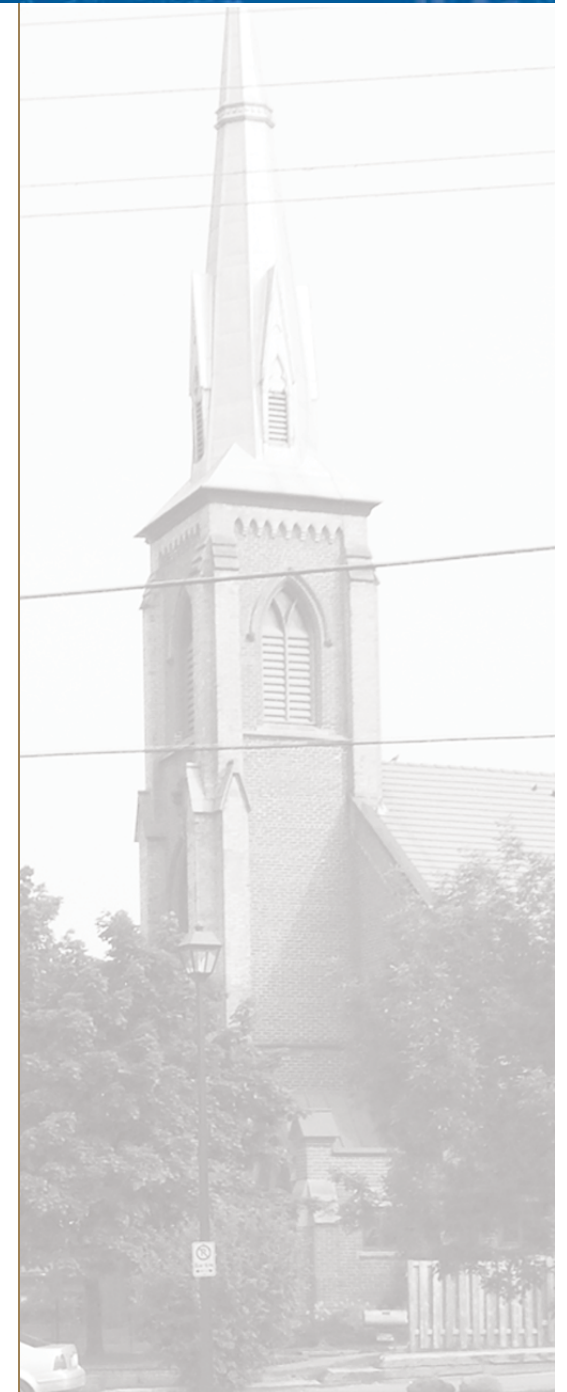


Part 4.0 DEVELOPMENT REGULATIONS

- 4.1 Districts
- 4.2 Permitted and Prohibited Uses, Standards and Standard Specific Criteria and Other General Provisions
- 4.3 DPS REGULATIONS MATRIX



PART 4.0 DEVELOPMENT REGULATIONS

4.1 Districts

The following districts are established for the Main Street North Development Permit System Area:

1. Central Area Mixed Use Two – Development Permit System (CMU2-DPS)
2. Central Area Mixed Use Three – Development Permit System (CMU3-DPS)
3. Residential Single Detached B – Development Permit System (R1B-DPS)
4. Institutional One – Development Permit System (I1-DPS)
5. Open Space – Development Permit System (OS-DPS)

4.2 Permitted and Prohibited Uses, Standards and Standard Specific Criteria and Other General Provisions

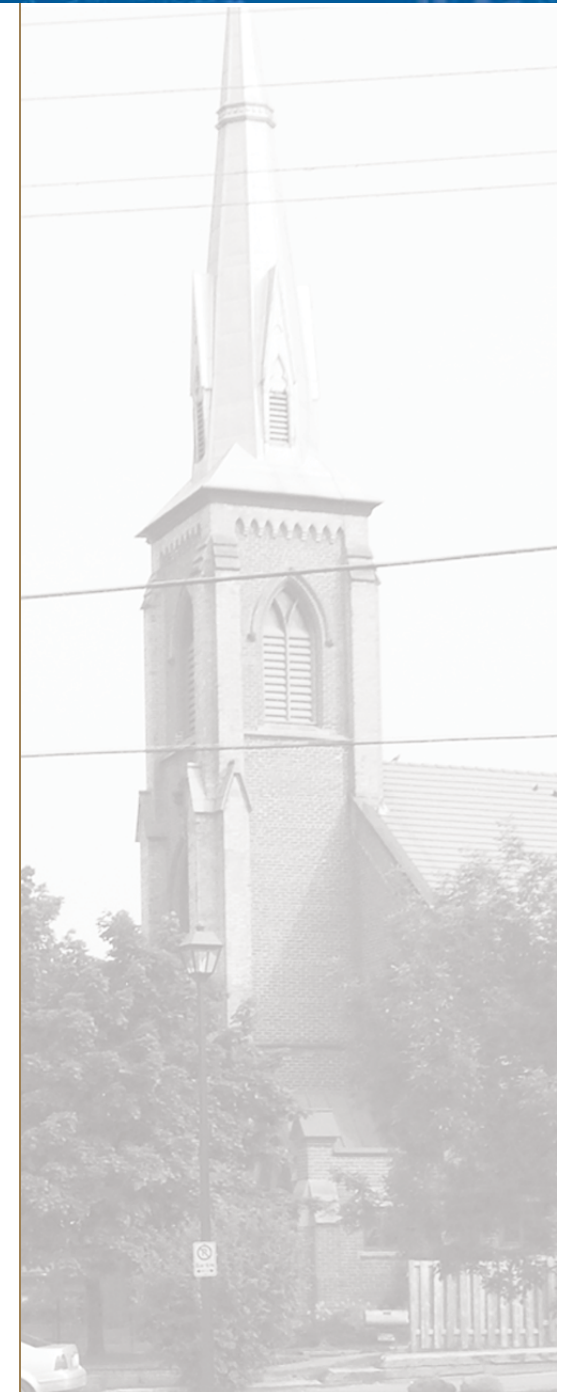
No lands shall be used, and no building or structure, grading, landscape or vegetation, shall be erected, located, used or altered, nor shall the use of any building, structure or lot or grading, landscape or vegetation of any lot be changed, in whole or in part, except in conformity with the following provisions as set out in the DPS Regulations Matrix.

4.3 DPS REGULATIONS MATRIX

- a. Permitted uses and Regulations pertaining to requirements and restrictions for uses and use of land, buildings, landscaping, grading, site servicing are provided in the matrix below. These provisions are also subject to all other applicable provisions within the parent provision for Development Permits By-law Areas under Chapter 1.0 of the Development Permit By-Law as amended.
- b. The symbol ‘●’ in the column for a specific district indicates that the Uses and any other Requirements and Restrictions as set out in the rows in the matrix apply to that specific district. A number following the symbol ‘●’ indicates that one or more conditions apply to the use, with that condition listed under the column entitled ‘Special Provisions’.
- c. If the cell in the matrix is blank for a particular row or provision, it shall be interpreted to mean that either the particular use/requirement is not permitted or that the regulation/requirement does not apply, as the case may be, based on a reasonable reading of the related text.

4.3.1. Permitted Uses

Uses permitted in any DPS District as shown on Schedule ‘2’ to this By-law, as amended, are denoted in the column applicable to that district and corresponding with the row of a specific permitted use set out below.



4.3.1	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
A) Non-Residential Uses	•					
(1) Administrative Office of any Public Authority	•	•				
(2) Animal Hospital	•					
(3) Art Gallery or Studio	•	•				
(4) Bank, Trust Company or Financial Company	•					
(5) Bed and Breakfast Establishment	•	•	•(1)			(1) Maximum of 5 guests rooms per dwelling
(6) Children's or Senior's Activity Centre	•	•				(2) No outdoor play area shall be provided
(7) Commercial School	•					
(8) Community Club	•	•				
(9) Custom Workshop	•	•				
(10) Day Nursery	•	•		•		
(11) Dining Room Restaurant	•	•(3)				(3) No Minimum Number of Seats is required
(12) Dry Cleaning and Laundry Distribution Station	•					
(13) Grocery or Convenience Store	•					
(14) Health or Fitness Centre	•					
(15) Hotel	•	•				
(16) Laundromat	•					
(17) Medical Office	•	•				
(18) Office, not including medical office	•	•				
(19) Places of Commercial Recreation	•					
(20) Personal Service Shop	•	•(4)				(4) Maximum Gross Floor Area is 400 square metres
(21) Printing or Copying Establishment	•					
(22) Religious Institution	•	•		•		
(23) Retail Establishment	•	•(5)				(5) Maximum Gross Floor Area is 400 square metres

4.3.1	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
(24) Service Shop	•	•(4)				(4) Maximum Gross Floor Area is 400 square metres
(25) Supermarket	•					
(26) Take Out Restaurant	•					
(27) Theatre	•					
(28) Public Park	•	•	•	•	•	
(29) Alternate School Use and Adult Learning Centres	•(6)	•(6)				(6) Maximum Gross Floor Area is 200 square metres
B) Residential Uses						
(1) Apartment Dwelling	•(7)	•				(7) No part of a dwelling is permitted within that portion of the first storey that is within 6.0 metres of the exterior wall facing a streetline
(2) Multiple Residential Dwelling		•				
(3) Duplex Dwelling		•				
(4) Street Townhouse	•(8)	•(8)				(8) Only within the Medium Density Character Sub-Areas (see Section 3.4)
(5) Townhouse	•(8)	•(8)				(8) Only within the Medium Density Character Sub-Areas (see Section 3.4)
(6) Single Detached Dwelling		•(9)	•			(9) Only single detached dwellings which existed on the effective date of this Section are permitted
C) Other Uses						
(1) Purposes accessory to other permitted uses	•	•	•	•	•	
(2) Vehicular Access to Parking Areas on Adjacent Lands	•	•		•	•	
VARIANCES:						
<i>Permitted: Yes</i>						
<i>Criteria:</i>						
1. See Section 5.5.4						

4.3.2. Prohibited Uses

Uses that are prohibited in the DPS Districts as shown on Schedule '2' to this by-law, as either a principal or accessory use are denoted by the symbol '•' in the column applicable to that zone and corresponding with the row for a specific prohibited use as set out below:

4.3.2	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
(1) Adult Entertainment Parlours	•	•	•	•	•	
(2) Amusement Arcades	•	•	•	•	•	
(3) Body Art and Tattoo Parlours	•	•	•	•	•	
(4) Grocery or Convenience Stores		•	•	•	•	
(5) Drive Through Service Facilities Associated with Any Use	•	•	•	•	•	
(6) Garden Centre Sales Establishments	•	•	•	•	•	
(7) Massage or Body Rub Parlours	•	•	•	•	•	
(8) Taverns	•	•	•	•	•	
VARIANCES: <i>Permitted: No</i> <i>Criteria: N/A</i>						

4.3.3. Site Development Standards

Any use of lands, buildings or structures, shall adhere to the following Site Development Standards:

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
A) Minimum Setback From Street Centreline						
1. Minimum setbacks are shown on Schedule 3	•	•	•	•	•	
2. The minimum setback on a vacant lot or for a new development where the existing structure on the lands will not be retained, shall be the average of the setbacks on abutting lots which front on the same side of the street	•	•		•		
3. For that portion of any building that has a height of 15.5 metres or greater above grade, the minimum setback shall be increased by a minimum of 3.0 metres	•			•		
4. The minimum setback for an addition that joins two existing buildings shall be 6.0 metres		•				
VARIANCES: Permitted: Yes Criteria: 1. See Section 5.5.4						
B) Maximum Setback From Street Centreline						
1. Maximum setbacks are shown on Schedule 3	•	•	•	•	•	

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
<p><i>VARIANCES:</i> Permitted: Yes Criteria: 1. See Section 5.5.4</p>						
<p>C) Minimum Building Wall Length</p>						
1. Minimum building wall lengths are shown on Schedule 4	•	•	•	•	•	
<p><i>VARIANCES:</i> Permitted: Yes Criteria: 1. See Section 5.5.4 2. The minimum building wall length may be reduced from 70% to no less than 50%, provided criteria under are met.</p>						
<p>D) Minimum Building Heights</p>						
1. Minimum heights are shown on Schedule 5	•	•	•	•	•	
2. Minimum building heights only apply to that portion of building that is within 12.0 metres of any property line abutting a street	•	•	•	•	•	
3. Portions of the building that are not part of the primary building mass, such as entrance porticos, bays and stoops, are not required to meet minimum height requirement	•	•	•	•	•	
<p><i>VARIANCES:</i> Permitted: Yes Criteria: 1. See Section 5.5.4</p>						

E) Maximum Building Heights						
1. Maximum building heights are shown on Schedule 5	•	•	•	•	•	
VARIANCES: <i>Permitted: Yes</i>						
Criteria: <ol style="list-style-type: none"> 1. See Section 5.5.4. 2. The 11.0 metre height restriction may be exceeded in the CMU3 district, if the following criteria are also met: <ol style="list-style-type: none"> a. Where an addition to an existing building is proposed, the addition shall not dominate or overpower the existing historic façade. Design techniques including massing, appropriate pitched roofs, façade articulation shall be utilized to minimise the apparent height and provide for compatibility with the existing buildings on the site or on neighbouring properties. b. Appropriate use of materials in accordance with Part 6.0 is provided. c. An appropriate transition to existing low-rise residential and adjacent commercial uses and historic uses is provided. d. In no instance shall the height exceed 15.5 metres. 3. In no instance variances shall exceed the maximum height limit by: <ol style="list-style-type: none"> a. 3.0 metres in the CMU3 - DPS district where the height limit is 15.5 metres. b. 3.0 metres in the CMU2 - DPS district. c. 1.5 metres in the R1B - DPS district. 4. Exceedance permitted in 3 will be to accommodate architectural massing and design elements and not for the purpose of adding additional floors on density. 						

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
F) Minimum Interior Side and Rear Yards and Angular Plane						
1. Minimum interior side and rear yard depths and Angular Planes are shown on Schedule 6	•	•	•	•	•	
2. Any portion of a building above 15.5 metres above grade having windows for a dwelling unit must be located a minimum of 6.0 metres from any interior side or rear lot line	•					
VARIANCES: Permitted: Yes Criteria: 1. See Section 5.5.4						
G) Windows and Doors at Grade						
1. On any wall adjacent to the Main Street, Vodden Street or Church Street streetline, no less than 75% of the gross area of the portion of the wall less than 4.6 metres above grade shall have clear glass windows and/or doors	•					
2. On any other streetline, no less than 25% of the gross area of the portion of the wall less than 4.6 metres above grade shall have clear glass windows and/or doors	•					
3. On any wall adjacent to the Main Street, and where a building height of 15.5 metres or greater is permitted, no less than 75% of the gross area of the portion of the wall less than 4.6 metres above grade shall have clear glass windows and/or doors		•				

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
<p><i>VARIANCES:</i> Permitted: Yes Criteria: 1. See Section 5.5.4</p>						
<p>H) Commercial Uses at Grade</p>						
1. The ground floor area of that portion of the building within 6.0 metres of the main wall facing a street shall only be used for the commercial uses permitted in Section 4.3.1 (A). Notwithstanding the above, ground floor area may be used for vehicular and pedestrian access (including an office, hotel or apartment dwelling lobby) provided that no more than 30% of the wall facing the street shall be used for such other purposes	•					
2. No commercial uses are permitted at grade along Isabella Street beyond a distance of 65.0 metres south of the intersection of Isabella Street and Vodden Street	•	•				
3. No commercial uses are permitted at grade along Thomas Street between Market Street and one lot south of David Street.		•				
<p><i>VARIANCES:</i> Permitted: Yes Criteria: 1. See Section 5.5.4</p>						
<p>I) Setback for an Underground Parking Garage</p>						

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
1. The minimum setback for underground parking garage shall be 0.0 metres	•					
VARIANCES: <i>Permitted: Yes</i> <i>Criteria:</i> 1. See Section 5.5.4						
J) Open Porches						
1. Open Porches may be permitted on the wall facing the streetline, provided the porch is designed in a manner that complements the architectural design and heritage of the existing building and complements the character of the existing building in accordance with the Guidelines set out in Part 6.0		•	•	•		
2. A maximum encroachment into a required front or exterior side yard of 2.4 metres is permitted, provided a minimum 1.5 metre wide landscaped strip between the streetline and the porch is maintained		•	•	•		
VARIANCES: <i>Permitted: Yes</i> <i>Criteria:</i> 1. See Section 5.5.4 2. The encroachment may be increased provided the porch does not affect the establishment and/or maintenance of the appropriate level of landscaping in the yard facing the street (as set out in Part 6 - Design Guidelines). 3. The minimum setback of the property line of 1.5 metres is maintained.						
K) Outdoor Display and Sales						
1. The outdoor display and sale of goods as an accessory use is not permitted	•	•	•	•	•	

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
<p>VARIANCES: <i>Permitted: Yes</i> <i>Criteria:</i></p> <ol style="list-style-type: none"> 1. See Section 5.5.4 2. Variances are permitted only in the CMU2 and CMU3 zones 3. Variances are only permitted in a yard facing a public street, provided that the display area is accesible to the public 4. The area shall enhance and/or complement the character of the existing building 5. An appropriate landscaping/non-landscaping ratio shall be maintained 6. Pedestrian movements shall not be impeded 7. Approval shall only be for a temporary period of time 8. The maximum size per commerical establishment shall be 5.6 m2 						
L) Outside Storage						
1. Outside Storage is not permitted	•	•	•	•	•	
<p>VARIANCES: <i>Permitted: No</i> <i>Criteria: N/A</i></p>						
M) On-site Motor Vehicle Parking						
On-site parking shall be provided in accordance with the following:						
1. A minimum of 50% of the non-residential parking requirement set out in Section 8.3.1 of Chapter 1 (General Provisions Applying to All DPS Areas) of this by-law shall be provided	•					
2. One parking space per residential dwelling unit is required	•	•				

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
3. No more than 1 parking space per dwelling unit is permitted	•					
4. No more than 70% of the minimum parking requirements for all other uses set out in Part 8.3.1 of the General Provisions Applying to All DPS Areas Section are permitted	•					
5. All motor vehicle parking shall be located within a parking garage, except that an appropriate percentage may be located in a surface parking lot for temporary motor vehicle parking only	•					
6. For non-residential uses, no minimum on-site parking is required		• (1)				(1) Within historic mixed-use character sub-area only. Otherwise 4.3.3 M)1 shall apply.
7. Notwithstanding the above, for dining room restaurants, hotels, bed and breakfast establishments, religious institutions, medical offices, alternate schools and adults learning centres, a minimum of 50% of the parking requirement set out in Section 8.3.1 of Chapter 1 (General Provisions Applying to All DPS Areas) shall be provided		•				
8. All motor vehicle parking shall be located within a rear and/or interior side yard		•				
9. All such parking shall be set back a minimum 1.5 metres from an interior or rear lot line, except where driveway access and/or parking is shared		•				
10. Vehicle parking in accordance with Section 7.8 of Chapter 1 (General Provisions Applying to All DPS Areas) shall provided			•			

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
VARIANCES: <i>Permitted: Yes</i> <i>Criteria:</i> 1. See Section 5.5.4						
N) Loading Spaces and Waste Disposal						
1. No loading spaces are required		•				
2. Loading spaces shall be provided in accordance with Chapter 1 (General Provisions Applying to All DPS Areas)	•					
3. Waste disposal facilities shall be provided in accordance with Chapter 1 (General Provisions Applying to All DPS Areas)	•	•				
VARIANCES: <i>Permitted: No</i> <i>Criteria: N/A</i>						
O) Driveway Aisles						
1) For parking spaces with a parking angle of 70 degrees up to and including 90 degrees: 6.0 metres		•				
2) The minimum width of a driveway leading to a parking area shall be 2.8 metres		•				

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
3) Notwithstanding the above, this requirement may be reduced, if a mutual driveway access along the mutual property line with the abutting lot is provided. The minimum total width of the mutual access driveway shall be 2.8 metres.		•				
VARIANCES: Permitted: Yes Criteria: 1. See Section 5.5.4						
P) Minimum Lot Width						
(1) The minimum lot width shall be 15.0 metres		•	•	•		
(2) The minimum lot width shall be 30.0 metres	•					
VARIANCES: Permitted: Yes Criteria: 1. See Section 5.5.4						

4.3.4. Landscaping and Streetscape Standards

Fulfilment of the following Landscaping and Streetscape standards shall be required:

4.3.4	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
A) Minimum Landscaped Open Space						
1) 30% of the lot area shall be landscaped open space	•					
2) The entire yard areas shall be landscaped open space other than for a driveway, parking area, an encroachment, or accessory building permitted by this by-law		•	•	•	•	
VARIANCES: Permitted: Yes Criteria: 1. See Section 5.5.4						
B) Outdoor Play Area						
(1) An outdoor children's play area having a minimum size of 100 square metres shall be provided in conjunction with development containing more than 20 residential dwelling units	•					
VARIANCES: Permitted: Yes Criteria: 1. See Section 5.5.4						

4.3.4	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
C) Streetscape Standards						
(1) That portion of the yard adjacent to Main Street or on a corner lot along Main Street shall incorporate a landscape treatment at the edge of the property abutting the street in accordance with the Part 6.0 (Design Guidelines)	• (1)	• (1)		• (1)	•	(1) Dependent on Application Type. (refer to Part 5: Application Processing)
(2) To reinstate the tree canopy, provision of street trees within the front yard shall be provided in accordance with the Part 6.0 (Design Guidelines)	• (1)	• (1)	• (1)	• (1)	•	(1) Dependent on Application Type. (refer to Part 5: Application Processing)
VARIANCES: <i>Permitted: N/A</i> <i>Criteria:</i> 1. See Section 5.5.4. b						
D) Signage						
(1) The size, location and placement, styles, design, associated lighting for any permitted signage shall be in accordance with Part 6.0 (Design Guidelines) and City's Sign By-law	•	•	•	•	•	
VARIANCES: <i>Permitted: N/A</i> <i>Criteria:</i> 1. See Section 5.5.4. b						

4.3.5. Built Form Design Standards

Fulfilment of the following Built Form Design standards shall be required:

4.3.5	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
A) Building Design, Massing, Materials and Colours						
(1) Any additions or alterations to a building or new construction works requiring approval of a development permit shall be undertaken in accordance with Part 6.0 (Design Guidelines) and any other provisions set out in the Development Permit System By-law related to building design, massing materials and colours	•	•	•	•	•	
(2) Additions shall match or be reflective of the style of the main building in accordance with Part 6.0 (Design Guidelines)	•	•	•	•	•	
(3) Notwithstanding any minimum building setback to a streetline requirement, a greater building setback may be required to achieve building façade articulation and massing objectives as set out in Part 6.0 (Design Guidelines) of this By-law	•	•	•	•	•	
<p>VARIANCES:</p> <p><i>Permitted: N/A</i></p> <p><i>Criteria:</i></p> <p>1. See Section 5.5.4. b</p>						

4.3.6. Sustainable Development Requirements

Fulfillment of the following Sustainable Development Criteria shall be a required:

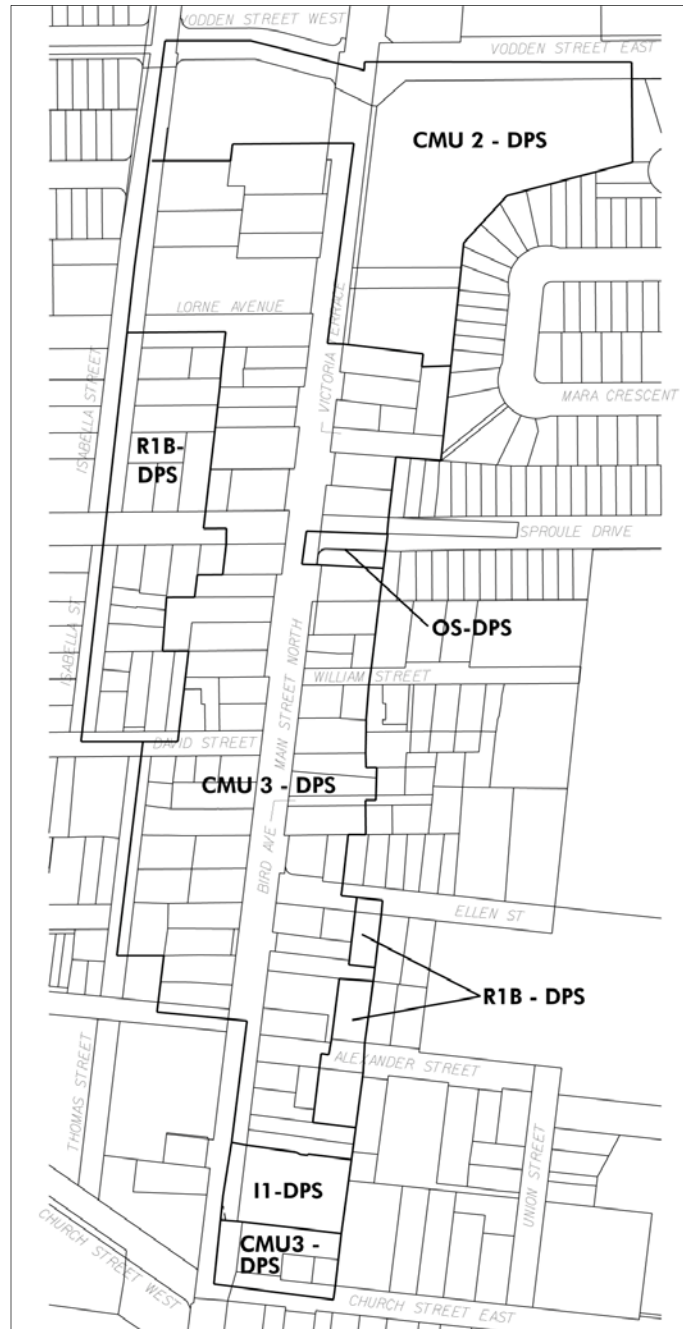
4.3.6	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
A) Parking Areas and Driveways						
(1) Surface parking areas are to be designed in accordance with Part 6.0 (Design Guidelines), Section 6.8	• (1)	•	• (1)	• (1)	• (1)	(1) The use of permeable surface parking surfaces is encouraged
<p>VARIANCES: <i>Permitted: N/A</i> <i>Criteria:</i> 1. See Section 5.4.4</p>						
B) Tree Preservation						
(1) All existing and healthy mature trees shall be protected wherever possible. Design of new development, additions, driveway and parking areas, shall consider the retention of mature trees to maintain the character of the area and provide appropriate buffers between land uses	•	•	•	•	•	
<p>VARIANCES: <i>Permitted: N/A</i> <i>Criteria:</i> 1. See Section 5.5.4. b 2. All reasonable alternatives for development, building expansion, parking layout, driveways are to be exhausted. 3. Mature tree canopy is retained on property. 4. Replacement tree(s) to be provided on site and other conditions set out in Part 6.0 (Design Guidelines) are met.</p>						

4.3.6	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
C) Active Transportation						
(1) Two of the required parking spaces shall be utilized for parking for bicycles and two-wheeled motorized vehicles. A minimum of one of these spaces must be exclusively for bicycles	•					
VARIANCES: <i>Permitted: N/A</i> <i>Criteria:</i> 1. See Section 5.5.4. b						
D) Stormwater Management						
1) Permeable on-site controls for paved areas shall be required	•	•	•	•	•	
(2) Stormwater management controls shall be provided in conformity with City requirements and Part 6.0 (Design Guidelines) of this By-law	•	•	•	•	•	
VARIANCES: <i>Permitted: N/A</i> <i>Criteria:</i> 1. See Section 5.5.4. b						

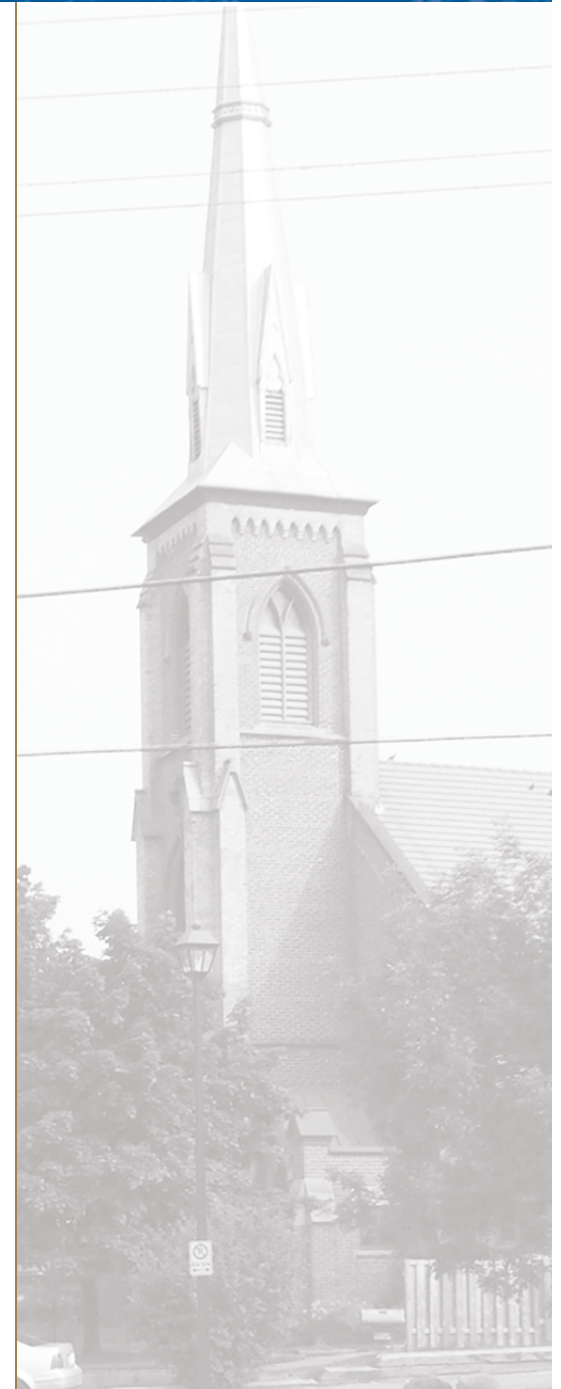
4.3.7. Access Management

Fulfilment of the following Access Management standards shall be required:

4.3.7	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS <i>These special provisions correspond to numbers found under the zone columns in the matrix:</i>
(1) In order to improve the pedestrian realm and general streetscape, reduction in number of access points will be sought. Reduction of access points onto Main Street North through such measures as elimination of multiple accesses from one lot, sharing of accesses, provision of access from side streets, in accordance with the Access Management Plan shall be sought in conjunction with the review of a Development Permit	<ul style="list-style-type: none"> • (1) 	<ul style="list-style-type: none"> • (1) 		<ul style="list-style-type: none"> • (1) 	<ul style="list-style-type: none"> • (1) 	(1) Dependent on Application Type (see Part 5.0: Application Processing)
<p><i>VARIANCES:</i></p> <p><i>Permitted: N/A</i></p> <p><i>Criteria:</i></p> <ol style="list-style-type: none"> 1. See Section 5.5.4. b 						



Schedule 2: DPS Districts



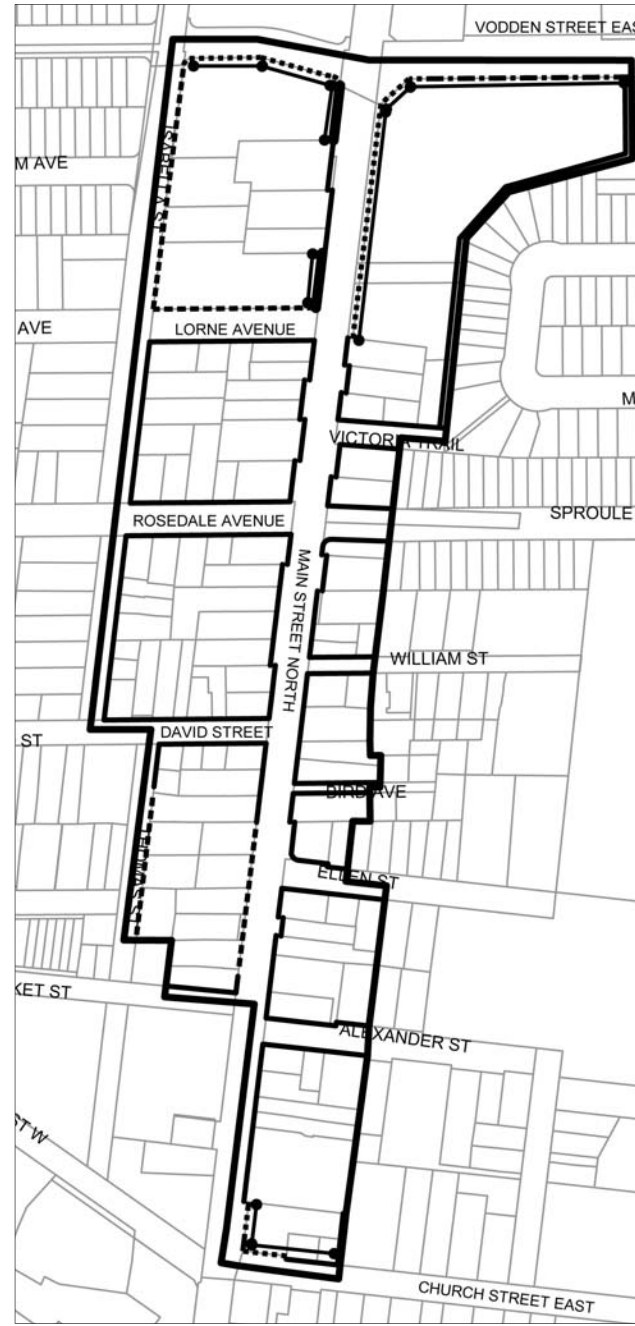
LEGEND









ZONE BOUNDARY



DRAWN BY: CJK
DATE: JUNE 9, 2010
FILE: MAINSTREETNZBLA





-  SCHEDULE BOUNDARY
- LEGEND: MINIMUM SETBACKS
-  20.0m Setback from Road Centreline
-  18.0m Setback from Road Centreline
-  16.0m Setback from Road Centreline
-  14.5m Setback from Road Centreline for a Building with Commercial Uses at Grade, 16.5m Setback for a Building with Residential Uses at Grade
-  13.0m Setback from Road Centreline
-  Existing Building Setback from Road Centreline Plus 1.0m or the average of the existing Building Setback from the Road Centreline of the abutting properties on the same Street Frontage if the Lot is Vacant or the Building is to be Removed
- LEGEND: MAXIMUM SETBACKS
-  3.0 Metres Greater than the Minimum Setback is the Maximum Setback

DRAWN BY: CJK DATE: AUGUST 10, 2010
FILE: DPS MSN - SETBACKS



Schedule 3: Minimum and Maximum Building Setbacks to Street

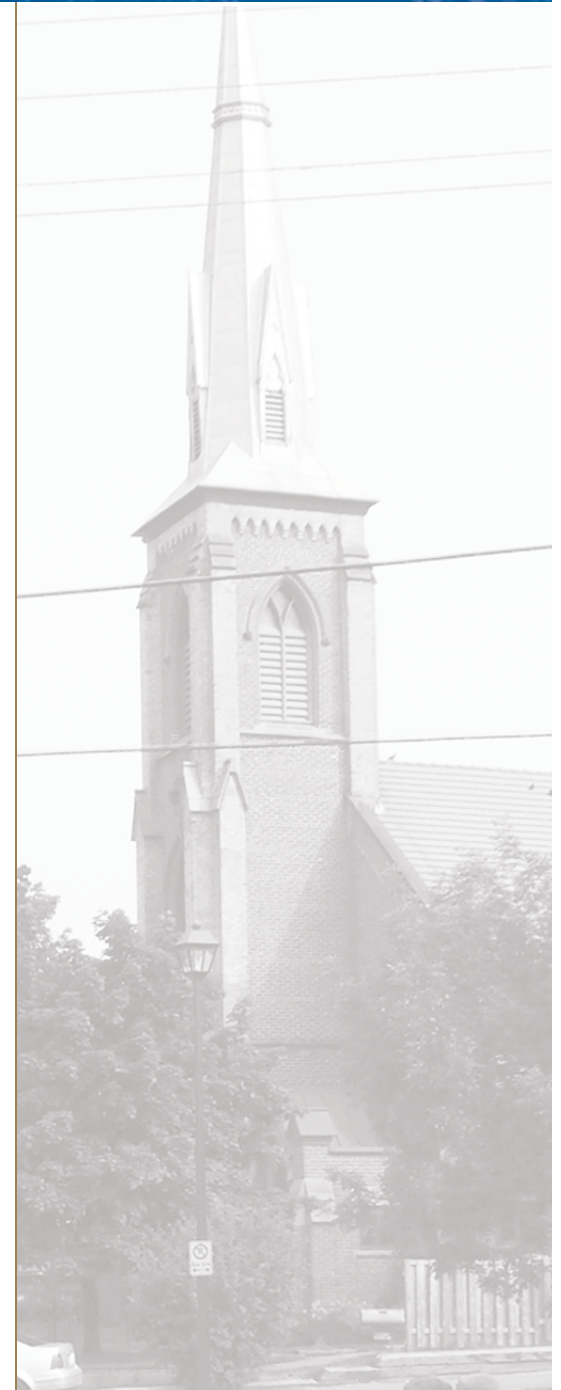


- A Building Wall Shall have a Length of No Less than 70% of the Street Line it Faces
- - - - 60% of any Building Wall Shall be Set Back 1.5 Meters From the Remaining Wall Closest to a Street Line
- SCHEDULE BOUNDARY

DRAWN BY: CJK DATE: JUNE 9, 2010
FILE: DPS MSN - WALLS LENGTH








Schedule 4: Building Wall Lengths



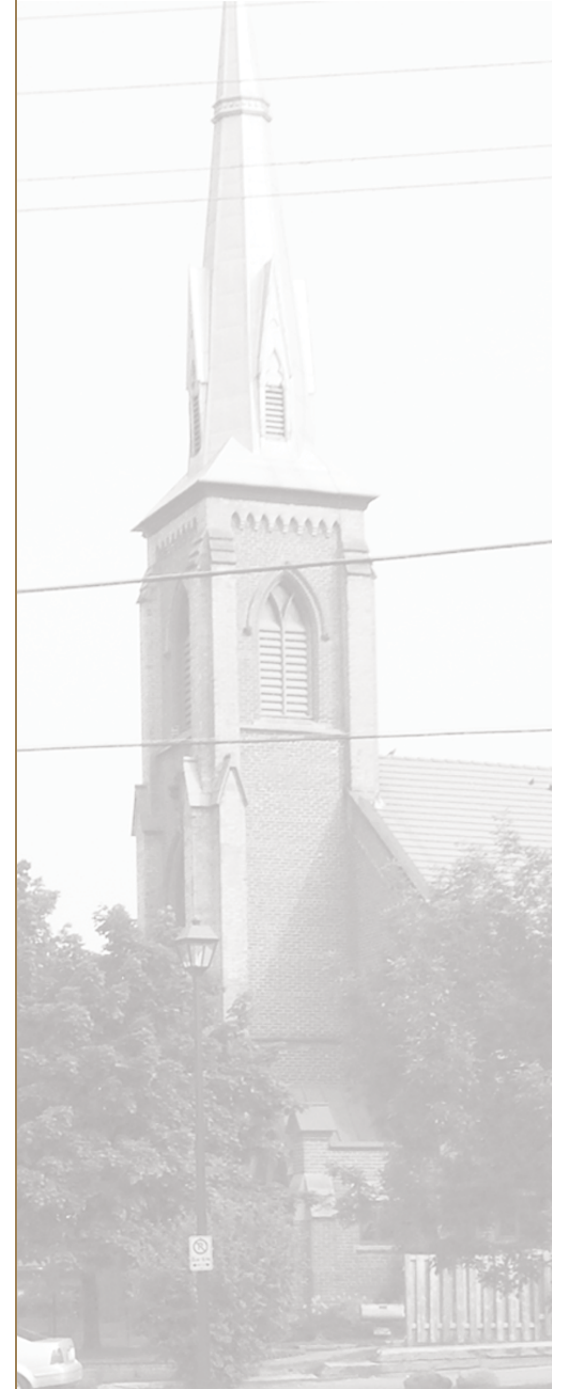
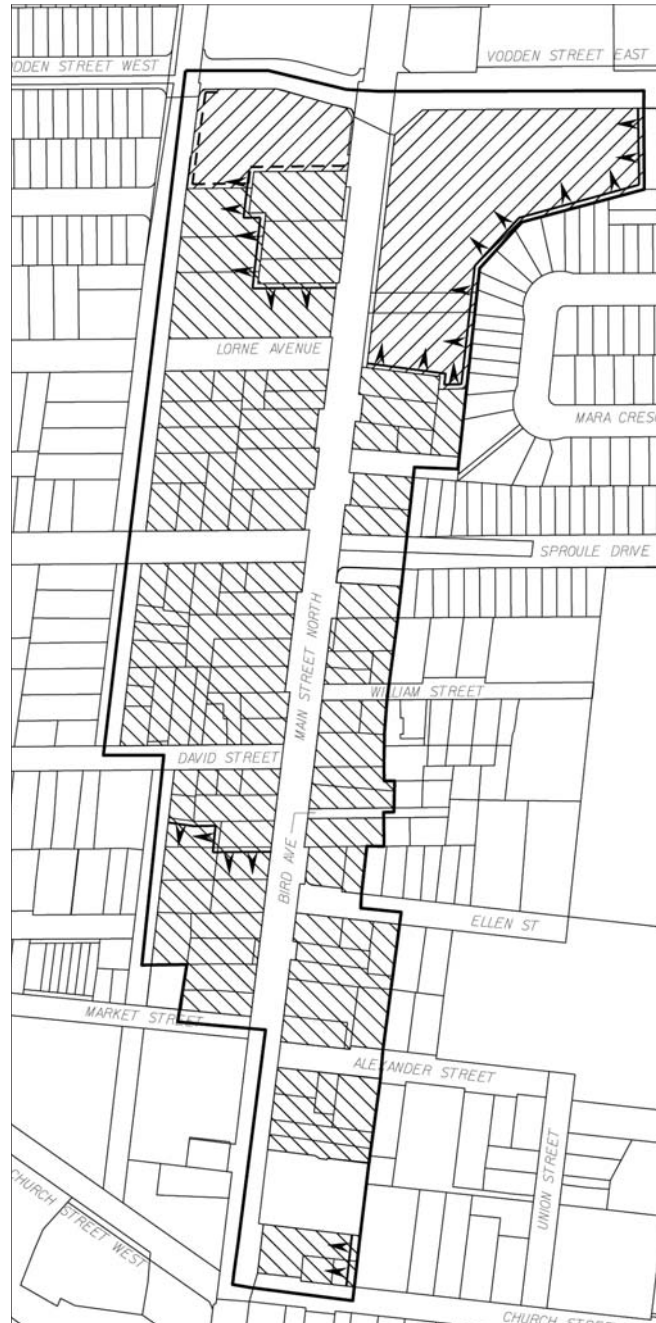


Schedule 5: Minimum and Maximum Building Heights

	Minimum Building Height (Metres)	Maximum Building Height (Metres)	
	7.60m	11.0m	 SCHEDULE BOUNDARY
	7.60m	15.5m	
	15.5m	41.0m	
	EXISTING		

DRAWN BY: C.J.K. DATE: JUNE 9, 2010
FILE: DPS MSN - BUILDING HEIGHTS





	MINIMUM INTERIOR SIDE YARD	MINIMUM REAR YARD	ANGULAR PLANE
	3.0 Metres	9.0 Metres	<p>The arrow symbol on the Schedule indicates the direction in which the Angular Plane provisions Apply</p> <p>1. The setback shall be determined by a line that extends upwards at 45 degrees from a point 1.5 Metres above the lot line.</p> <p>2. The setback shall not be less than the minimum setback.</p>
	<p>1. 1.5 metres on one side of a lot, and 3.0 metres on the other.</p> <p>2. The 3.0 metre setback may be reduced to 1.5 metres for the purpose of a shared driveway aisle, provided a minimum of 1.5 metres is provided on the adjacent property for the purpose of a driveway</p>	7.5 Metres	<p>1. The setback shall be determined by a line that extends upwards at 45 degrees from a point 6.0 Metres above the lot line.</p> <p>2. The setback shall not be less than the minimum setback.</p>
	N/A	N/A	<p>1. Notwithstanding the permitted building height, any portion of the building above 15.5 Metres shall be set back a further 3.0 Metres from the building wall below 15.5 Metres above grade</p>

EXISTING SETBACKS
 ZONING BOUNDARY



DRAWN BY: CJR
 DATE: MARCH 28, 2011
 FILE: MAINSTREETN_STREET_SETBACKS

Schedule 6: Setbacks and Angular Plane

