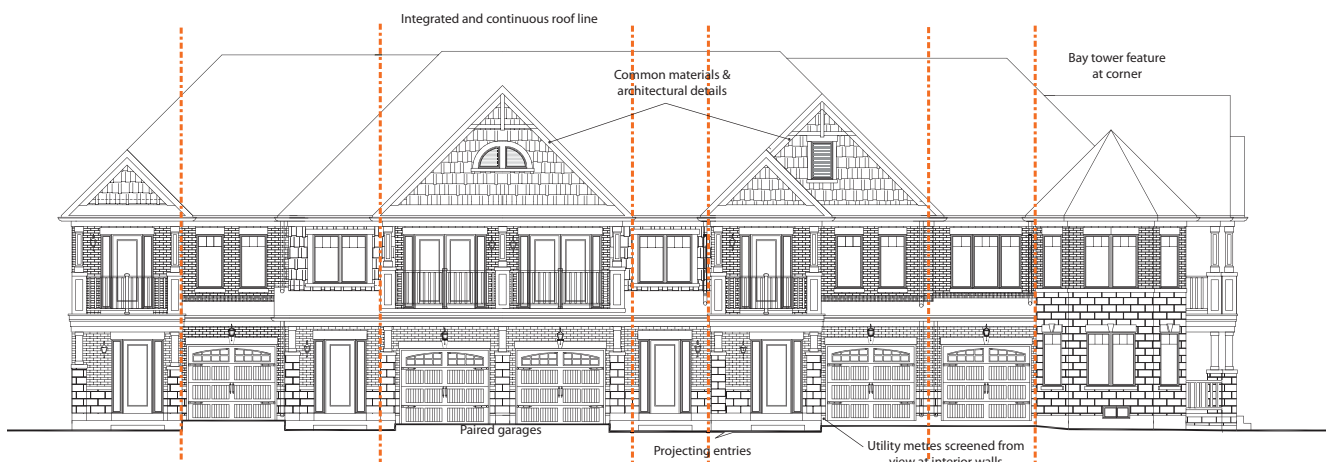


Figure 84. Typical Townhouse block with projections and gables to break up massing

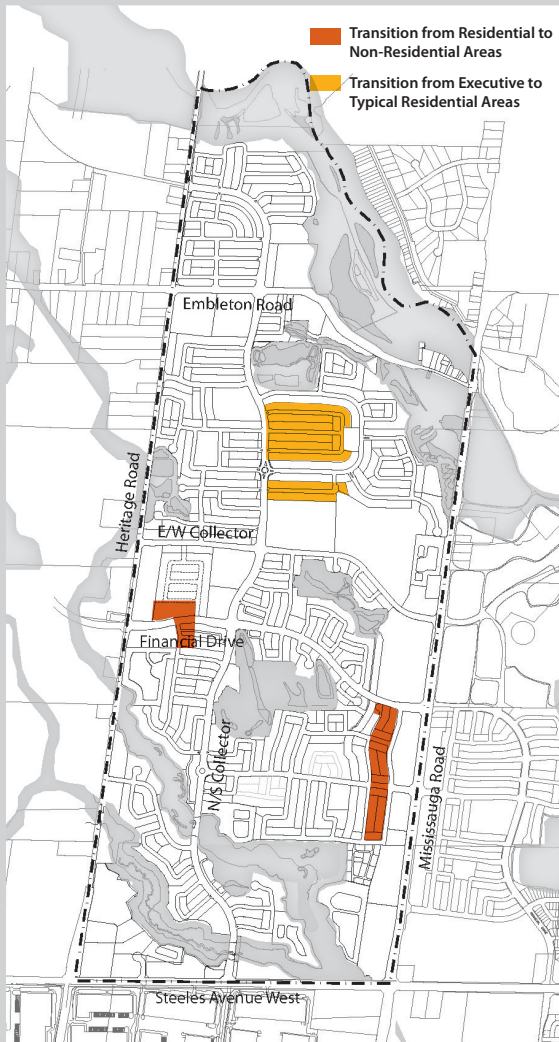


Figure 85. Conceptual Location of Transitional Housing Areas

4.3.4 Transitional Housing

Objective:

Transitional housing occurs in two areas of the plan; adjacent to executive housing areas and where residential areas face non-residential areas.

In areas adjacent to executive housing, a transition shall be provided with special attention given to orientation and scale of residential buildings.

In keeping with the suggestions outlined in section 4.1.1(iii) of the *Design Workbook for Brampton's Upscale Executive Special Policy Areas* (September 2000), creating transitions between executive housing and adjacent areas shall include:

- Transition in lot size is necessary where the surrounding area is of a higher residential density than the upscale executive special policy area;
- Residential units directly adjacent to upscale executive housing areas incorporate design criteria for priority lots;
- Residential blocks adjacent to upscale executive areas will incorporate the upgraded landscape treatment (closer spacing of trees or larger caliper); and,
- Residential units in Special Policy Area 15 should be designed as transition units with upgraded facade and corner lot treatments.

In addition to these transitions, townhouse blocks may also serve as an appropriate built form transition between the executive housing areas and those adjacent to them.

In areas where residential areas face non-residential areas a transition shall be provided with special attention given to the interface between the two areas and focus on orientation and landscape treatments.

- Where non-residential buildings face residences and are located at the street they must be upgraded on all visible elevations i.e. architectural details, materials, fenestration and articulated walls;
- Lighting on elevations facing residential must not disrupt the adjacent uses; Example of a gateway corner condition. Corner buildings address the street with well defined entrances
- Where non-residential buildings face residences and are set back from the street,
 - A landscape strip shall be provided to act as a visual buffer to any parking lots and it shall be landscaped to City standards for residential street.
 - Parking should be located away from the corner Example of a retail court: special paving and lighting
 - Pedestrian connections shall be coordinated to allow for easy access into the employment, commercial blocks from residential streets; and,
 - For safety, views into interiors of employment blocks shall be maintained.

4.4 Non-Residential Building Typologies

There are two major employment areas in the Riverview Heights community located along Steeles Avenue West and Mississauga Road with smaller commercial sites spread throughout community. Institutional sites are mostly located near parks or open spaces to mark their importance in the community. Where these uses occur, the Design Development Guidelines will provide the basis for siting and design, and built form guidelines of this document will address specific design issues.

The following architectural control guidelines are general guidelines for siting of both employment and institutional uses. Where sites require special conditions due to location and surrounding uses, these will be addressed individually in later sections of this document.

4.4.1 General Conditions

Within the Riverview Heights community, employment areas are generally found next to higher density blocks and along arterial roads which will serve the greater surrounding communities.

Employment uses found in the Riverview Heights community include Commercial, Office, and Prestige Industrial and are often in the form of multi-unit commercial blocks. The architectural guidelines for these uses will ensure that common built form elements will be incorporated to tie buildings together whether situated within the same block or as a frame surrounding the community along Steeles Avenue West and Mississauga Road. It is also important that these areas create a unified identity for the Riverview Heights community.

OPA Restrictions

OPA 40(d) states under Employment - Section 4.2.2 that "A Gas Bar (and associated car wash) shall not be a permitted use within any of the employment land use designations listed on Schedule 40(a), with the exception of the following locations:

- i) Within a Neighbourhood Commercial designation, provided the gas bar does not have direct frontage on Mississauga Road and is set back a minimum of 30 metres from this road, and shall be subject to superior architectural and built form treatment;
- ii) Within the Service Commercial designation located along Steeles Avenue West, provided the Gas Bar is not located within 200 metres of Heritage Road or the North-South Collector Road intersection, and shall be subject to superior architectural and built form treatment; and,
- iii) Only a bank, and gas bar that is located within a Service Commercial designation along Steeles Avenue shall be permitted to have a drive through window, provided that the drive thru window does not face Steeles Avenue West. "

Neighbourhood Commercial - Section 4.2.4 (Mississauga Rd.) states that "A gas bar in conjunction with a car wash may be permitted on this site, provided the gas bar does not have direct

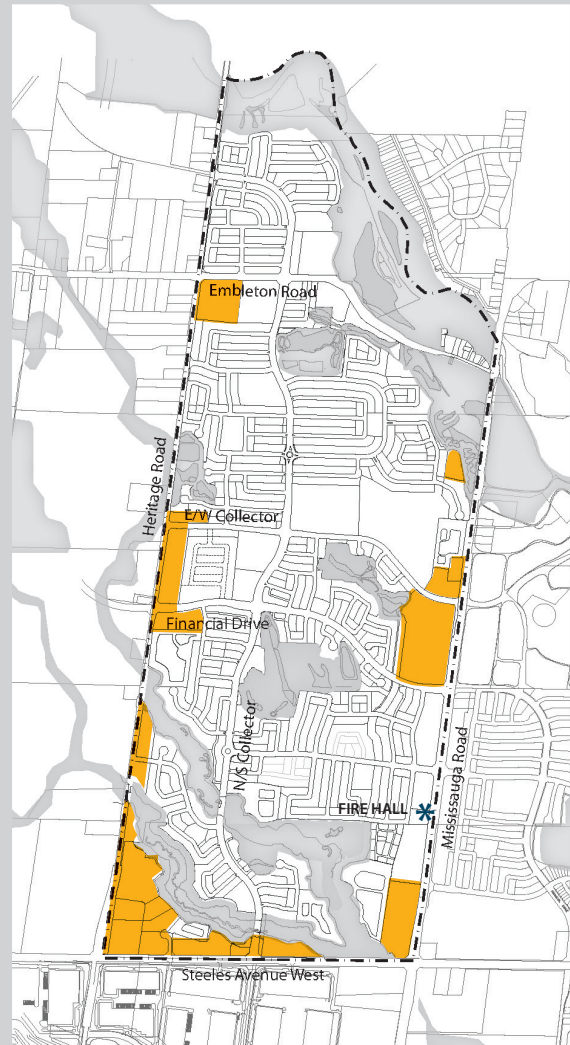


Figure 86. Conceptual Location of Employment Areas



Example of an office building.

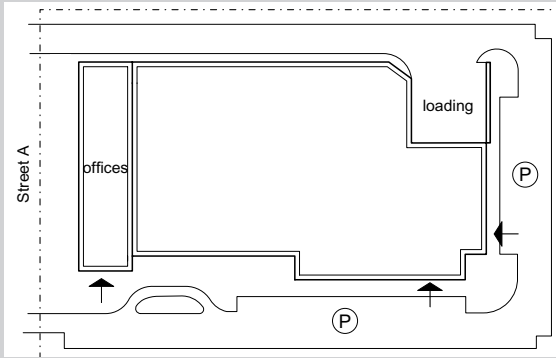


Figure 87. Loading is located at the rear



Example of a retail with 2nd storey built over



Example of a commercial block.



Entrances oriented towards the street.



frontage on Mississauga Road and is set back a minimum of 30 metres from the road right-of-way, and shall be subject to superior architectural and built form treatment in keeping with the executive residential image planned for this area.”

Built Form Principles

Objective:

It is important that all buildings in Riverview Heights are designed to reflect a sense of community. For that reason, attention must be given to the scale and detail of every building.

Building Massing

The scale of buildings should be sensitive to surrounding land uses.

- A minimum setback of 1.5m for those floors above 2-3 storeys should be accommodated to mitigate the perception of overly tall buildings;
- The building should be stepped back at a height that is equivalent to the predominant building height of the adjacent areas;
- Buildings should maintain an appropriate scale (e.g., stepped facade, pitch roof, etc.) in relation to adjacent uses;
- The arrangement of buildings along the street should provide views into the site and facilitate pedestrian movement;
- Siting and massing of building should reinforce gateway conditions and intersections;
- Prominent massing and built form at intersections and main access points such that buildings provide for a minimum of either a 2 storey looking or 3 storey functional massing; and,
- Siting of future buildings should be undertaken to allow structured parking to be developed over time, with the exception of neighbourhood retail.

Building Facades

- Buildings along street frontages shall include active facades, glazing and pedestrian connections to sidewalks in order to project a human scaled environment;
- Maintain a minimum of 50% built form frontage along Mississauga Road to create a strong street edge;
- Building facades shall incorporate windows, articulation and clearly defined entrances;
- The most substantial facade treatments shall occur facing the higher order public access; and,
- The detailed architecture of buildings should be sensitive to surrounding land uses.

Building Entrances

Entrances should be prominent and clearly discernible along the building facade. Entrances to buildings shall coordinate with the placement of pedestrian walkways.

- Entrances oriented toward the street are encouraged;
- Secondary entrances at the rear of buildings should receive architectural treatments in keeping with the main entrances;
- A well defined pedestrian pathway shall extend from the public sidewalk to building entrances; and,
- Steps and ramps to entrances should be integrated with the building architecture.

Window Treatments

Clear fenestration/glazing shall be encouraged on any facade that overlooks areas of public activity.

- Reflective or mirrored glass is not acceptable at grade or upper level windows/curtain walls; and,
- Windows should be thermally sealed and double glazed.

Tower Elements

Tower elements can be used to enhance the presence of buildings at important locations and create an interesting built form.

- Tower elements should be sited, where possible, to terminate vistas, reinforce important intersections, and signal the location of key focal points within the community;
- The tower element should maintain an appropriate scale, (e.g. height, pitch, roof, etc.) in relation to its building and other neighbouring structures; and,
- The architecture of the tower element should reflect that of neighbouring structures in massing, architectural design, and materials.

Signage, Lighting & Street Furniture

The built elements of the landscape should be conceived and implemented as a whole: signage, lighting, and street furniture should be considered a necessary and enriching part of the outdoor environment. In addition to the following design guidelines, all signage must comply with the City's sign by-law # 399-2002.

- Signage should be integrated into the architecture of a building;
- Signs and lighting should be designed to complement the building and enhance the visual appeal of the street;



Entrances are clearly defined.



Example of a tower element.



Common elements such as canopies, planters, benches and paving distinguish each retail block.



Example of a retail court: special paving and lighting



Example of a gateway corner condition.



Corner buildings address the street with well defined entrances

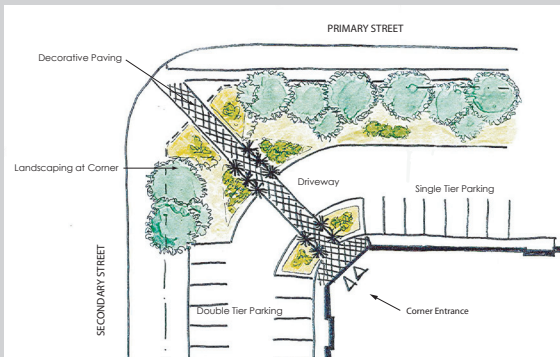


Figure 88. Parking should be located away from the corner

- Signs and lighting should be designed in consideration of nearby residential uses, in terms of size, materials, and location;
- The ratio of sign band to building mass should be restricted (approximately 20%) such that the signage does not dominate the facade (as guided by the sign by-law);
- Signage should be contained within a specified area and of high quality cut out letters;
- Internally lit canopies are strongly discouraged;
- Signage should generally be comprised of back lit cut out letters;
- Mobile box signage is not allowed as it creates an unattractive streetscape;
- Site furniture should be consistent and complement amenities in the public realm;
- Commercial and employment facades should be appropriately lit; and,
- Public realm signage and lighting should be coordinated throughout and complementary to the overall public signage for the Riverview Heights community.

Special Feature Areas

Corners

Buildings located at road intersections should be designed to frame the street and mark corner locations. The introduction of higher elements, special corner treatment and landscaping could form the basis of buildings design in these important locations.

- Hard and soft landscaping should be considered to emphasize the corner;
- Driveway access shall not be located close to the intersection;
- Entrances should be clearly defined and located to address the corner; and,
- No parking shall be permitted at corner conditions and a sufficient planted buffer should separate the parking lot from the pedestrian sidewalk.

Edges and Gateways

There are a number of employment uses at Gateways within the Riverview Heights Community, most notably at the corner of Steeles Avenue West and Mississauga Road which is identified as a primary Gateway. Other Gateways into the community are located at Steeles Avenue West and the North-South Collector, Mississauga Road at Financial Drive and again at the East-West Collector, and Heritage Road and Financial Drive. Buildings at these important locations should express an entry into the community.

- Building massing, glazing, changes of building height, landscaping, and where present, office features may be used to frame the gateway corner;
- Tower elements, when used to address a gateway corner should maintain an appropriate scale in relation to its neighbouring structures; and,
- Where feasible, special landscape and other gateway features should be provided and coordinated with the gateway buildings.

Buildings Facing Arterial Roads

(Mississauga Road and Steeles Avenue West)

- Built form shall dominate the street edge along Steeles Avenue West, Mississauga Road and Heritage Road;
- In order to create a smooth transition in scale, larger buildings shall be located on the west side of the site, toward Heritage Road;
- In order to create a more pedestrian scaled and oriented streetscape, large scale buildings shall be broken up with architectural details, colours and materials to create a base at street level; and,
- Loading and storage areas shall be located to the interior of the site.

Buildings Facing Open Space (Levi Creek)

- Wherever possible, create outdoor areas which connect the employment area with the stormwater pond and the Levi Park trail, i.e. passive seating areas; and,
- All buildings facing onto the Levi park trail and the Storm Water Management Pond will need to be upgraded with added fenestration and articulated walls. Where this is not feasible, other means for screening large, poorly articulated walls shall be used (i.e. landscaping with mature trees).



Pedestrian connections from commercial entrances



Maintain pedestrian access into retail sites

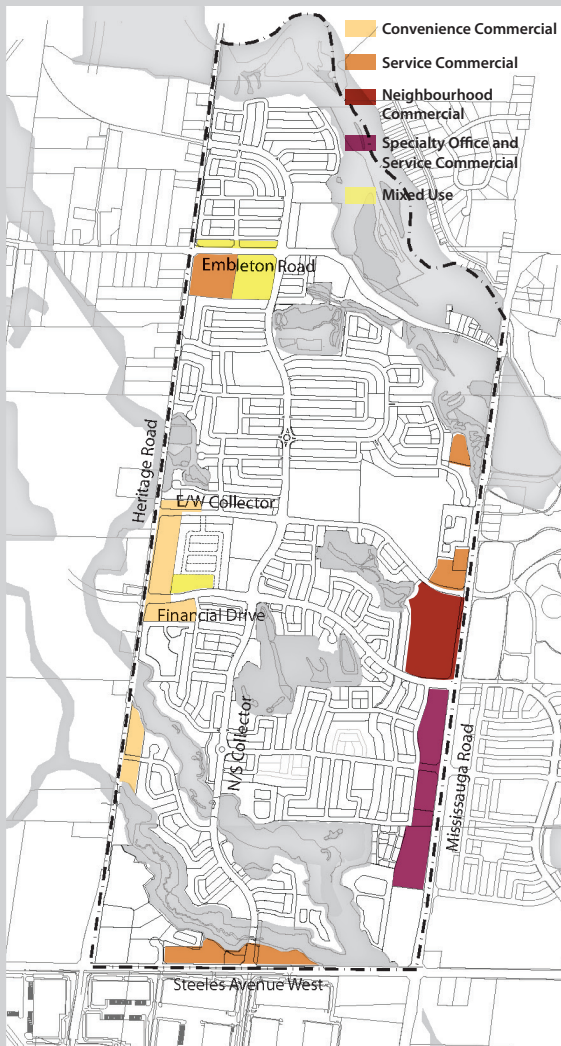


Figure 89. Conceptual Location of Retail Areas



4.4.2 Retail

Retail units are attached by shared sidewalls and generally located close to the property line; if possible, they can be grouped in blocks which together are considered as a shopping development (including associated car parking). In Riverview Heights retail development includes:

- Variety in size (from small to large scale stores)
- Units that are served by rear lanes; and,
- Units that are oriented to and architecturally animate the street.

Objective:

In Riverview Heights, retail development will be designed at a scale and design detail that results in pleasant pedestrian scaled retail nodes. At gateway edges to the community they should be designed to visually address these locations and contribute to the livability of the entire community.

In addition to the above guidelines for Non-Residential uses, the following shall apply especially to retail uses:

- In retail and mixed-use development, second storey uses (such as professional or service-related offices) above ground-level commercial uses are encouraged;
- If it is not feasible to accommodate second storey ancillary uses above commercial uses, then characteristics of a second storey are encouraged in the architecture of retail buildings through the use of a variety of roof lines and roof elements such as dormers, gables, parapets etc;
- Building elevations facing prominent streets shall occupy a minimum of 15% of the facade with the inclusion of compensatory design measures such as upgraded building materials, articulated facades, canopies, etc.;
- Facades containing primary entrances to individual establishments shall be required to contain a high level of glazing, a minimum of 30-40% of each storefront façade. The 30-40% glazed area requirement shall include entrances, windows, or upper level glazing; and,
- Pedestrian walkways should be maintained in front of commercial uses;
- Where drive-thru's are being contemplated, they shall conform to the *City of Brampton Drive Through Facility Guidelines; Part 6, Section 4 of the Development Design Guidelines (April 2011)*.

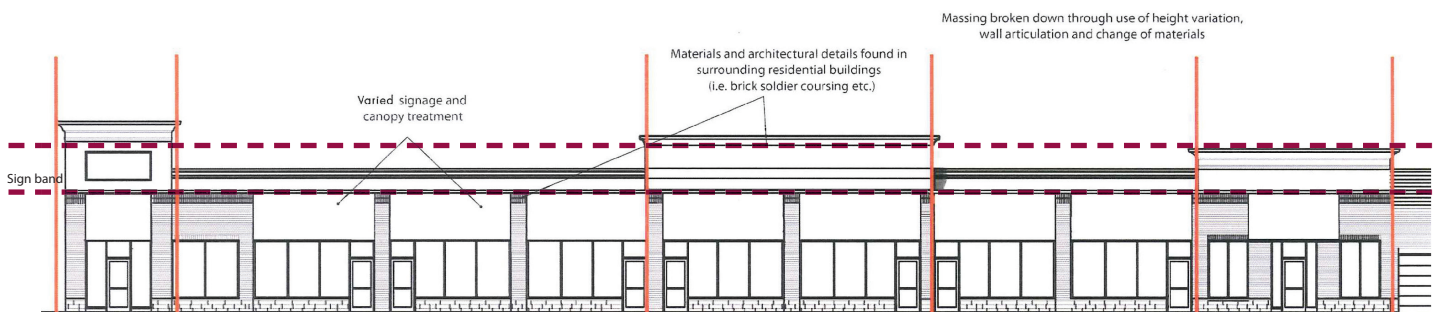


Figure 90. Typical residential retail block showing +/- 25% glazing based on facade area

4.4.3 Office

Office units are attached to their neighbours above, below and to the side within a single building. Most office buildings in the area are surrounded by parking at grade. Ultimately, some larger complexes will provide parking below grade or within their structures.

Objective:

In Riverview Heights office and industrial buildings will serve as feature buildings and be located in areas of high visibility. As such, they should be designed to provide a sense of identity to the community using materials and massing that supports that role.

At intersections along Steeles Avenue and other collector roads, building architecture shall reinforce gateway locations.

In addition to the above guidelines for Non-Residential, the following shall apply to office uses:

- Office areas within buildings shall face collector roads; and,
- Throughout industrialized areas, the office portion of buildings shall be located at corners.

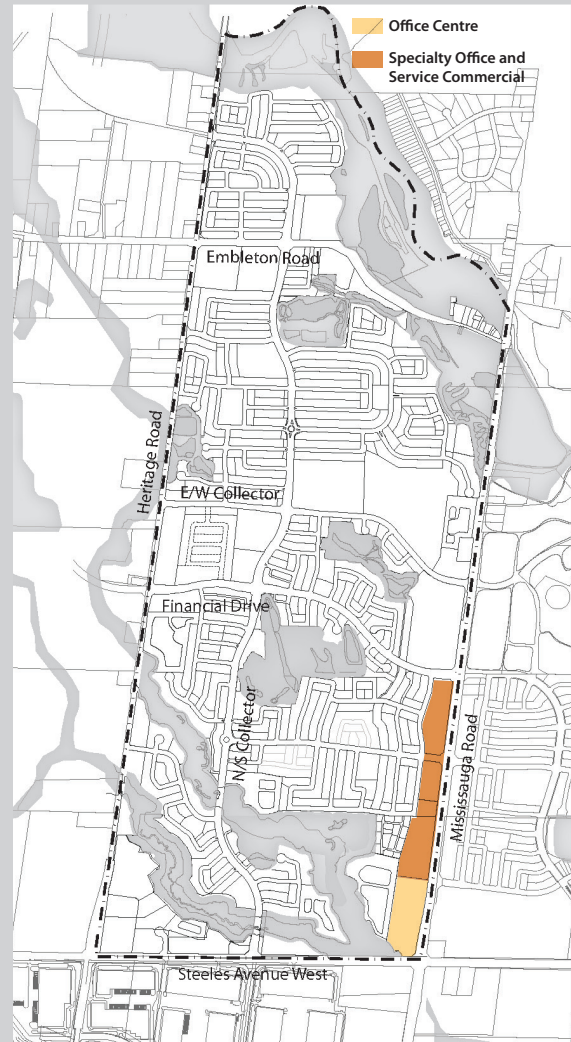


Figure 91. Conceptual Location of Office Areas

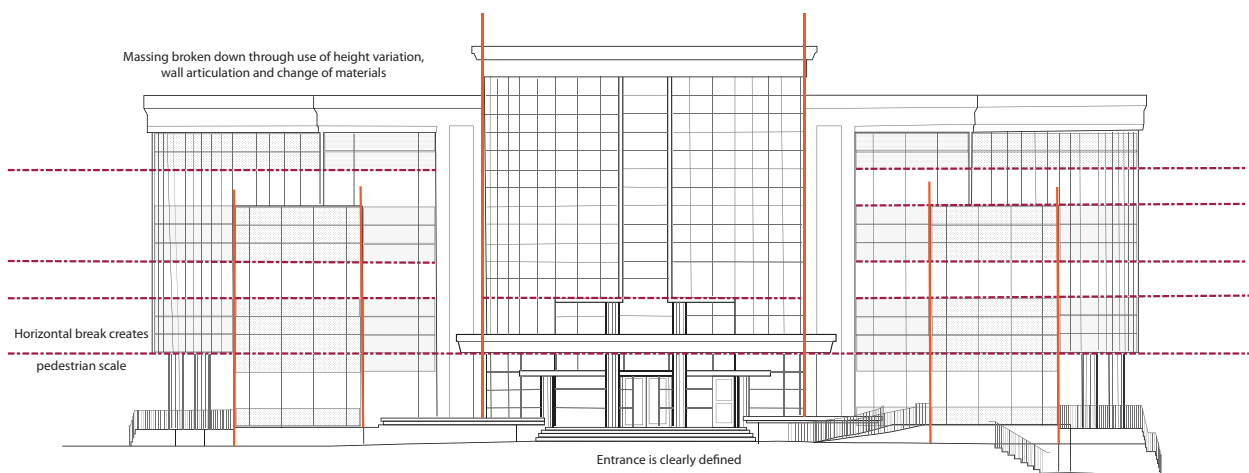


Figure 92. Typical office building



Figure 93. Conceptual Location of Office Areas



4.4.4 Prestige Industrial

Prestige industrial buildings have built form that generally consists of large format structures with higher quality architectural design than is typically found within regular employment areas and generally include a component of office uses.

Objective:

In Riverview Heights office and industrial buildings will serve as feature buildings and be located in areas of high visibility. As such, they should be designed to provide a sense of identity to the community using materials and massing that supports that role.

At intersections along Steeles Avenue and other collector roads, building architecture shall reinforce gateway locations.

Prestige industrial uses are located at the corner of Steeles Avenue and Heritage Road. In addition to the guidelines outlined above the following shall be taken into consideration:

- Architectural designs shall be of a high quality corporate image;
- A combination of landscaping, fencing, and architectural design should be used to provide a cohesive industrial block; and,
- Any outdoor storage will be discouraged and where it is present will need to be screened from view through both built form and landscaping.

4.4.5 Institutional

General Conditions

Institutional buildings often serve as landmarks in a community and as such, are situated in and around residential neighbourhoods, open spaces and community gathering spaces.

These architectural guidelines strive to ensure that locations of high activity will not disrupt the tranquility of their neighbourhoods and ensure that traffic, both vehicular and pedestrian, are not interrupted. In addition, they will ensure that buildings of importance are of the highest architectural design and quality. However, the Board's ability to comply with certain elements of landscaping and architectural detail will be limited to the amount of government funding received for each project.

Objective:

The built form of these buildings needs to establish their importance along the streetscape, be sensitive to surrounding uses and create a sense of place and a sense of safety within the community.

- Massing elements such as major glazed openings, and landscape features should be utilized to emphasize the importance of school buildings;
- Parking should be located strategically so as not to interrupt the flow of traffic, (i.e. pedestrian, cycling and vehicular);
- Special paving should be considered to emphasize school locations; and,
- Low maintenance planting should be considered for main entries/ focal points.

Built Form Principles

Objective:

The design of institutional buildings must be sensitive to the architecture of the surrounding Riverview Heights community, through siting, massing, architectural details and selection of materials while establishing important landmarks in the community.

In addition to the General Non-Residential Guidelines outlined in this Section, the following considerations shall be given for institutional buildings:

Institutional buildings provide landmarks.



Figure 95. Typical school elevation

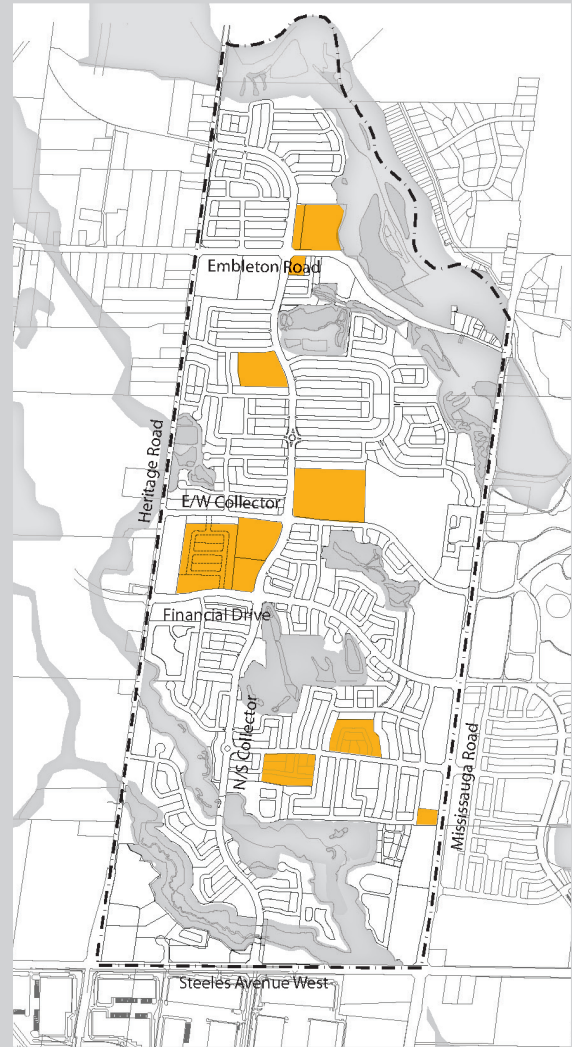


Figure 94. Conceptual Location of Institutional Areas



- Buildings shall be placed as close to the street as possible to establish a strong pedestrian scale;
- The main entry of institutional buildings shall address primary streets;
- All four elevations shall be consistent in materials, architectural details and fenestration, and shall be of a consistent design quality to address the high visibility of these buildings within the community;
- Drop-off and parking areas should not be located between the building and the street, however,

when site constraints necessitate front yard parking, a landscaped or architectural element should be provided to define the street edge; and,

- With the exception of bus lane drop-offs, all vehicular parking and private vehicle drop-offs are to be located at the least visually prominent side and/or the rear of the building;

(See Appendix 6.9 for demonstration plans)

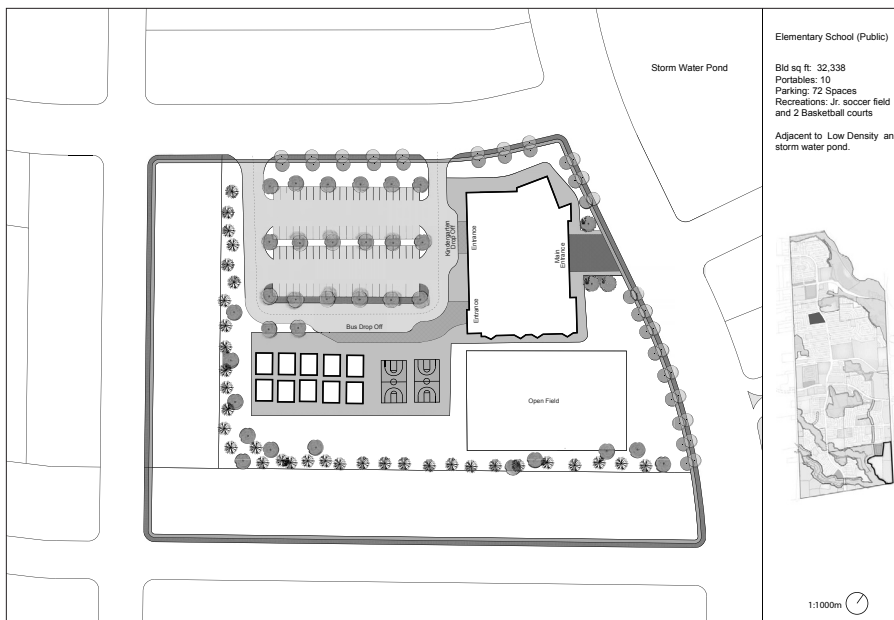


Figure 96. Diagram 1 - Catholic Elementary school across from Embleton Pond (Illustrative Only)

- Access routes are located on the interior road;
- The North/South Collector edge is framed using landscaping, built form and activity areas;
- The Northeast corner is framed through built form; and,
- Surrounding residential is separated by landscaping.

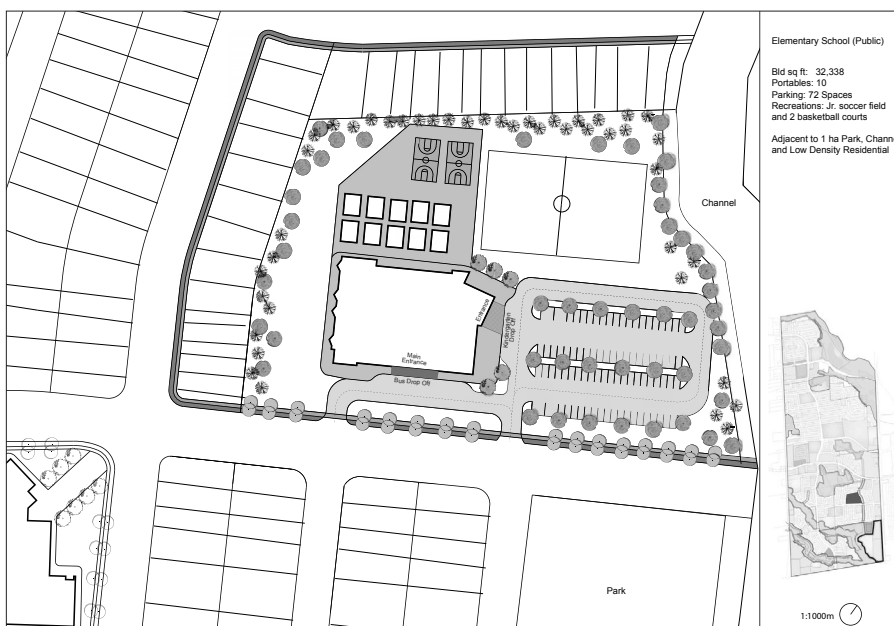


Figure 97. Diagram 2 - Elementary School in residential (Illustrative Only)

- Throughways are located with access to streets in order to ensure flow of traffic is not disrupted;
- Play areas are located next to the natural open space to the east; and,
- A landscaped buffer separates the driveway in front of the school building.

4.4.6 Specific Site Demonstration Plans

There are a number of important locations within the Mississauga Road and Steeles Avenue West Employment Areas which require special consideration. The following demonstration plans are illustrative examples which include a combination of land uses and highlight a number of important elements.

Mississauga Road

1. Mississauga Road & Steeles Avenue West primary gateway corner.
2. Mississauga Road & Financial Drive secondary gateway corner.
3. North commercial blocks adjacent to the Community Park.
4. Employment facing residential blocks and possible high density.

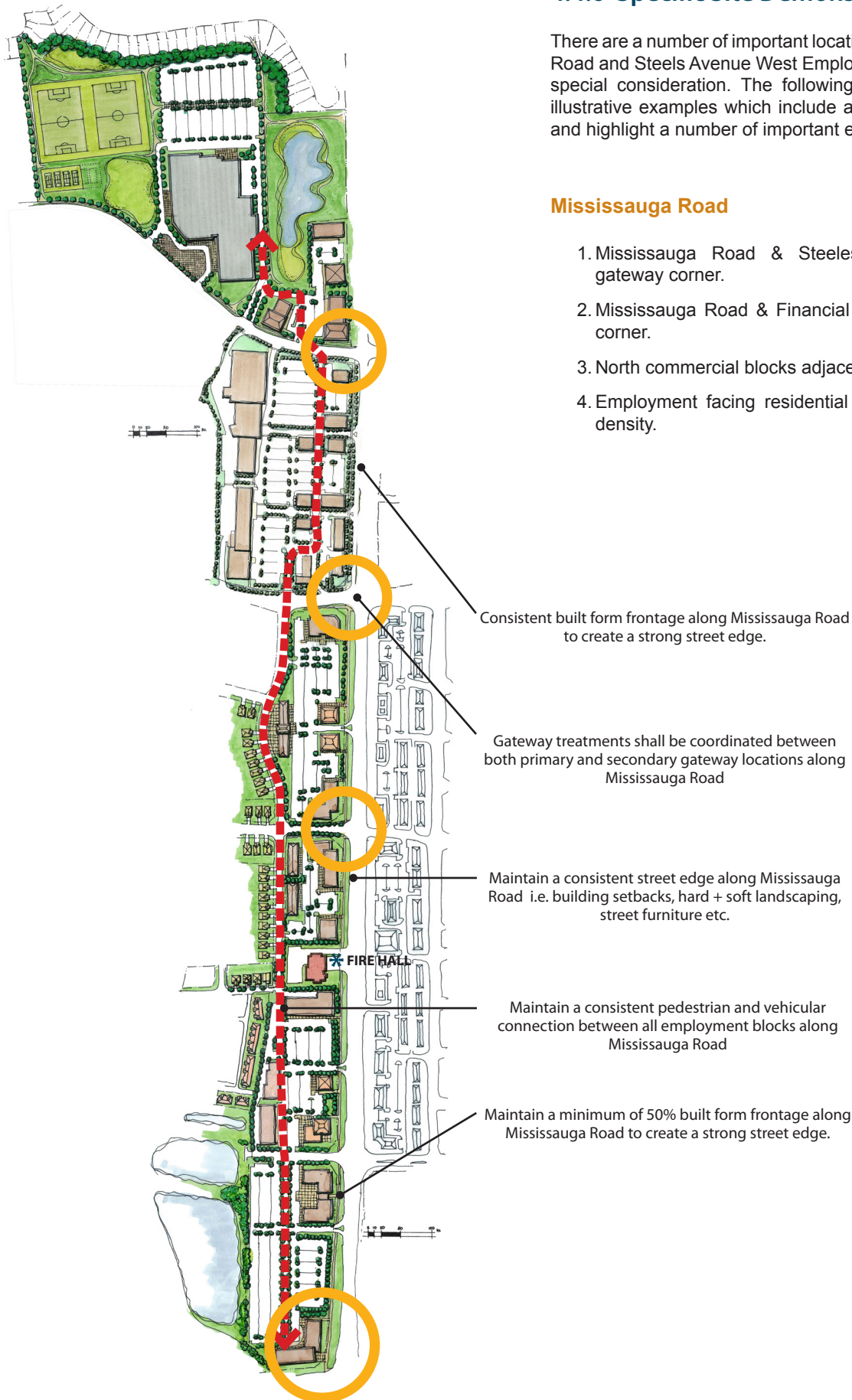


Figure 98. Mississauga Road Demonstration Plan

Steeles Avenue West

1. Gateway corner at Steeles Avenue West & the North/South Collector Road.
2. Buildings facing onto Levi Creek to the north.
3. Gas Station shall conform to the *City of Brampton Automotive Service Centres Guidelines; Part 6, Section 3 of the Development Design Guidelines (March 2010)*.

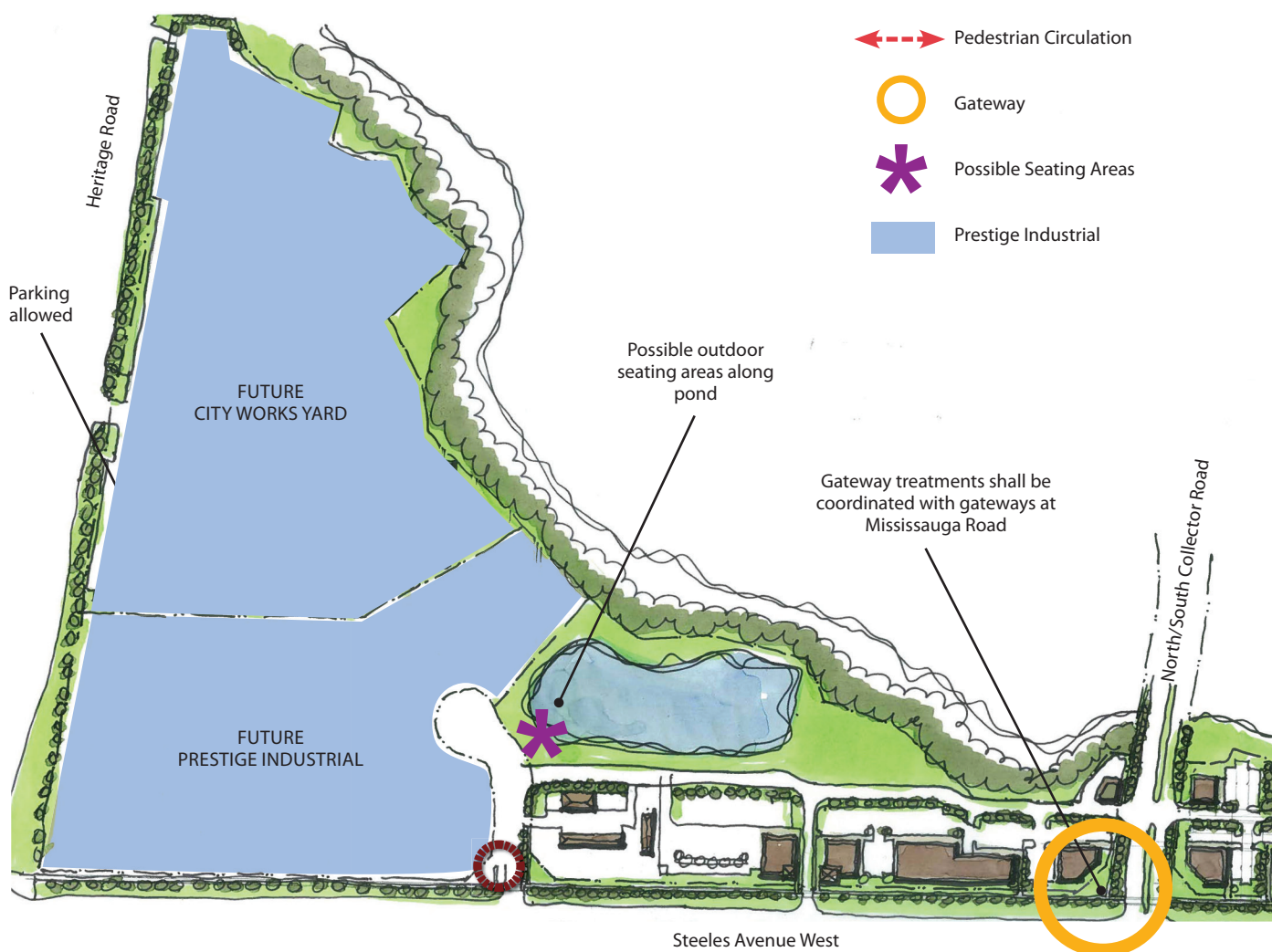


Figure 99. Steeles Avenue West Demonstration Plan

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5. Implementation	93
5.1 Process	95
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5.3 Areas of Further Study	99
5.4 Conclusions	99

5.1 Process

The Riverview Heights Stage 2- Urban Design and Landscape Guidelines + Architectural Controls provide the overall design direction for development of both the private and public realms within the community. The private realm (Built Form) will be implemented through an architectural design review and approval process. The public realm (Landscape Design) will be implemented through a detailed landscape design submission and approval process.

In keeping with the City's objectives, the approved CDG document will form the basis of the preparation of detailed landscape drawings and the architectural control review process. The CDG is meant to provide guidance in the preparation of future site plans within the special character areas. It will act as a tool for the implementation of the plan throughout the subdivision, site plan approval and construction stages by providing guidance for the built form, landscape and urban design, and the architectural review process. The highest level of detail has been provided for those areas that make the Riverview Heights community distinct – the “special character areas” that were outlined in the ‘vision’ document.

Design Review & Approval Process

The design review and approval process for the Riverview Heights community will be performed by The Planning Partnership Ltd. and will include the review of all built form including residential, commercial, institutional and employment uses within the community. The contact information for the Control Architect is as follows:

The Planning Partnership Ltd.
1255 Bay Street, Suite 201
Toronto, ON
M5R 2A9
Attention: Rick Merrill, OAA, MCIP, RPP

Ground-related residential development for all “Standard Architectural Areas” within Riverview Heights is subject to the provisions of “Architectural Control Guidelines for Ground Related Residential Development” (ACGGRRD), Chapter 7 of the Development Design Guidelines, added through Council approval on August 6, 2008 and associated fees, as per By-Law 110-2010. As the DDG's may evolve and become updated, developers and their consultants shall verify with Community Design staff the latest version of the approved document in force.

The review and approval process will follow Section 7.0 of the ACGGRRD, which includes:

- Preliminary Review Process of model working drawings and subsequently of site plan and streetscape submissions;
- Final Review & Certification of model working drawings, site plans and streetscape drawings; and,
- Exterior Colour/Material Package Review to be submitted early on in the process prior to final approval of model working drawings.

This same review process will also be applied to all other built form in the Riverview Heights community included in Section 4 of these guidelines. Refer to Section 7.0 of the ACGGRD for further design guidelines for “Design Review and Approval Process”.

In addition to these architectural control review process requirements, all housing proposed for “Non-Standard Built Form Types” and “Special Character Areas” within the community will be reviewed by the Control Architect in conjunction with City urban design staff.

A Site Plan Control Process is required for all non-residential uses and may apply for some townhouses, apartment buildings and live work units. The Control Architect may review and comment for general coordination with the CDG's.

Role of the Control Architect

The Control Architect will review Builder's submissions in a fair and timely manner to ensure they are appropriate and in general compliance with the Riverview Heights Community Design Guidelines. To ensure the City plays a greater role in overseeing the architectural control process, regular meetings between the Control Architect and the City will occur together with regular progress reports to Brampton Community Design staff. This is particularly important for “Non-Standard Built Form Types” and “Special Character Areas” within the community where both the image and character of the City and the design expectations of the community are at stake.

Prior to any sales occurring, the Control Architect and City will arrange a meeting with the Developers, Builders, Site Superintendants and Sales staff to ensure all stakeholders are familiar with the expectations for housing design and construction quality. The Control Architect will conduct periodic site visits to report on any noncompliance with these Guidelines.

Monitoring for Compliance

Developer shall employ a Control Landscape Architect to conduct drive-by site inspections to monitor that development is in keeping with these Design Guidelines and the approved Plans. Any visible deficiencies or deviations in construction from the approved plans and drawings will be reported and noted for immediate rectification.

5.2 Cost Sharing (matrix)

Non-Executive-Transitional Area

	Capital Cost City Responsibility (DC Funded)	Capital Cost Developer Responsibility (Developer Funded)
Street Trees <ul style="list-style-type: none"> City Standard 70mm caliper Enhanced planting along N/S Road as per City Standard 		<div></div> <div></div>
Buffer Blocks - 100% Planted <ul style="list-style-type: none"> Planting to City of Brampton standards Fencing at window streets - low decorative fencing Acoustic fence and masonry pillars Valleylands rear lot chainlink fencing/retaining fencing 		<div></div> <div></div> <div></div> <div></div>
Gateway Features (Primary, Secondary + Non-Residential) <ul style="list-style-type: none"> Decorative masonry elements, vertical columns, signage, etc. Painted crosswalks Decorative planting 		<div></div> <div></div> <div></div>
Community Mailboxes <ul style="list-style-type: none"> Mailbox Pad (Canada Post standard) 		<div></div>
City Gateway <ul style="list-style-type: none"> Planting to City Standards 		<div></div>
Street Lighting <ul style="list-style-type: none"> Decorative Pole and fixture (City of Brampton standard) 		<div></div>
Parks <ul style="list-style-type: none"> Tree planting to City of Brampton standards Walkways within existing City Standards Decorative planting Signage and furniture to City of Brampton standards Play areas to standards and approval of City 	<div></div> <div></div> <div></div> <div></div> <div></div>	
Channels <ul style="list-style-type: none"> Planting as per City of Brampton standards Fencing as per City standards 		<div></div> <div></div>
Storm Water Management Ponds <ul style="list-style-type: none"> Naturalized planting material (i.e. native species, coniferous and deciduous trees, perennial flowers, natural grasses etc.) to City standards Standard Lookout - asphalt paving, 1 City standard Belair Bench Walkways within existing City Standards Signage as per City of Brampton standards 		<div></div> <div></div> <div></div> <div></div>
Trail Heads <ul style="list-style-type: none"> Standard City Trail Identifier 	<div></div>	
Pathways (Trail System) <ul style="list-style-type: none"> Pathways and pedestrian bridge crossings within existing City Standards 	<div></div>	

5.2 Cost Sharing (matrix)

Executive Areas

	Capital Cost City Responsibility (DC Funded)	Capital Cost Developer Responsibility (Developer Funded)
Streetscapes <ul style="list-style-type: none"> Upgraded large caliper street trees (100mm) on both sides of street Upgraded privacy fencing with masonry piers 		<div></div> <div></div>
Buffer <ul style="list-style-type: none"> Enhanced decorative planting along valleylands and at window street Decorative black metal fencing w/ columns at window street Decorative fencing along rear frontages and adjacent to pathways Community Park buffer (additional trees, planting and berm) 		<div></div> <div></div> <div></div> <div></div>
Gateway Features (Tertiary) <ul style="list-style-type: none"> Enhanced decorative masonry elements, vertical columns, signage, etc. Special paving and impressed crosswalks (street print) Decorative paving at entry medians 		<div></div> <div></div> <div></div>
Community Mailboxes <ul style="list-style-type: none"> Belvedere feature and decorative paving 		<div></div>
Parks <ul style="list-style-type: none"> Upgraded Neighbourhood Parks (paving materials, entries with stone masonry columns, play structures, shade structures, planting, decorative fencing) 		<div></div>
Storm Water Management Ponds <ul style="list-style-type: none"> Upgraded belvedere at Embelton Pond and SWM Pond north of Embleton School (decorative paving, landscape, overhead structure, upgraded planting, additional seating) Enhanced decorative planting Upgraded furniture (additional seating, trellis design etc.) 		<div></div> <div></div> <div></div>
Pathways (Trail System) <ul style="list-style-type: none"> Pathways exceeding existing City Standards 		<div></div>

5.3 Areas of Further Study

The CDG is a document that will change over the life of the development of the community. Some issues remain to be resolved regarding specific areas within the Riverview Heights Community.

Specifically, special policy area 15 (Embleton Road Special Character Area) is still under discussion and the design guidelines for this area will be developed in concert with the City and regional staff.

A second area of discussion in the future will be the configuration of Heritage Road. The current guidelines suggest the relationship of buildings to the street, however, the future scale and function of Heritage Road has not been fully explored.

5.4 Conclusions

The purpose of the study is to support the physical design of the community including distinct neighbourhoods with centres and edges, a well defined open space system extending the natural features into the site, a clear hierarchy of streets and elements that make Riverview Heights distinct from other communities within Brampton.

Riverview Heights has been designed incorporating the best practices of community design. As a result, the community features distinct neighbourhoods with centres and edges, a well defined open space system extending the natural features into the site, and a clear hierarchy of streets, among other elements that make it distinct from other communities within Brampton.

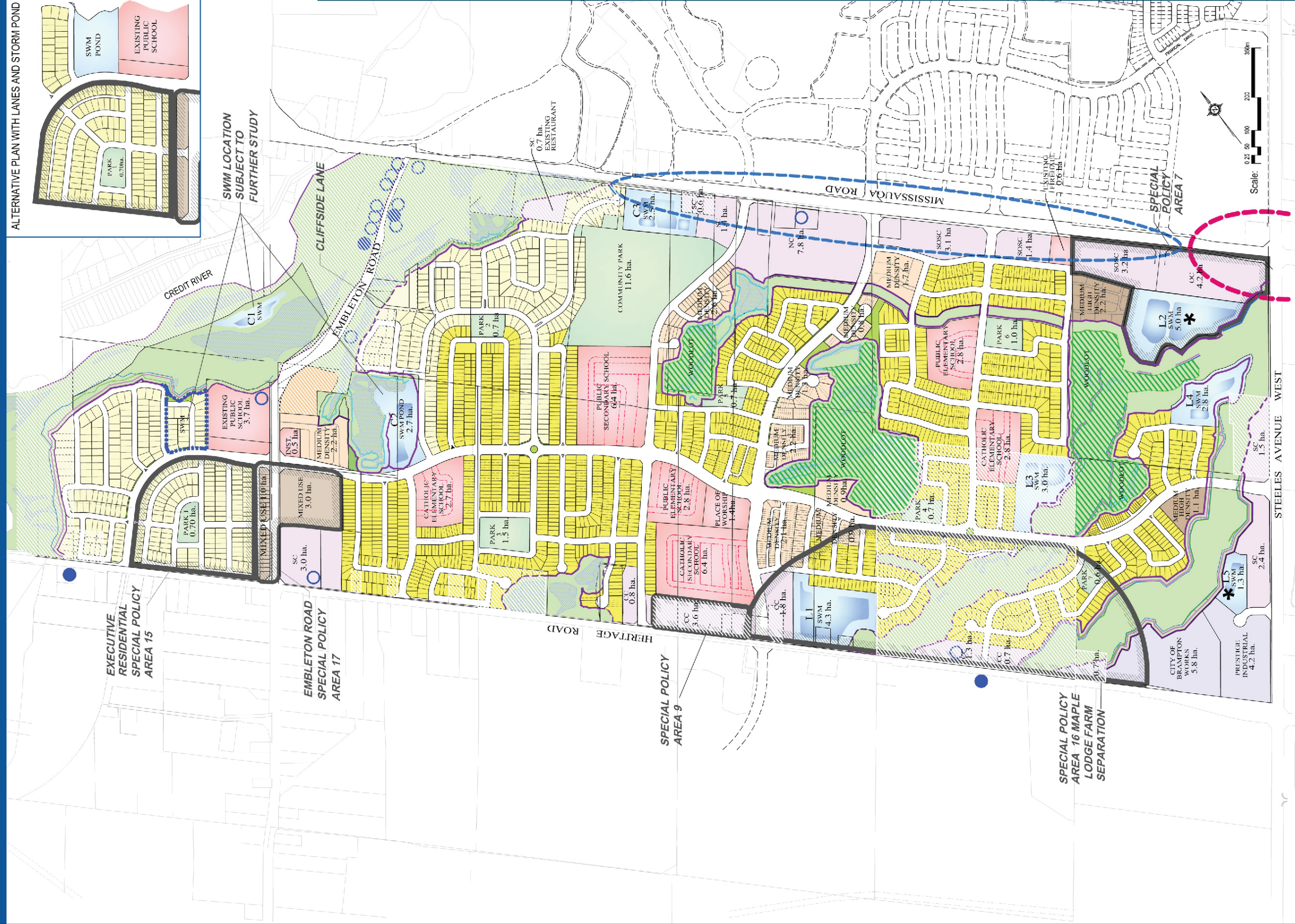
The site is rich in natural features including the Credit River Valley and Levi Creek as well as two central woodlots and a number of wetland areas. These features figure prominently in the design of the community.

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STAGE 2 BLOCK PLAN

approved block plan

a/ 6.1



RIVERVIEW HEIGHTS BLOCK PLAN

LEGEND

EXECUTIVE RESIDENTIAL (36.3 ha)	SERVICE COMMERCIAL (8.9 ha)
VILLAGE RESIDENTIAL (4.1 ha)	SPECIALTY OFFICE AND SERVICE COMM'L (7.7 ha)
LOW/MEDIUM DENSITY RESIDENTIAL (81.0 ha)	CONVENIENCE COMMERCIAL (8.2 ha)
MEDIUM DENSITY RESIDENTIAL (14.7 ha)	NEIGHBOURHOOD COMMERCIAL (7.8 ha)
MEDIUM / HIGH DENSITY RESIDENTIAL (3.3 ha)	OFFICE CENTRE (4.2 ha)
MIXED USE (4.0 ha)	PRESTIGE INDUSTRIAL (10.7 ha)
	PARKS & PARKETTES (17.5 ha)

DEVELOPMENT LIMITS

Limit of Development	MNR Mapped Wetlands (approx. from air photography)
Approximate Limit of Development	NON PARTICIPATING LANDS- FURTHER STUDY REQUIRED
Slaked Drilpine of Mature Forest	DESIGNATED HERITAGE PROPERTY
Slaked Edge of Wetland (MNR July 2008)	LISTED HERITAGE PROPERTY
Slaked Top of Bank	PRIMARY GATEWAY
Slaked Top of Slope	MISSISSAUGA RD. STREETSCAPE ENHANCEMENT

OTHER LEGEND

VISTAS (1.5 ha)	ROADS/ WIDENINGS (76.7 ha)
INSTITUTIONAL & SCHOOLS (30.0 ha)	TOTAL AREA 465 ha
OPEN SPACE/ WOODLOTS (126.8 ha)	
SWM POND (21.6 ha)	

DEVELOPMENT LIMITS

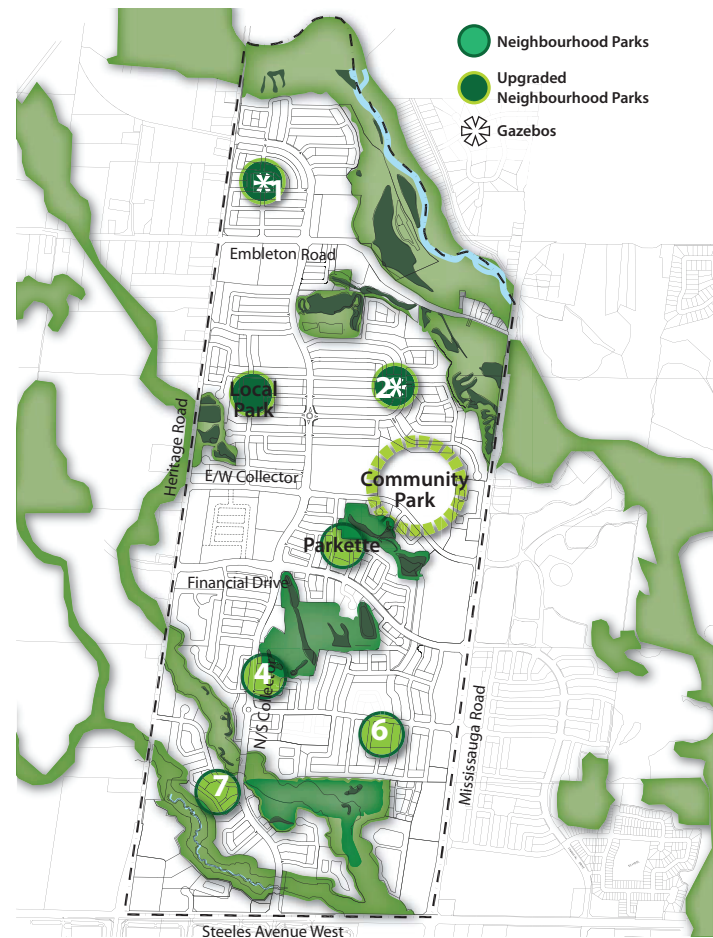
Limit of Development	Access to ponds L2 and L5 to be determined at the subdivision stage of development.
Approximate Limit of Development	Limited turn movements
Slaked Drilpine of Mature Forest	
Slaked Edge of Wetland (MNR July 2008)	
Slaked Top of Bank	
Slaked Top of Slope	

Surveyed Feature Limits prepared by: MMM Group
10m buffer applied to dripline of mature forest top of bank & floodline
15m buffer applied to slaked wetland & centreline of creek unless alternative approved in EIR.

Date: July 20, 2011

MALONE GIVEN PARSONS LTD.

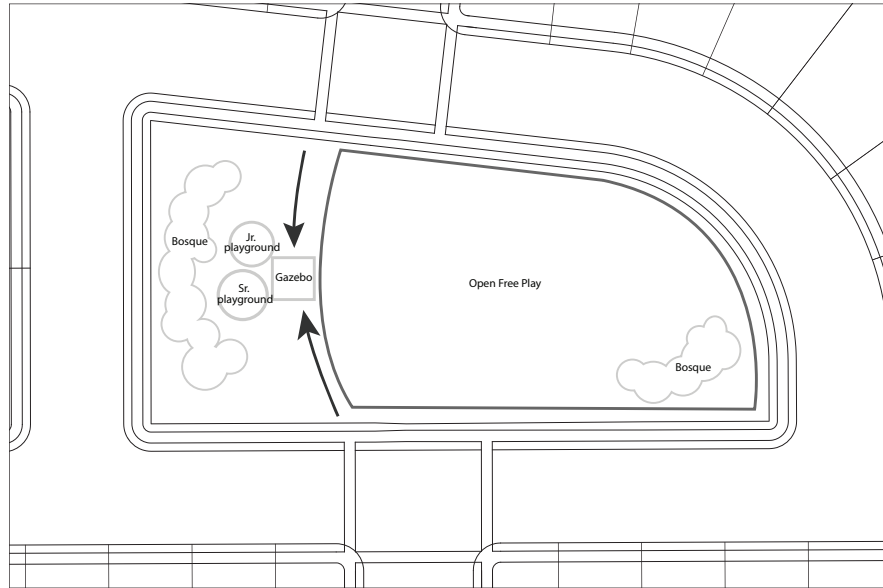




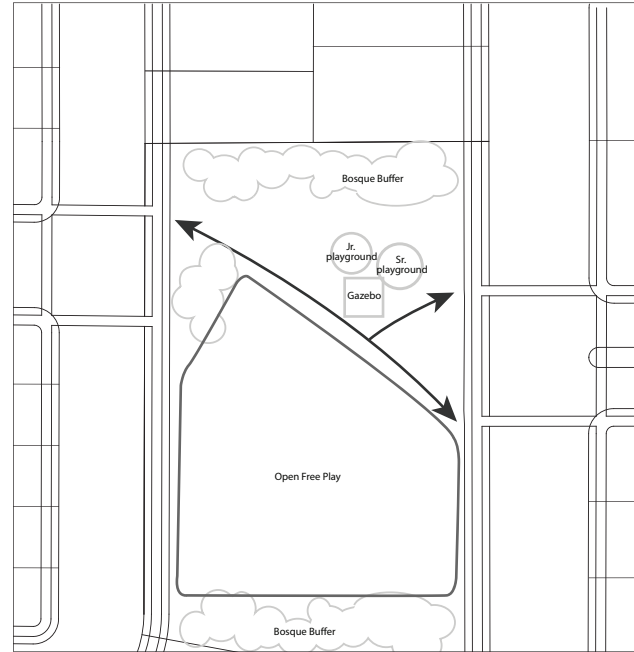
For details please refer to section 3.1.4.1 of this document.

parks facility fit plan

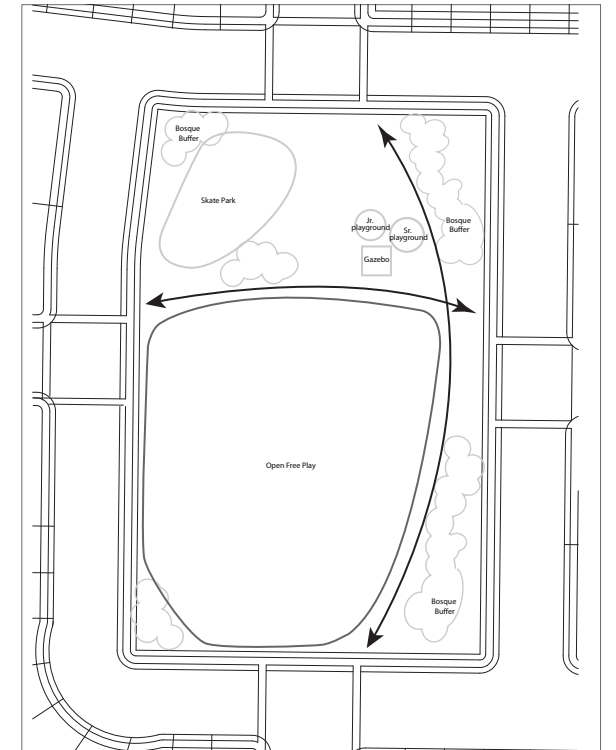
| a/ 6.3



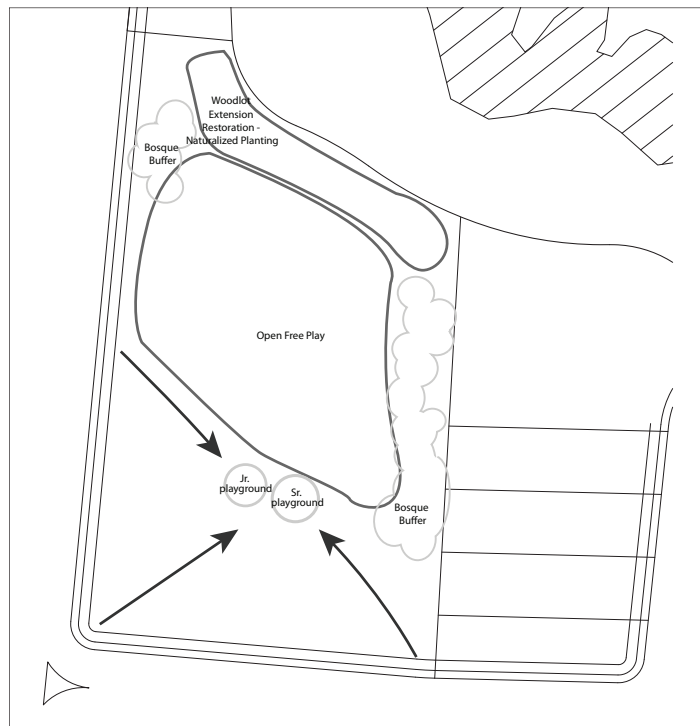
1. Upgraded Neighbourhood Park 0.7ha



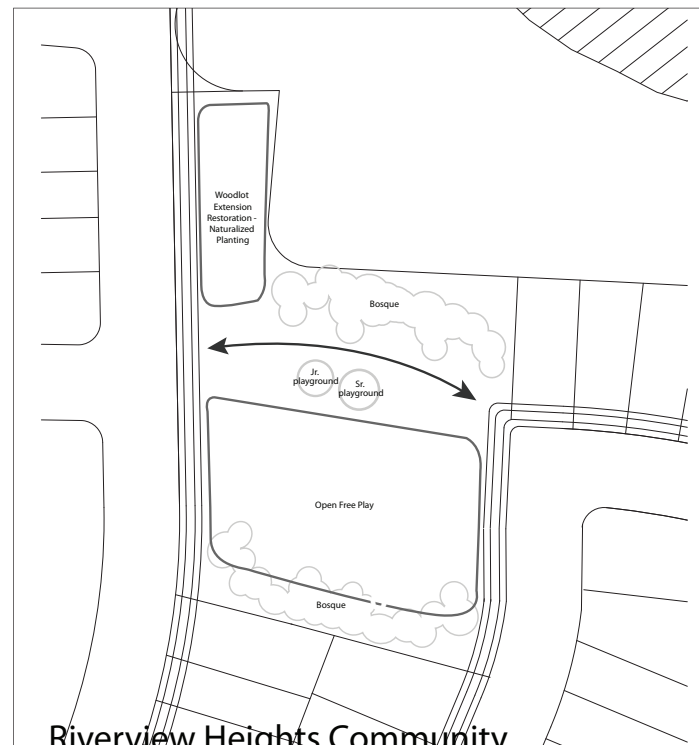
2. Upgraded Neighbourhood Park 0.7ha



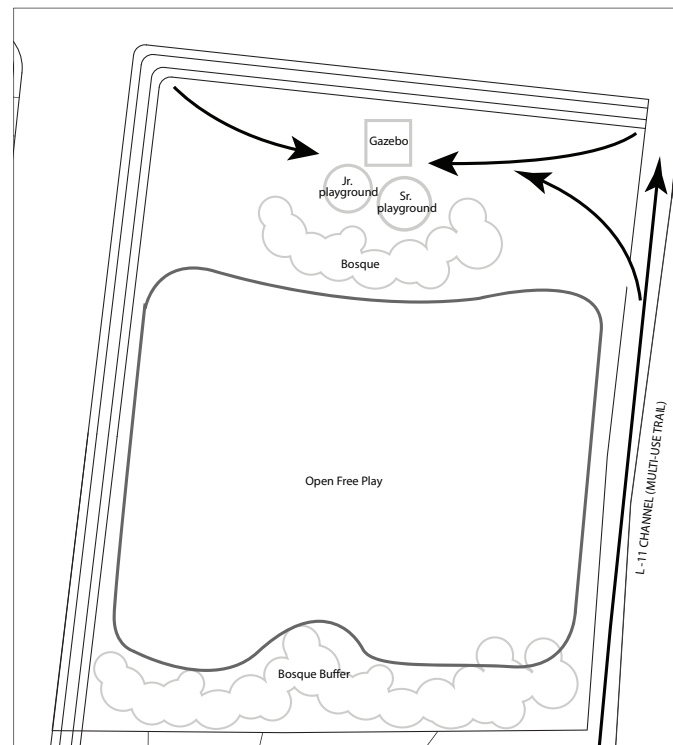
3. Local Park 1.5ha



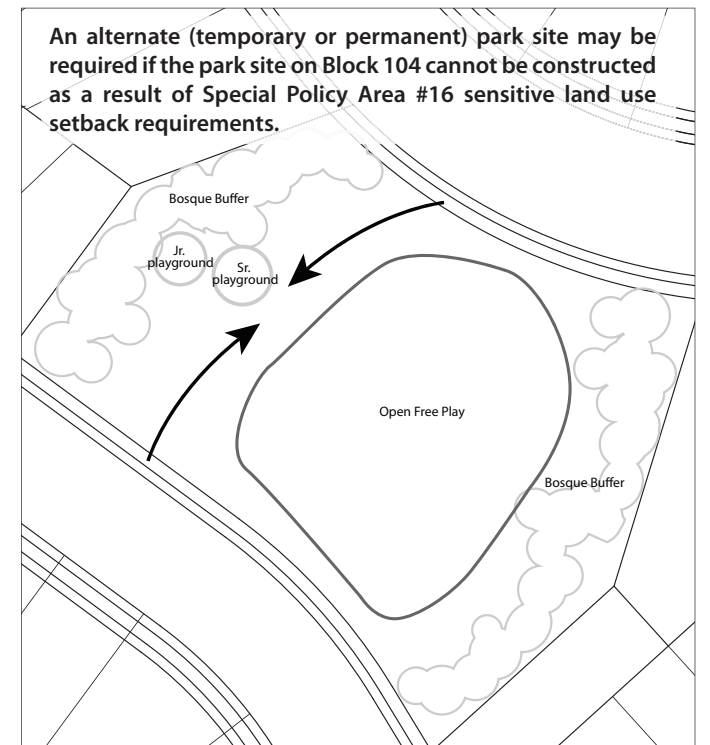
4. Neighbourhood Park 0.6ha



5. Neighbourhood Parkette 0.6ha



6. Neighbourhood Park 1.0ha



7. Neighbourhood Park 0.7ha

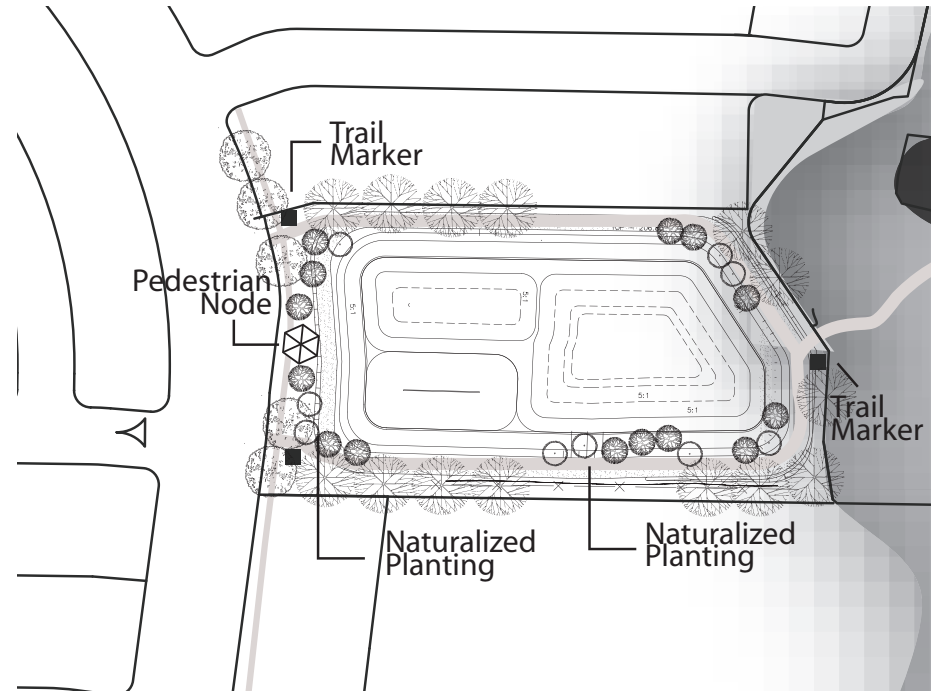
An alternate (temporary or permanent) park site may be required if the park site on Block 104 cannot be constructed as a result of Special Policy Area #16 sensitive land use setback requirements.

swm ponds + channels

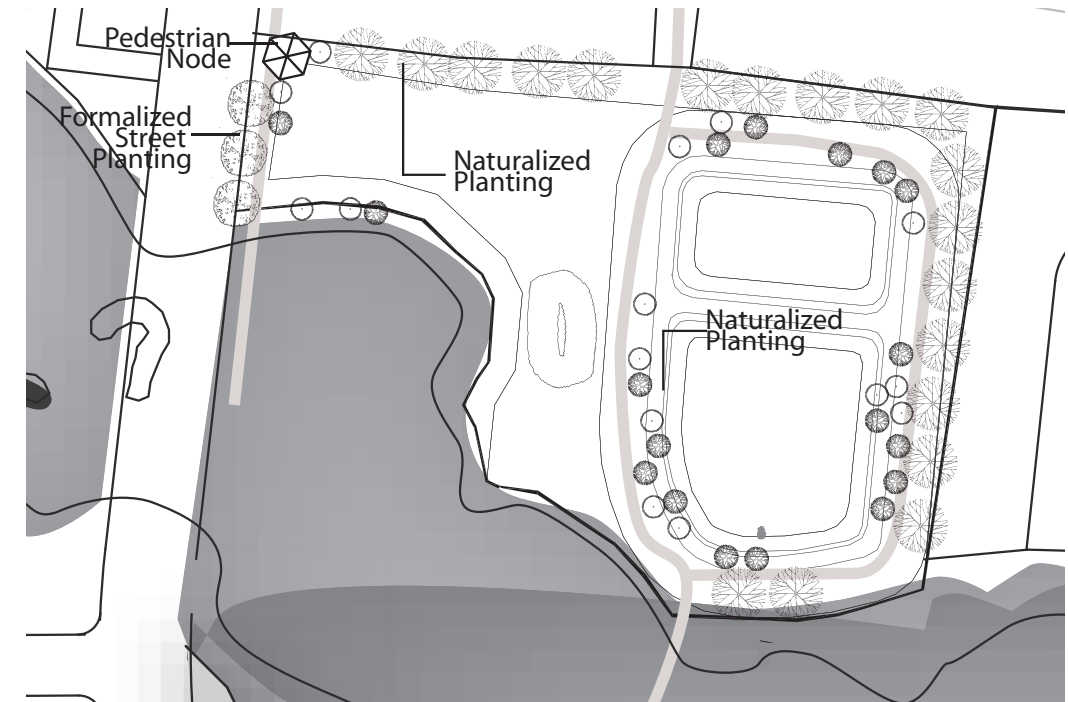
| a/ 6.4



For details please refer to section 3.1.4.2 of this document.
Concepts are subject to change on final design



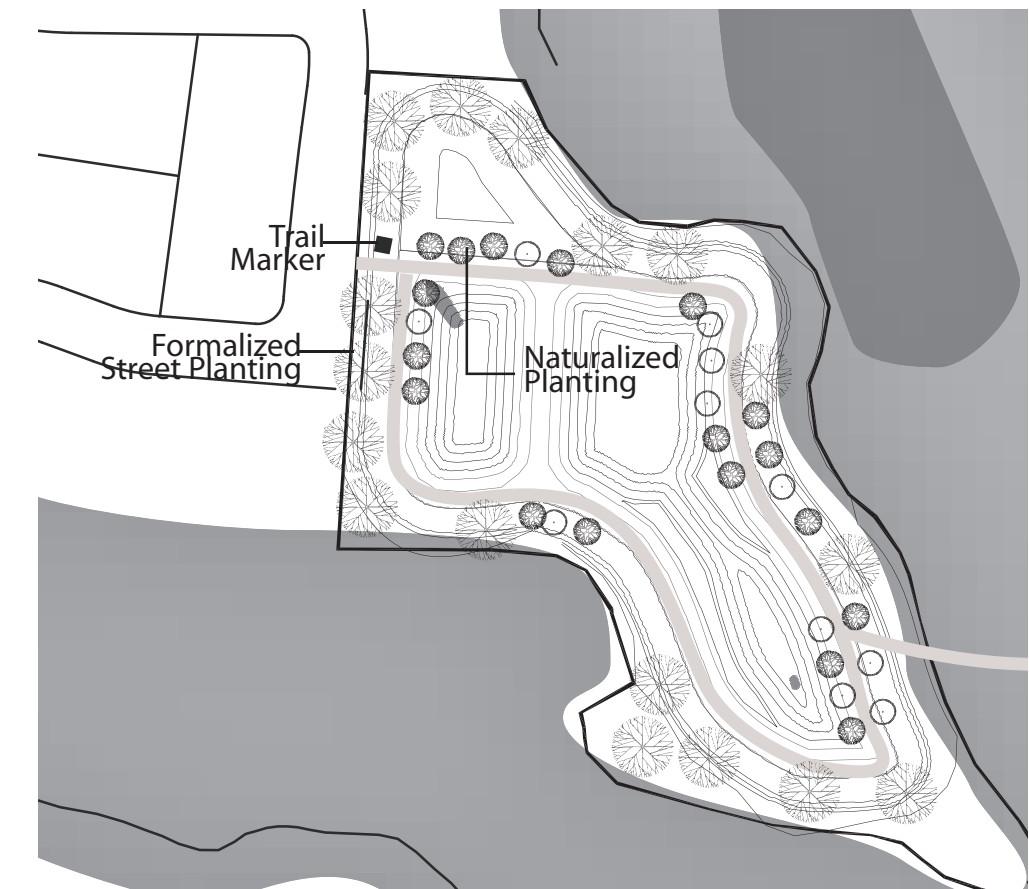
1. C1 SWM pond



2. L3 SWM pond

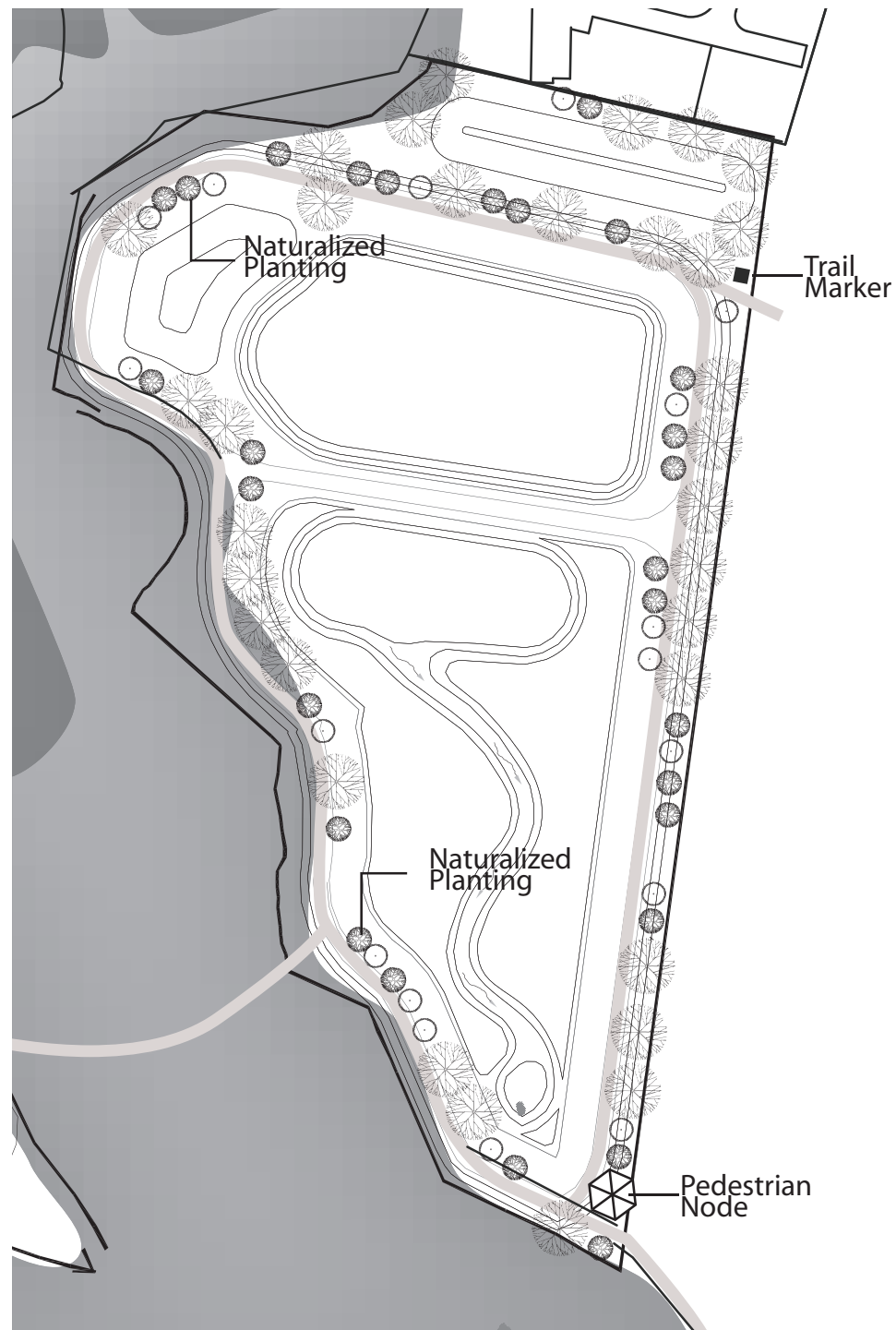


3. L1 SWM pond

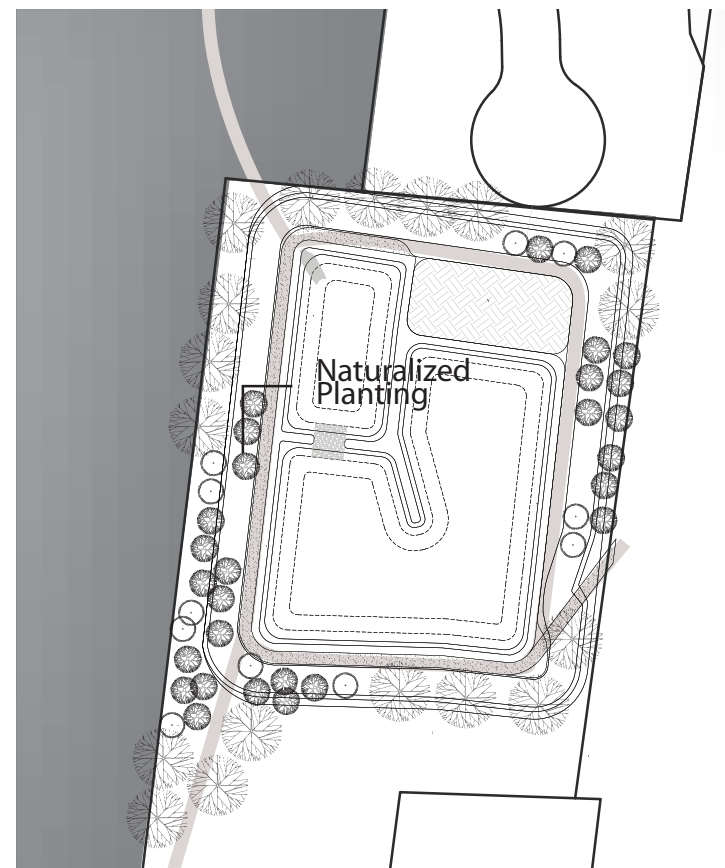


4. L4 SWM pond

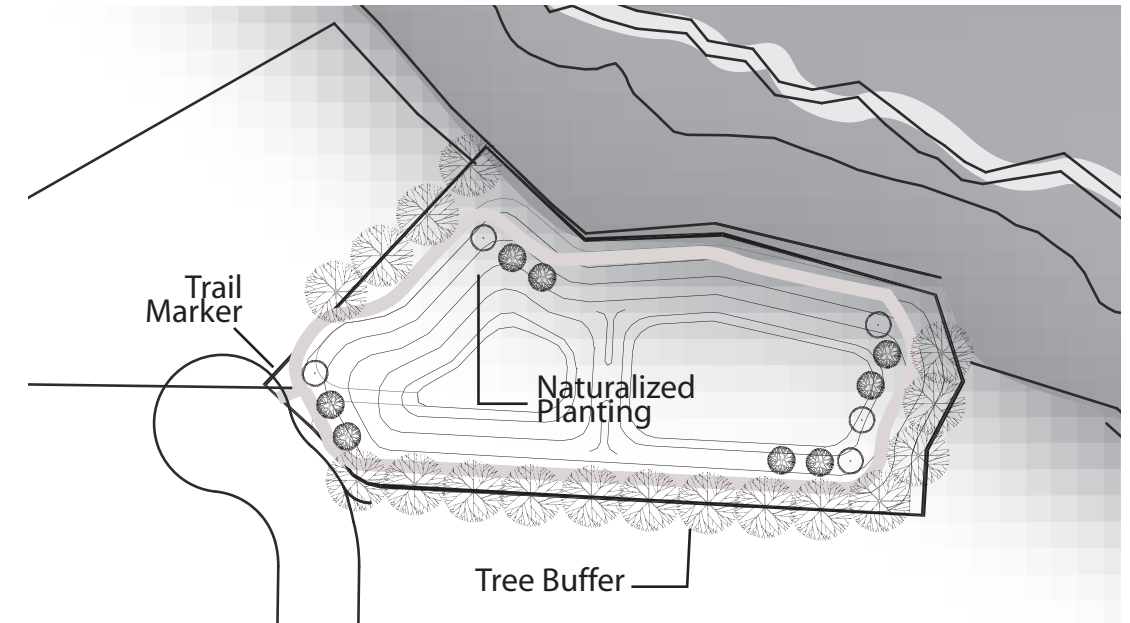
swm ponds + channels



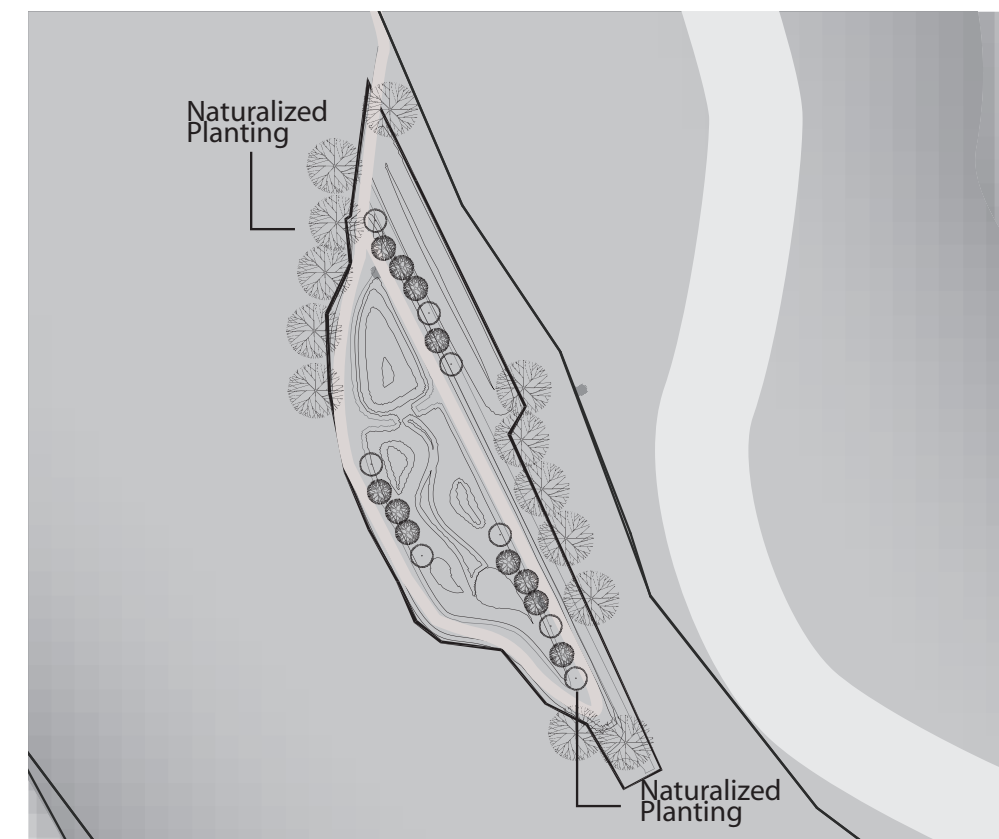
5. L2 SWM pond



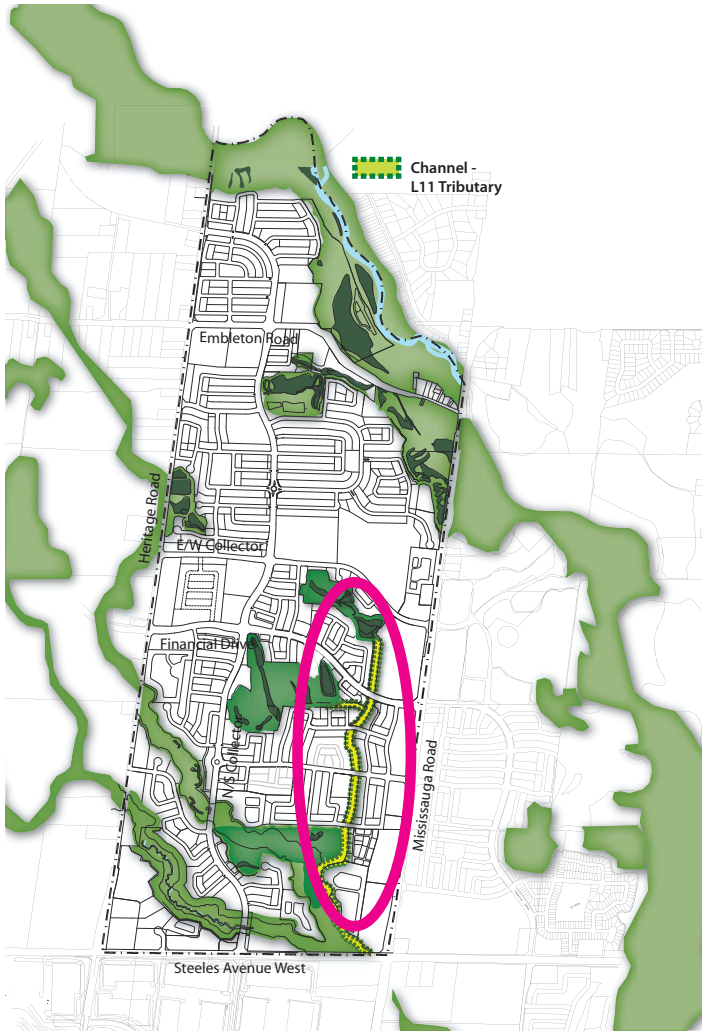
6. C3 SWM pond



7.L5 SWM pond

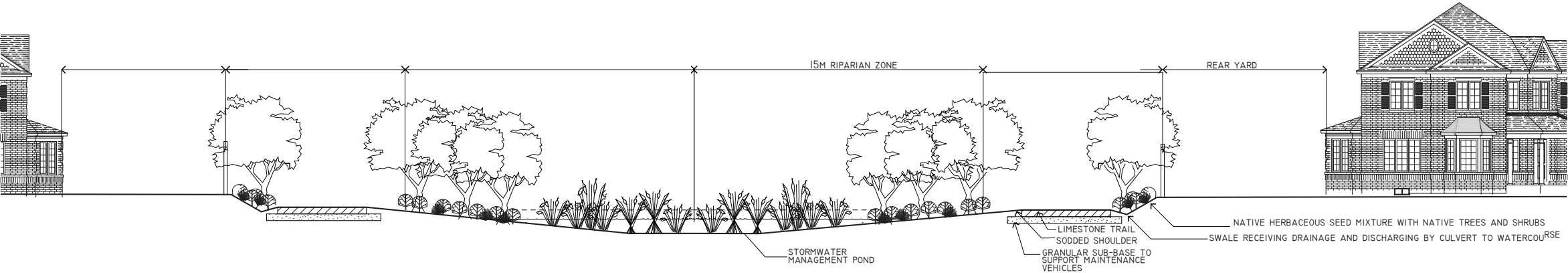


8. C1 SWM pond

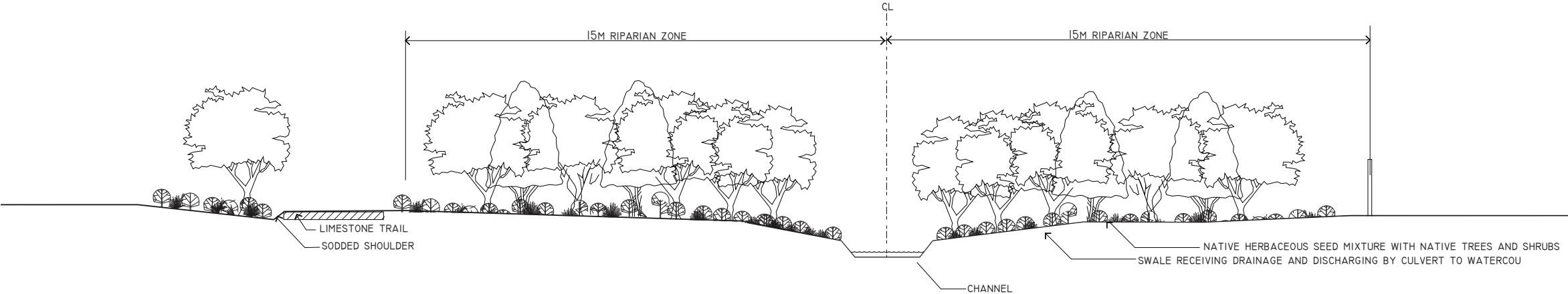


For details please refer to section 3.1.4.5 of this document.

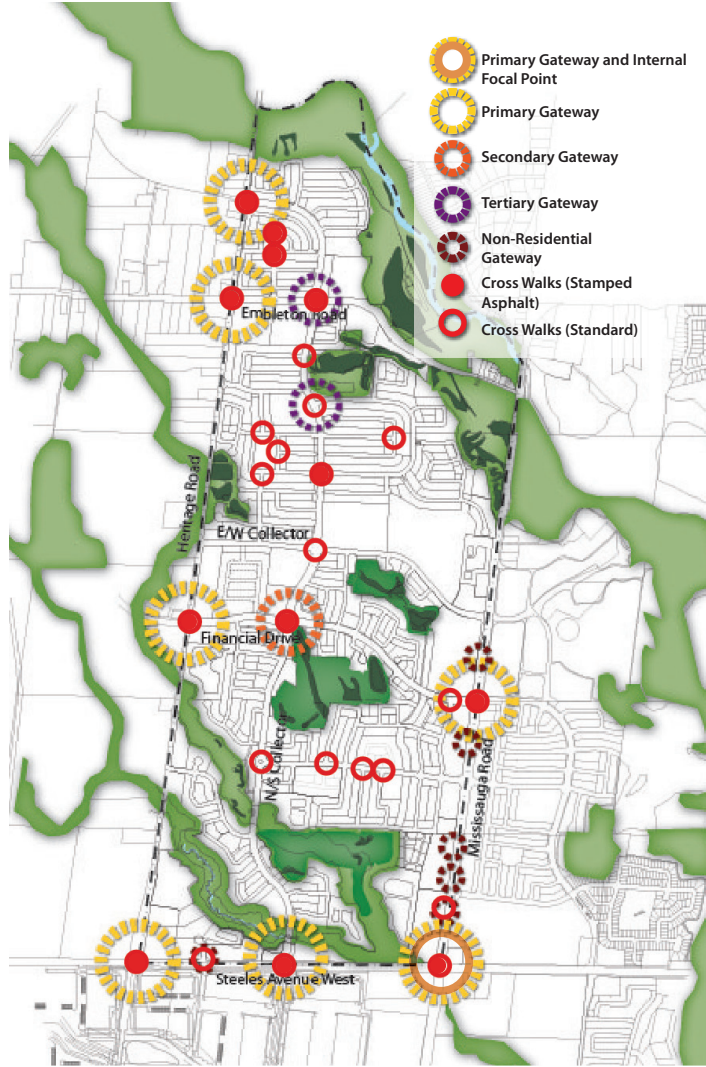
Typical Section of a Channel



Typical Section of a Channel



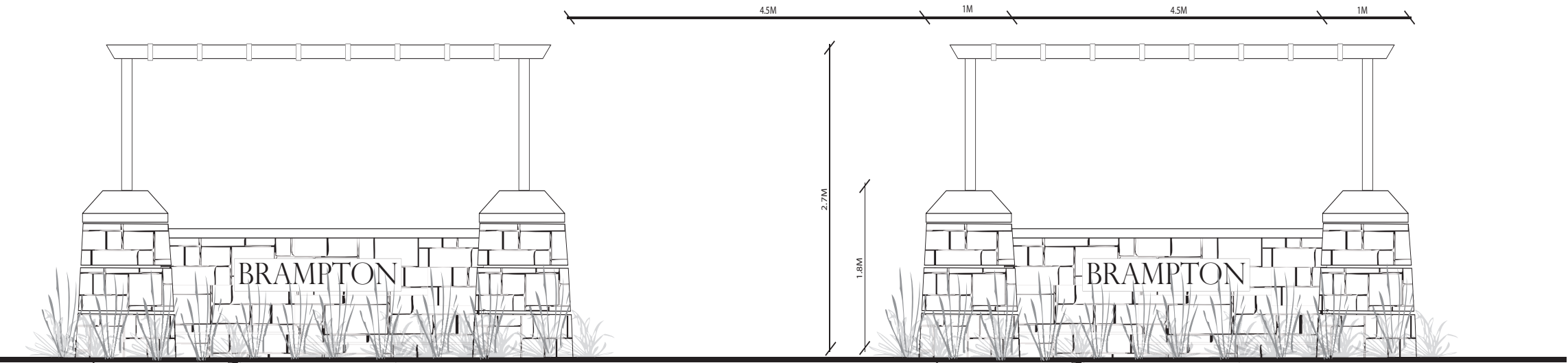
community edges + gateways | a/ 6.5



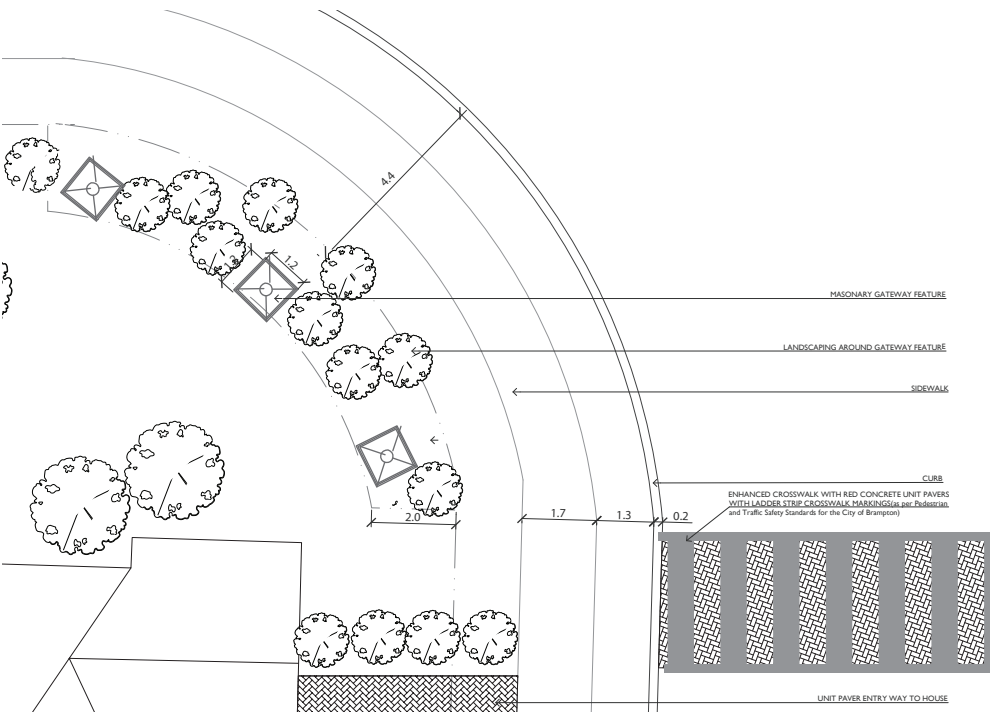
For details please refer to section 3.1.5 of this document.



Primary Gateway and Internal Focal Point

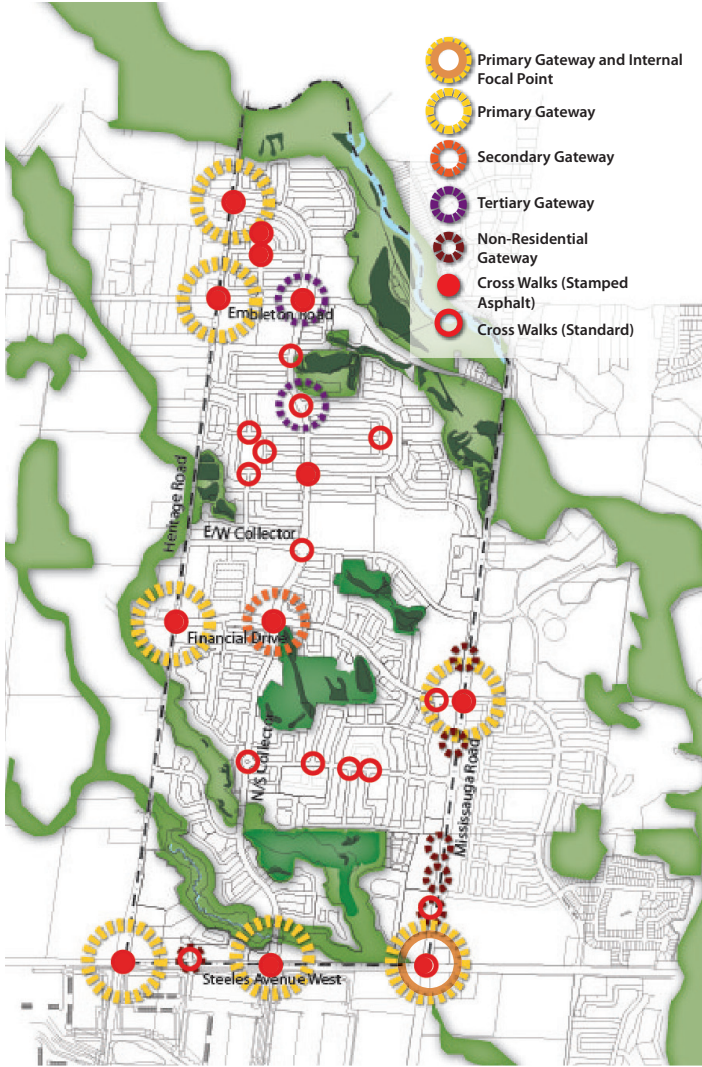


Primary Gateway



community edges + gateways:
primary + secondary

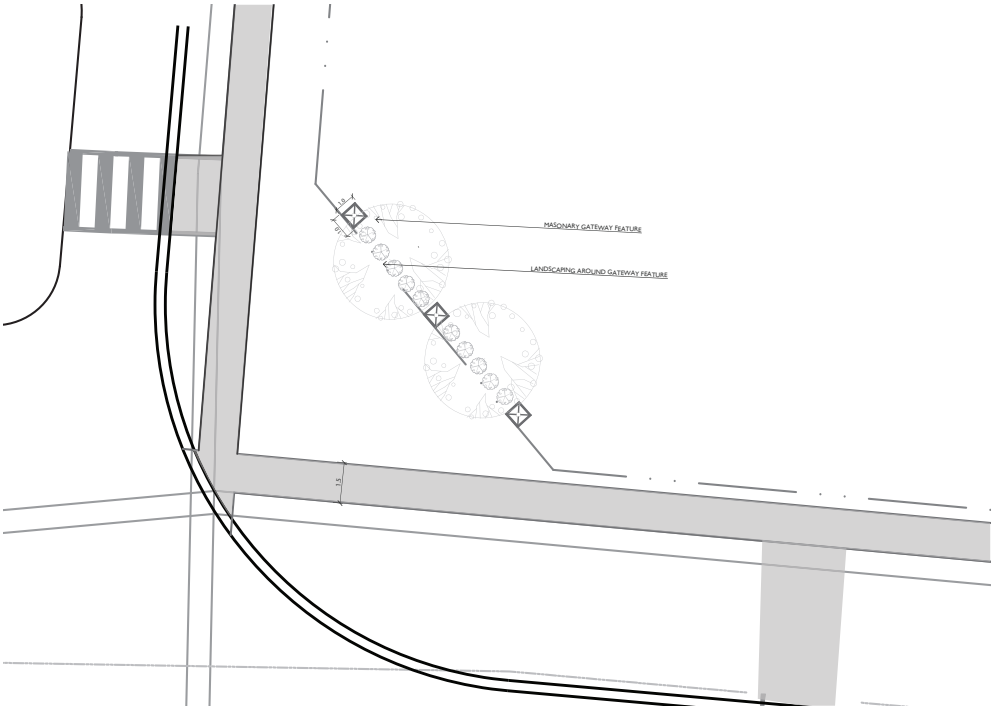
community edges + gateways | a/ 6.6



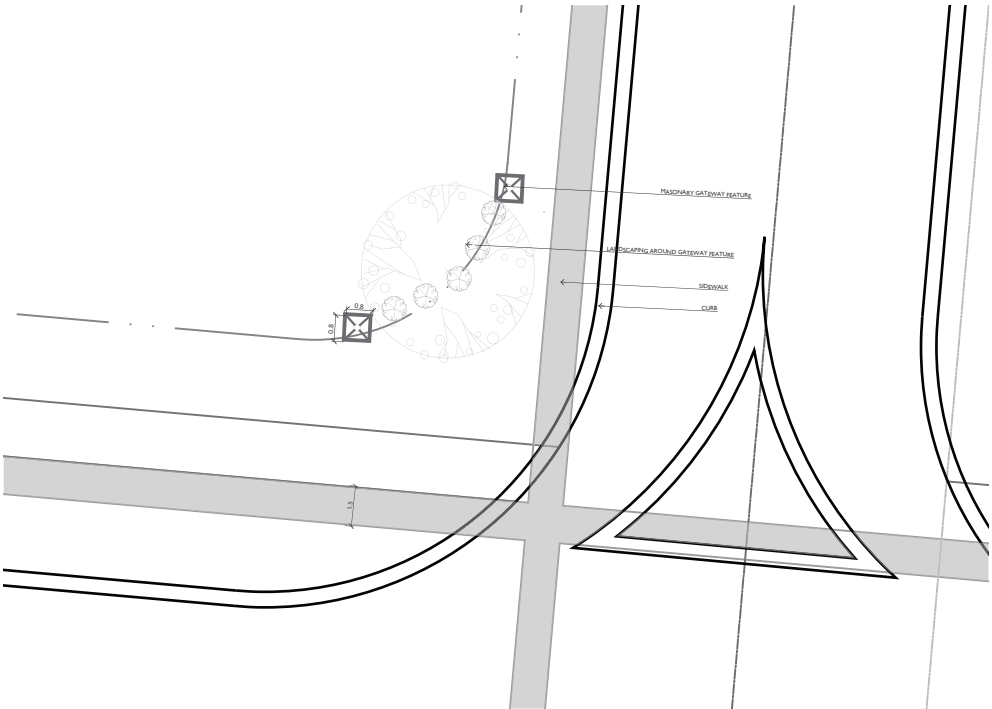
For details please refer to section 3.1.5 of this document.



Secondary Gateway

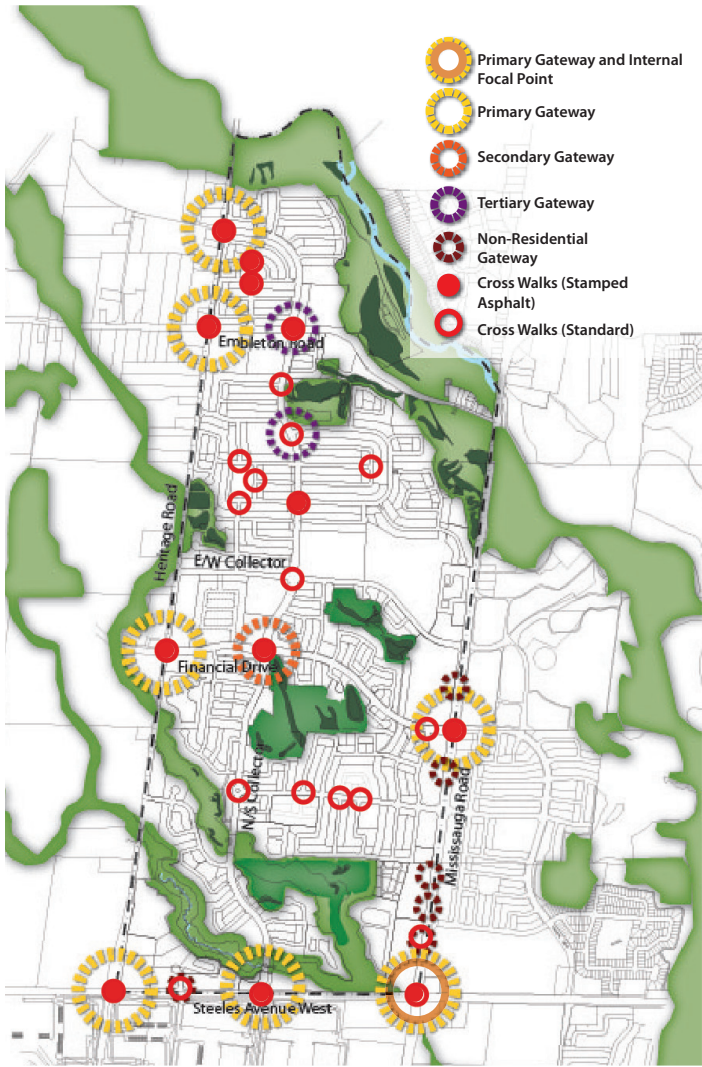


Tertiary Gateway

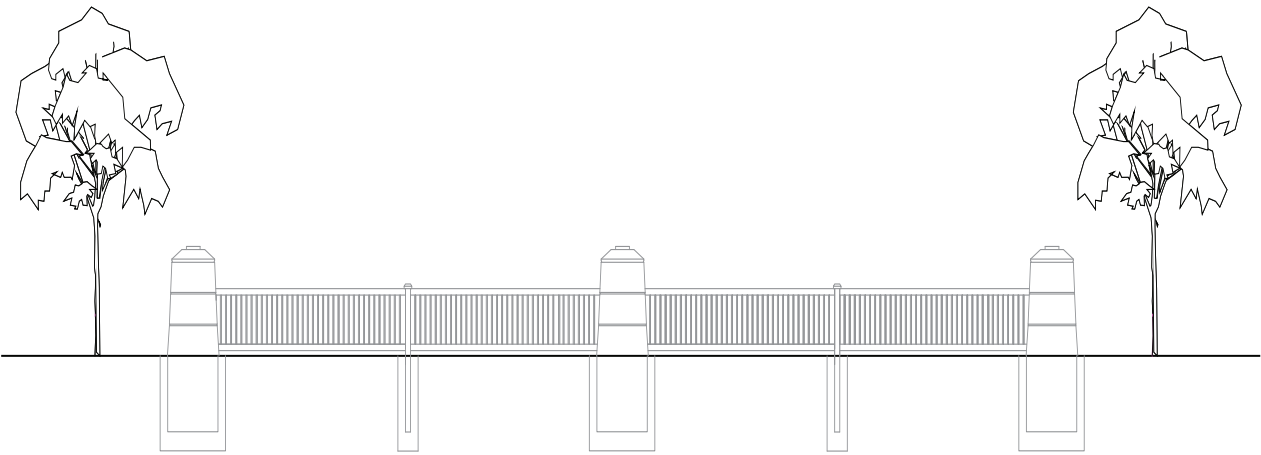
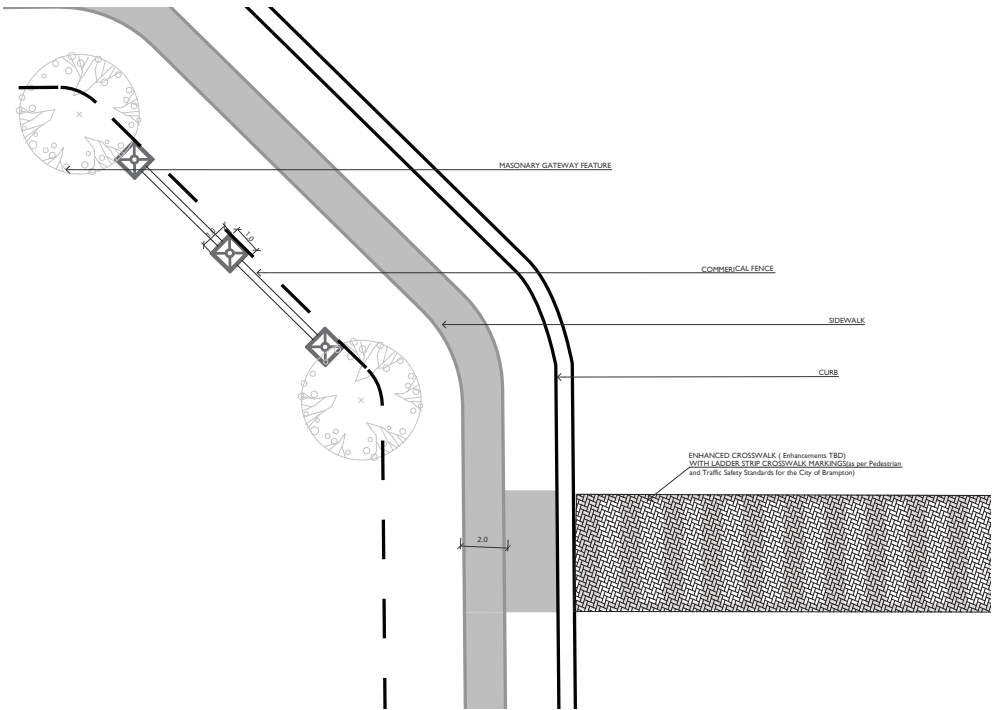


community edges + gateways:
tertiary + non-residential

community edges + gateways | a/ 6.6



Non-residential Gateway



community edges + gateways:
tertiary + non-residential

plant species recommendations

URBAN ZONES TREE CHARACTER - THEMED STREETS

Arterial Streets

- Large, Single-Stemmed Specimens
- High Resiliency

Major Collector Streets

- Large, Single-Stemmed Specimens
- Medium Resiliency

Minor Collector Streets

- Large, Single-Stemmed Specimens
- Medium Resiliency

Executive Areas Streets

- Executive Theme
- High Ornamental Priority

Local Streets

- Large, Gardenesque Plantings
- Underutilized Tree Species Toward Urban Forest Biodiversity

Local Streets Adjacent to Open Spaces

- Native Priority
- Significant Biodiversity in Species

Community Gateway Plantings

- Ornamental Plantings
- High Aesthetic Priority

Community Gateway Plantings - Flowering Plants & Grasses

Community Gateway Plantings - Specific Gateway Example

Naturalized Berm Plantings

- Native Priority with Massing Potential
- Significant Biodiversity in Species

arterial streets

These are the true street trees; those in extreme proximity to a vehicular/pedestrian corridor (ie. inside of sidewalk; directly beside road), and therefore those facing the most extreme urban impediments of soil compaction, limited rooting volume, high salt application, and a greater potential for mechanical damage.

Common Name	Height/Sprd.	Latin Name
-------------	--------------	------------

MAPLES

Red Maple	16m/15m	<i>Acer rubrum</i>
Silver Maple	18m/15m	<i>Acer saccharinum</i>
Freeman's Maple	15m/8m	<i>Acer x freemanii</i>



OAKS

Swamp White Oak	15m/15m	<i>Quercus bicolor</i>
Bur Oak	18m/13m	<i>Quercus macrocarpa</i>
Red Oak	16m/15m	<i>Quercus rubra</i>



ELMS

American Hackberry	20m/18m	<i>Celtis occidentalis</i>
White Elm (DED-Res)	26m/16m	<i>Ulmus americana</i>
Japanese Zelkova	16m/13m	<i>Zelkova serrata</i>



OTHER

Maidenhair Tree	17m/11m	<i>Ginkgo biloba</i>
Tuliptree	25m/15m	<i>Liriodendron tulipifera</i>
Amur Corktree	13m/9m	<i>Phellodendron amurense</i>
London Planetree	16m/13m	<i>Platanus x acerifolia</i>
Black Locust	25m/12m	<i>Robinia pseudoacacia</i>



major collector streets

These are the trees adjacent to the trees planted directly beside road conditions (ie. outside of sidewalk; away from road), and while they typically develop within similarly impeded urban environments, they have slightly less extreme stressors, so while these species provide additional biodiversity, they remain suitable species for a still relatively harsh environment.

Common Name Height/Sprd. Latin Name

MAPLES

Sugar Maple	20m/15m	<i>Acer saccharum</i>
Hedge Maple	10m/10m	<i>Acer campestre</i>



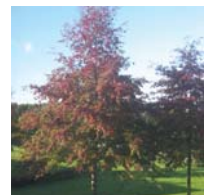
OAKS

White Oak	20m/20m	<i>Quercus alba</i>
Chinquapin Oak	15m/15m	<i>Quercus muehlenbergii</i>
English Oak	18m/16m	<i>Quercus robur</i>
Shingle Oak	20m/18m	<i>Quercus imbricaria</i>



OTHER

Yellow Birch	13m/10m	<i>Betula alleghaniensis</i>
Northern Catalpa	16m/12m	<i>Catalpa speciosa</i>
Kentucky Coffeetree	17m/13m	<i>Gymnocladus dioica</i>
Golden Raintree	10m/8m	<i>Koelreuteria paniculata</i>
Hop Hornbeam	12m/8m	<i>Ostrya virginiana</i>
Trembling Aspen	10m/5m	<i>Populus tremuloides</i>
Large-Toothed Aspen	20m/10m	<i>Populus grandidentata</i>
Chinese Scholartree	20m/15m	<i>Sophora japonica</i>



minor collector streets

These trees are those with the most minimal stressors of all zones found within an urban area. This typology exploits biodiversity to its fullest, and expands the variety of the urban forest in positive ways that biomagnify to benefit potential local ecologies. These are the conditions that designers should push the envelope in terms of new species and increased tree variety.

Common Name	Height/Sprd.	Latin Name
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HORSECHESTNUTS

Ruby Red Horsech.	10m/12m	<i>Aesculus carnea</i>
Ohio Buckeye	12m/12m	<i>Aesculus glabra</i>
Horsechestnut	18m/16m	<i>Aesculus hippocastanum</i>

MAPLES

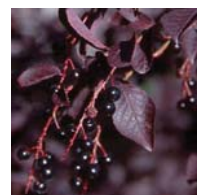
Amur Maple	5m/5m	<i>Acer ginnala</i>
Paperbark Maple	7m/5m	<i>Acer griseum</i>

CHERRIES

Choke Cherry	7m/6m	<i>Prunus virginiana</i>
Sargent Cherry	10m/3m	<i>Prunus sargentii</i>
Black Cherry	16m/8m	<i>Prunus serotina</i>

OTHER

Katsuratree	15m/4m	<i>Cercidiphyllum japonicum</i>
Red Bud	4m/5m	<i>Cercis canadensis</i>
American Beech	30m/20m	<i>Fagus sylvatica</i>
American Sycamore	27m/27m	<i>Platanus occidentalis</i>



executive areas streets

These are plantings are meant to denote a theme of aesthetic language for different zoning types within the city. They will act as a distinctive landscape to delineate corporate landscapes, from public realm, civic, and institutional landscapes. This is an example of a potential executive language, of more regal plantings.

Common Name Height/Sprd. Latin Name

HARDWOODS

Manchurian Cherry	7m/5m	<i>Prunus maackii</i>
European Beech	15m/12m	<i>Fagus sylvatica</i>

EVERGREENS

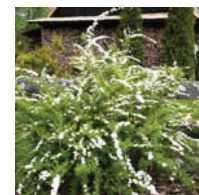
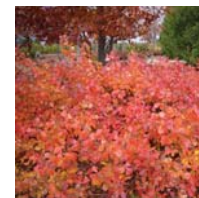
Balsam Fir	20m/8m	<i>Abies balsamea</i>
Spreading Juniper	0.25m/1m	<i>Juniperus horizontalis</i>
Norway Spruce	25m/10m	<i>Picea abies</i>
Eastern White Pine	18m/7m	<i>Pinus strobus</i>

SMALL SHRUBS

Summersweet	1.5m/1.5m	<i>Clethra alnifolia</i>
Vernal Hazel	2.5m/2m	<i>Hamamelis vernalis</i>
Oak Leaf Hydrangea	1.5m/1m	<i>Hydrangea quercifolia</i>
Fragrant Sumac	1.5m/2m	<i>Rhus aromatic 'Grow-Low'</i>
Meadowsweet	1.5m/1m	<i>Spiraea alba</i>
White Spirea	1m/1m	<i>Spiraea x arguta 'Compacta'</i>
Arrowwood	2m/2m	<i>Viburnum dentatum</i>

LARGE SHRUBS

Saskatoon Berry	3m/2m	<i>Amelanchier alnifolia</i>
River Birch	13m/10m	<i>Betula nigra</i>
Grey Birch	10m/5m	<i>Betula populifolia</i>
Red Bud	10m/8m	<i>Cercis canadensis</i>
Yellowwood	12.5m/10m	<i>Cladrastis kentukea</i>
Cornelian Cherry	6m/5m	<i>Cornus mas</i>
Witch Hazel	5m/5m	<i>Hamamelis virginiana</i>
Amur Maackia	15m/10m	<i>Maackia amurensis</i>
Nannyberry	6m/2m	<i>Viburnum lentago</i>
Highbush Cranberry	3m/3m	<i>Viburnum trilobum</i>



local streets

These are plants that are intended to expand the biodiversity of Brampton. Brampton's commitment to biodiversity is evident by prioritizing landscapes, as well as promoting underutilized tree species in areas with less urban stressors, such as local streets, where speed limits change, and salt spray is minimized.

Common Name Height/Sprd. Latin Name

EVERGREENS

White Fir	20m/5m	<i>Abies concolor</i>
European Larch	15m/7m	<i>Larix decidua</i>
Dawn Redwood	15m/8m	<i>Metasequoia glyptostroboides</i>
Bald Cypress	3m/2m	<i>Taxodium distichum</i>



HARDWOODS

Sugar Maple	20m/15m	<i>Acer saccharum</i>
Blue Beech	7m/6m	<i>Carpinus caroliniana</i>
Shagbark Hickory	7m/6m	<i>Carya ovata</i>
American Beech	30m/20m	<i>Fagus grandifolia</i>
White Oak	20m/20m	<i>Quercus alba</i>
American Basswood	25m/13m	<i>Tilia americana</i>



OTHER

Canada Serviceberry	6m/3m	<i>Amelanchier canadensis</i>
Black Chokeberry	2m/2m	<i>Aronia arbutifolia</i> 'brilliantissima'
Red Chokeberry	1m/1m	<i>Aronia melanocarpa</i>



local streets adjacent to open areas

These are plants that have remediative properties; whether it is their intrinsic biomechanics that assist in slope stabilization or their ability to uptake contaminants and partly restore compromised landscapes. Furthermore these species are typically pioneer species, in terms of successional relevance, and an inherent ability to catalize dense, healthy naturalized areas.

Common Name Height/Sprd. Latin Name

EVERGREENS

Eastern Red Cedar	16m/3m	<i>Juniperus virginiana</i>
Eastern Tamarack	26m/10m	<i>Larix laricina</i>
Eastern White Cedar	20m/2m	<i>Thuja occidentalis</i>



HARDWOODS

Paper Birch	13m/10m	<i>Betula papyrifera</i>
Eastern Cottonwood	25m/15m	<i>Populus deltoides</i>
Shining Willow	6m/4m	<i>Salix lucida</i>
Black Willow	20m/5m	<i>Salix nigra</i>



SHRUBS

Shad. Serviceberry	6m/3m	<i>Amelanchier canadensis</i>
Pagoda Dogwood	3m/2.5m	<i>Cornus alternifolia</i>
Grey Dogwood	3m/2.5m	<i>Cornus racemosa</i>
Common Ninebark	2m/2m	<i>Physocarpus opulifolius</i>
Smooth Sumac	3m/3m	<i>Rhus glabra</i>
Staghorn Sumac	2.5m/3m	<i>Rhus typhina</i>
American Elderberry	3m/2.5m	<i>Sambucus canadensis</i>



community gateway plantings

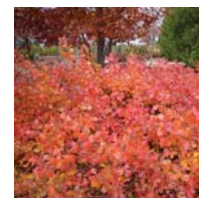
These are plantings of a different scale. They are appropriate as entry features or gateway plantings, or anywhere where the built form comes down in scale, and planting is to reflect this. These areas are to evoke more of a horticultural model and be more reminiscent of gardens, stressing an emphasis on smaller species with increased aesthetic appeal, such as more conspicuously interesting foliage, bark, or flowers.



Common Name **Height/Sprd.** **Latin Name**

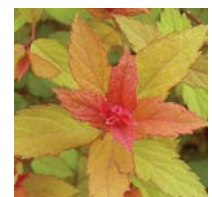
EVERGREENS

Balsam Fir	20m/8m	<i>Abies balsamea</i>
Spreading Juniper	0.25m/1m	<i>Juniperus horizontalis</i>
Norway Spruce	25m/10m	<i>Picea abies</i>
Eastern White Pine	18m/7m	<i>Pinus strobus</i>



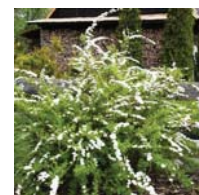
SMALL SHRUBS

Summersweet	1.5m/1.5m	<i>Clethra alnifolia</i>
Vernal Hazel	2.5m/2m	<i>Hamamelis vernalis</i>
Oak Leaf Hydrangea	1.5m/1m	<i>Hydrangea quercifolia</i>
Fragrant Sumac	1.5m/2m	<i>Rhus aromatic 'Grow-Low'</i>
Meadowsweet	1.5m/1m	<i>Spiraea alba</i>
White Spirea	1m/1m	<i>Spiraea x arguta 'Compacta'</i>
Arrowwood	2m/2m	<i>Viburnum dentatum</i>



LARGE SHRUBS

Saskatoon Berry	3m/2m	<i>Amelanchier alnifolia</i>
River Birch	13m/10m	<i>Betula nigra</i>
Grey Birch	10m/5m	<i>Betula populifolia</i>
Red Bud	10m/8m	<i>Cercis canadensis</i>
Yellowwood	12.5m/10m	<i>Cladrastis kentukea</i>
Cornelian Cherry	6m/5m	<i>Cornus mas</i>
Witch Hazel	5m/5m	<i>Hamamelis virginiana</i>
Amur Maackia	15m/10m	<i>Maackia amurensis</i>
Nannyberry	6m/2m	<i>Viburnum lentago</i>
Highbush Cranberry	3m/3m	<i>Viburnum trilobum</i>



community gateway plantings

flowering plants & grasses

These are herbaceous plantings; occupying a ground plane at varying heights with different attributes toward a well-planned landscape. There are two broad categories: ornamental grasses, which persist into the winter months, and range of ornamental broad-leaved plants, which provide more ecologically responsible solutions than turfgrass options.

Common Name Height/Sprd. Latin Name

FLOWERING PLANTS - GROUNDCOVERS

Sweet Woodruff	0.25m/0.25m	<i>Galium odoratum</i>
White Periwinkle	0.25m/0.25m	<i>Vinca minor 'Alba'</i>



FLOWERING PLANTS - UPRIGHT AND SMALL

'Nov. Blue' Aubrieta	0.25m/0.25m	<i>Aubrieta deltoidea 'Novalis Blue'</i>
Basket-of-Gold	0.25m/0.25m	<i>Aurinia saxatilis</i>
Pincushion Flower	0.25m/0.25m	<i>Scabiosa columbaria</i>
Ros. Crn. Geranium	0.25m/0.25m	<i>Geranium 'Rozanne'</i>



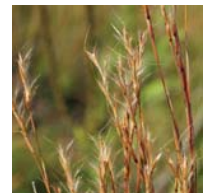
FLOWERING PLANTS - UPRIGHT AND LARGE

New England Aster	0.75m/0.75m	<i>Aster novae-angliae</i>
Foxglove Brd. Tongue	0.75m/0.75m	<i>Penstemon digitalis 'Husker Red'</i>
Purple Coneflower	0.75m/0.75m	<i>Echinacea purpurea 'Magnus'</i>
Orange Coneflower	0.75m/0.75m	<i>Rudbeckia fulgida var. sullivantii</i>
Autumn Phlox 'David'	0.75m/0.75m	<i>Phlox 'David' paniculata</i>
Blue False Indigo	0.75m/0.75m	<i>Baptista australis</i>



GRASSES

Little Bluestem	1.5m/1m	<i>Andropogon scoparius</i>
Feather Reed Grass	1m/0.75m	<i>Calamagrostis acutiflora 'Karl Foerster'</i>
Switch Grass	1.25m/1m	<i>Panicum virgatum</i>
Indian Grass	0.75m/1m	<i>Sorghastrum nutans</i>
Prairie Dropseed	0.75m/1m	<i>Sporobolus heterolepis</i>



community gateway plantings

specific gateway example

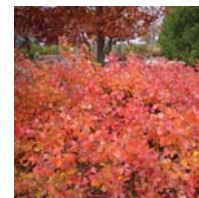
These are plantings of a different scale. They are appropriate as entry features or gateway plantings, or anywhere where the built form comes down in scale, and planting is to reflect this. These areas are to evoke more of a horticultural model and be more reminiscent of gardens, stressing an an emphasis on smaller species with increased aesthetic appeal, such as more conspicuously interesting foliage, bark, or flowers.



Common Name **Height/Sprd.** **Latin Name**

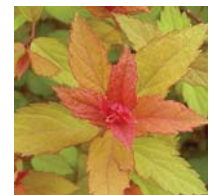
EVERGREENS

Balsam Fir	20m/8m	<i>Abies balsamea</i>
Spreading Juniper	0.25m/1m	<i>Juniperus horizontalis</i>



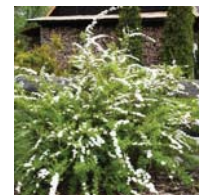
SMALL SHRUBS

Fragrant Sumac	1.5m/2m	<i>Rhus aromatic 'Grow-Low'</i>
Meadowsweet	1.5m/1m	<i>Spiraea alba</i>
White Spirea	1m/1m	<i>Spiraea x arguta 'Compacta'</i>



GRASSES

Indian Grass	0.75m/1m	<i>Sorghastrum nutans</i>
River Birch	13m/10m	<i>Sporobolous heterolepsis</i>



naturalized berm plantings

The planting of the berm is intended to function as a naturalized area. It is envisioned to be a low maintenance area, requiring very few inputs, that will essentially manage itself. The species will be a mix of deciduous and coniferous trees, and it will favour native plantings over the more specimen-like ornamental plantings prescribed elsewhere.

Common Name	Height/Sprd.	Latin Name
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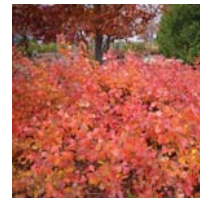
EVERGREENS

Eastern Red Cedar	16m/3m	<i>Juniperus virginiana</i>
Eastern Tamarack	26m/10m	<i>Larix laricina</i>
Eastern White Cedar	20m/2m	<i>Thuja occidentalis</i>



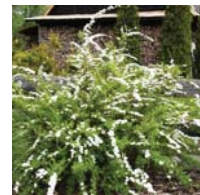
HARDWOODS

Paper Birch	13m/10m	<i>Betula papyrifera</i>
Balsam Poplar	20m/15m	<i>Populus balsamifera</i>
Eastern Cottonwood	25m/15m	<i>Populus deltoides</i>
Shining Willow	6m/4m	<i>Salix lucida</i>
Black Willow	20m/5m	<i>Salix nigra</i>
Beaked Willow	5m/10m	<i>Salix bebbiana</i>



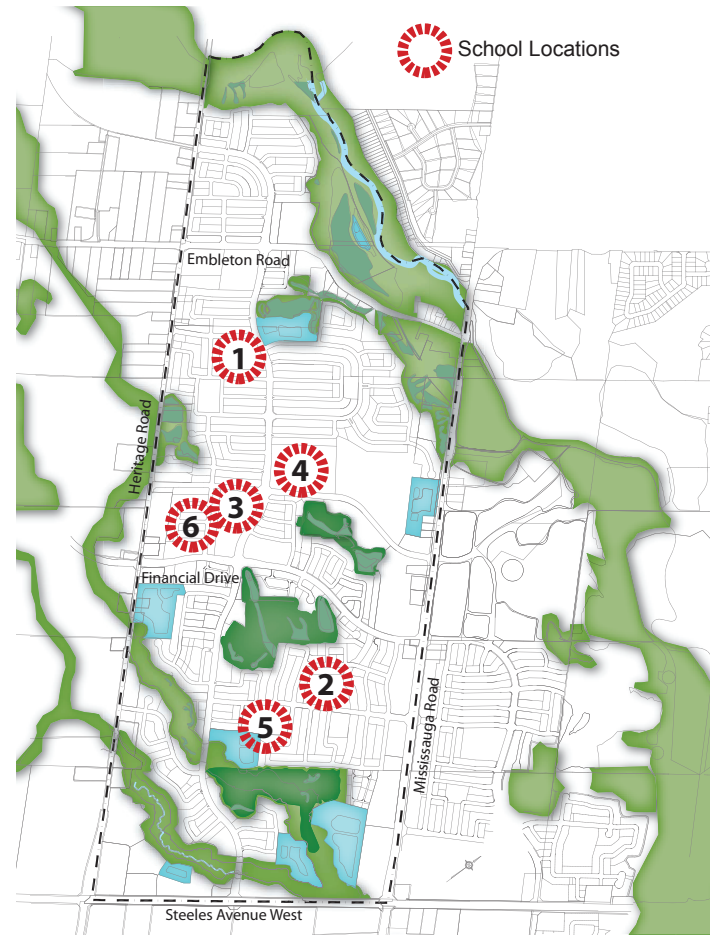
SHRUBS

Shad. Serviceberry	6m/3m	<i>Amelanchier canadensis</i>
Devil's Walking Stick	4.5m/3.5m	<i>Aralia elata</i>
Buttonbush	2m/2m	<i>Cephalanthus occidentalis</i>
Pagoda Dogwood	3m/2.5 m	<i>Cornus alternifolia</i>
Grey Dogwood	3m/2.5m	<i>Cornus racemosa</i>
Common Ninebark	2m/2m	<i>Physocarpus opulifolius</i>
Smooth Sumac	3m/3m	<i>Rhus glabra</i>
Staghorn Sumac	2.5m/3m	<i>Rhus typhina</i>
Wild Black Currant	1.5m/1.5m	<i>Ribes americanum</i>
Smooth Rose	1.5m/1m	<i>Rosa blanda</i>
American Elderberry	3m/2.5m	<i>Sambucus canadensis</i>



| a/ 6.8

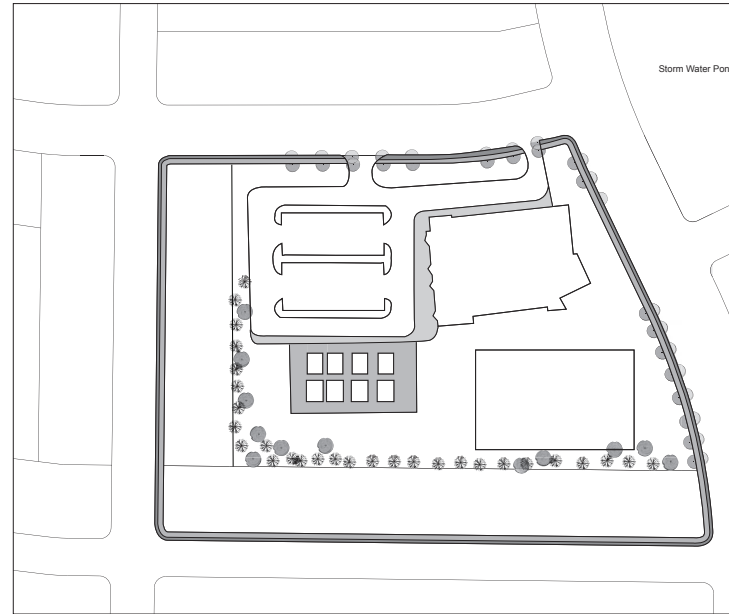




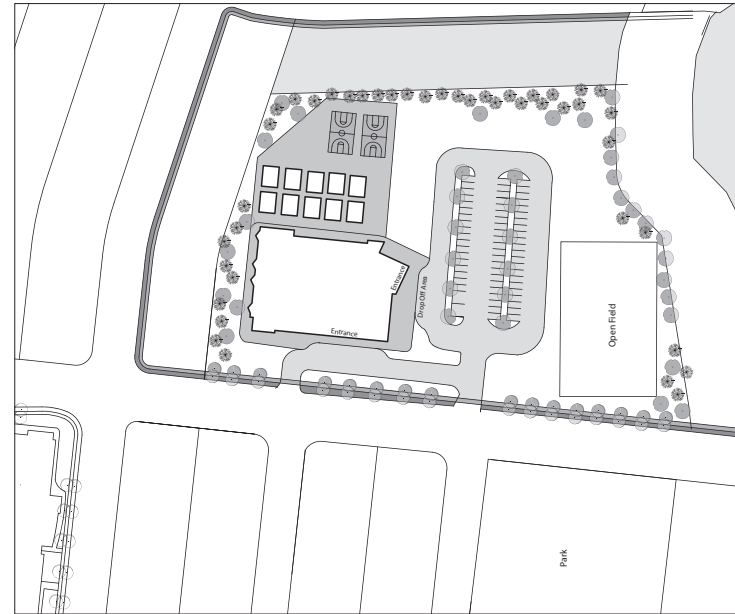
school facility fit plans

| a/ 6.9

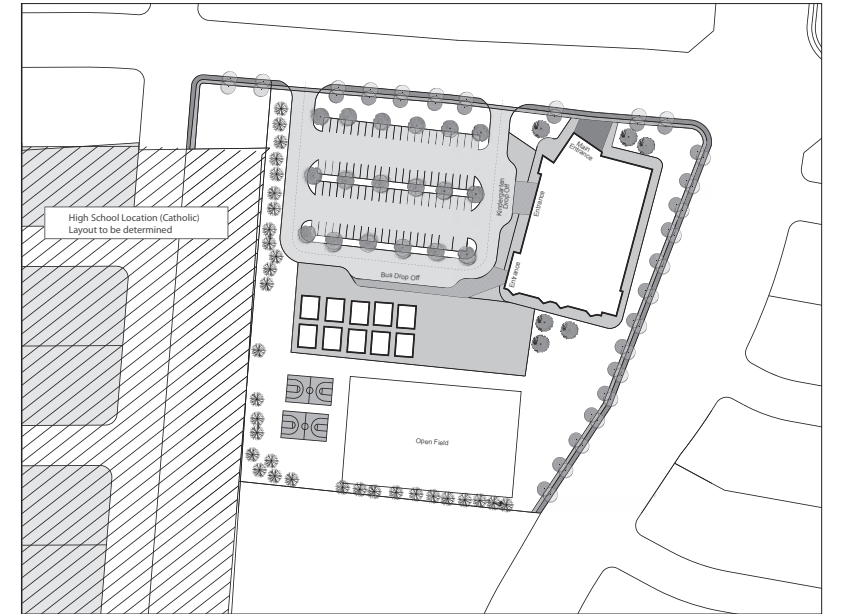
1. Catholic Elementary School



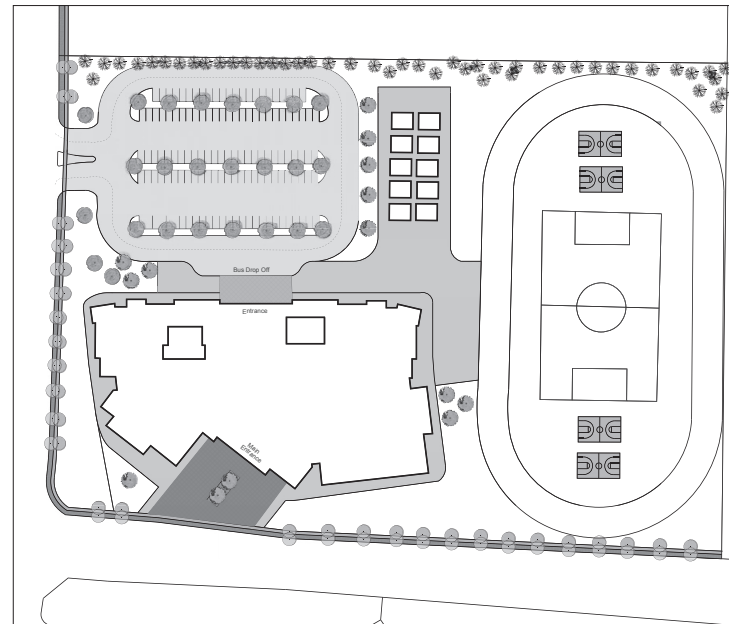
2. Public Elementary School



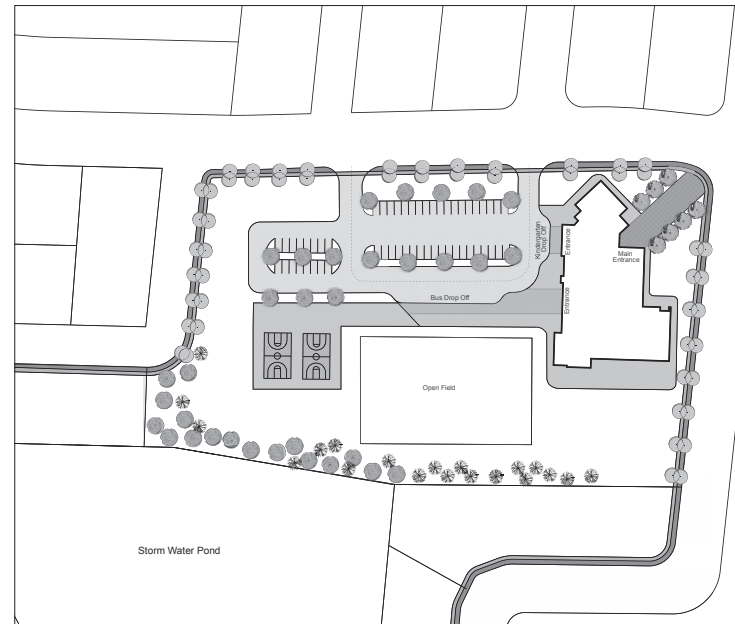
3. Public Elementary School



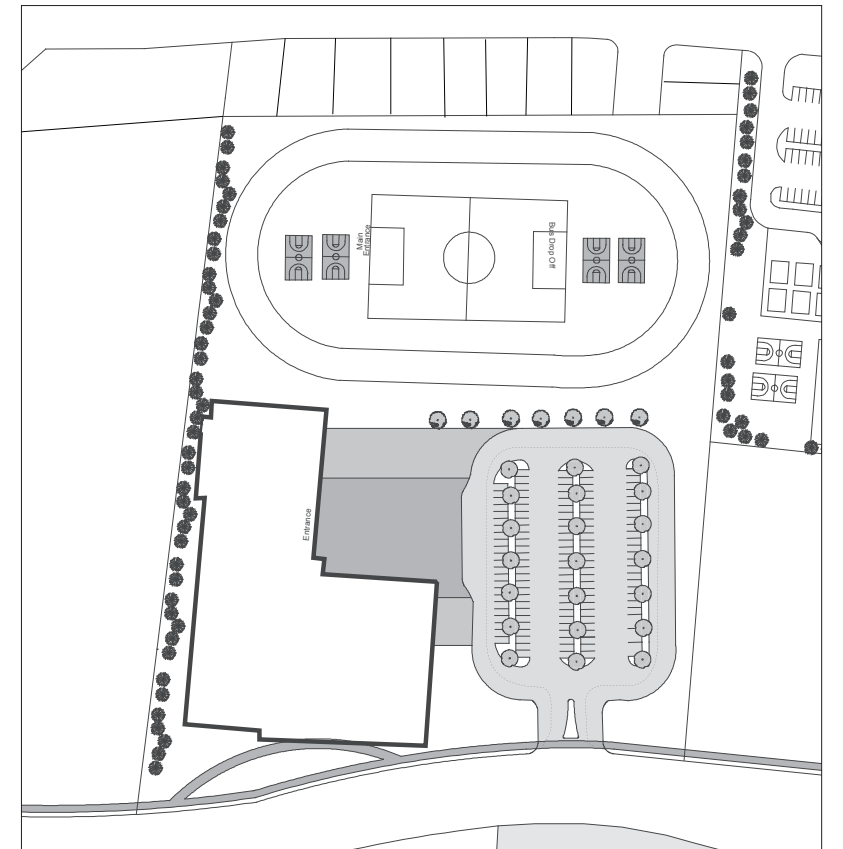
4. Public High School



5. Catholic Elementary School

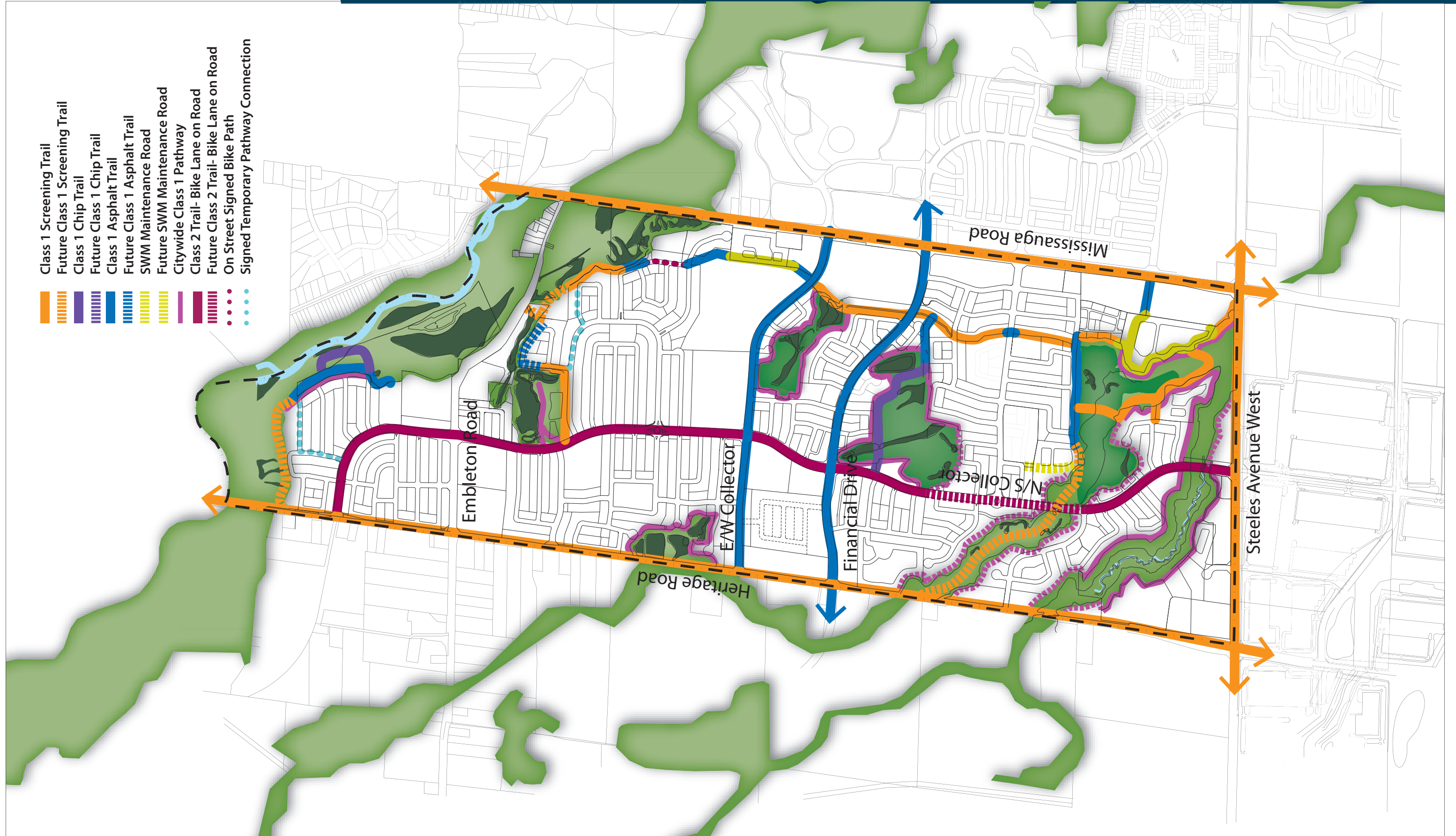


6. Catholic High School



For details please refer to section 4.4.5 of this document.

schools facility fit plans for illustrative purposes only



block plan 40-3 riverview heights
community design guidelines (CDG) document - open space + architectural design guidelines

Stage 2

City File #C05W05.006

City Block Plan #P20BP40-3.001

FLOWER CITY



BRAMPTON.CA

July 2012

The **Planning** Partnership