

**Official Plan Policies**

4.10.3.1.2

*Tall buildings have a significant presence and become landmarks. They must therefore have very high architectural quality and sensitive design treatments to ensure that they contribute positively to their immediate context as well as the wider Cityscape.*

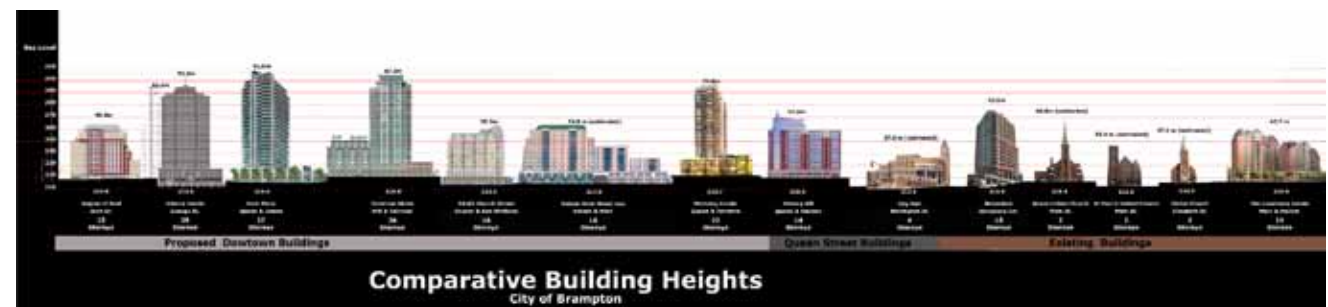
**Secondary Plan (SPA 2) Policies**

5.6.2.6 b) xvi )

*Notwithstanding 5.6.2.6 b) -xi), in the area bounded by Thomas Street, Market Street, Main Street and two lots south of the lots fronting onto David Street, a greater amount of development intensity and built form can be accommodated to provide for a transition to the “Gateway”-designated lands. Continuous street walls, small-scale mixed use developments up to 15.5 metres, street and stacked townhouses and apartment residential forms may be permitted. Integration of built heritage and mature trees into the development fabric is encouraged. Notwithstanding 5.6.2.6 c), land assembly to permit larger development blocks is permitted, subject to the provision of satisfactory concept plans that demonstrate adherence to the development objectives for Main Street North.*

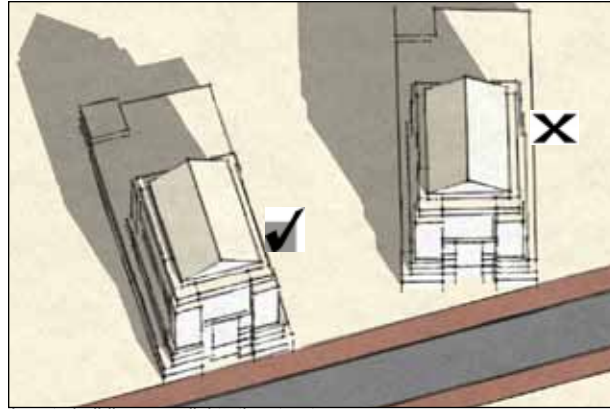
**6.8 Tall Building Guidelines**

The vision for the area is to develop a transit orientated and pedestrian friendly neighbourhood. It is encouraged that only active pedestrian uses be permitted at grade. All new development must be integrated with the other buildings and open spaces on the block to retain neighbourhood character, including heritage features, and create a high quality pedestrian public realm. The built form of the development must define and support the adjacent streets and open space.

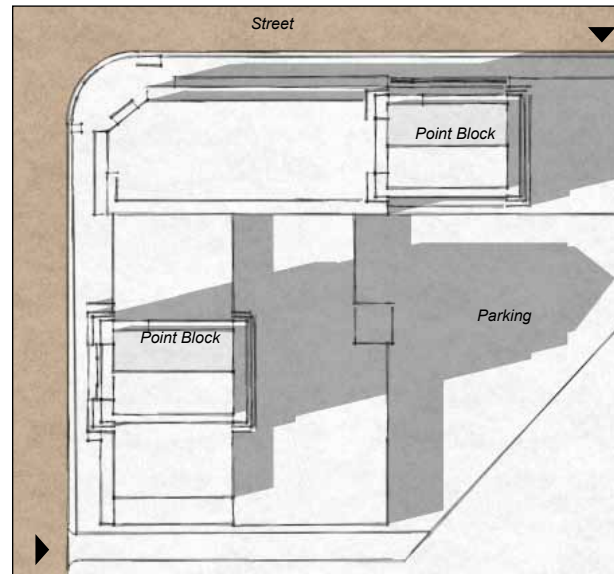


### 6.8.1. Placement and Orientation

- BG187.** Buildings should be placed parallel to the street.
- BG188.** Locate main building entrances so that they are clearly visible and directly accessible from the public sidewalk. Main building entrances and addresses shall face Main Street, Vodden Street or Church Street.
- BG189.** Ensure that the placement of buildings limits its impact on neighbouring streets, buildings and open spaces by creating appropriate transition scale to neighbouring buildings.



Locate buildings parallel to the street



Conceal parking by locating it behind buildings

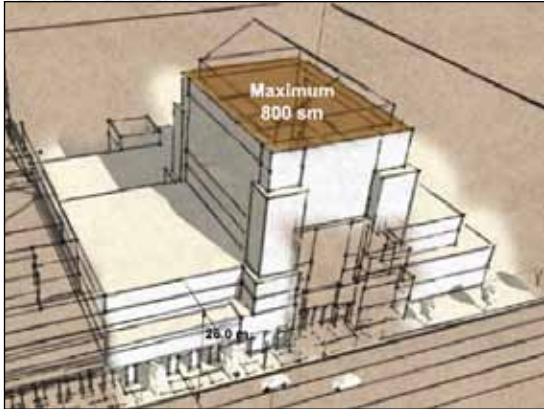
### Secondary Plan (SPA 2) Policies

#### 5.6.2.6 b) iii)

*The design of all buildings shall have regard to pedestrian safety and direct street access. Buildings should be massed and be architecturally articulated to reinforce the pedestrian scale, provide an appropriate street wall height at the street line to provide visual variety and interest.*

#### 5.6.2.6 b) x)

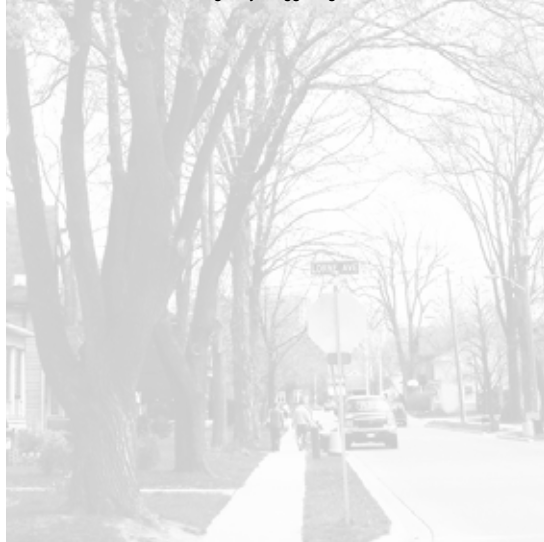
*The treatment of the front façade facing Main Street and the use and design of the lands between the façade and the Main Street right-of-way is a key consideration. In this regard, building additions that would reduce the setback of the building from Main Street North when the Development Permit By-law came into effect, with the exception of appropriate front porches, are not permitted, unless they provide a transition between differing setbacks of two adjacent existing buildings.*



Maximum residential tower floor plate area

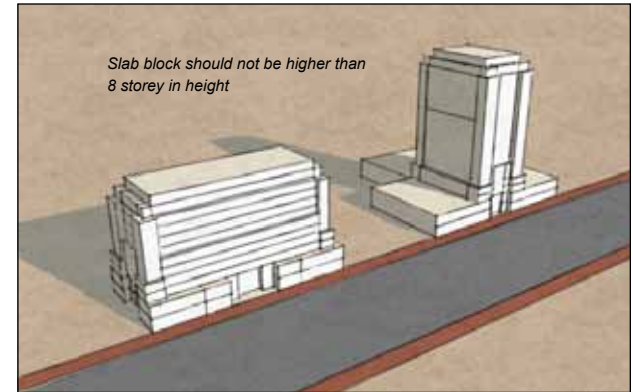


Maximize views and natural light by staggering towers

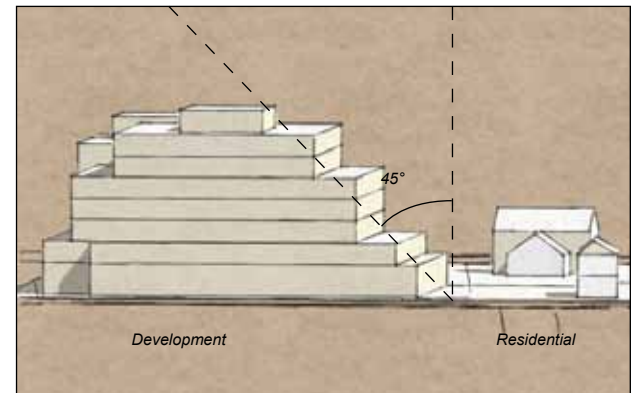


**6.8.2. Massing**

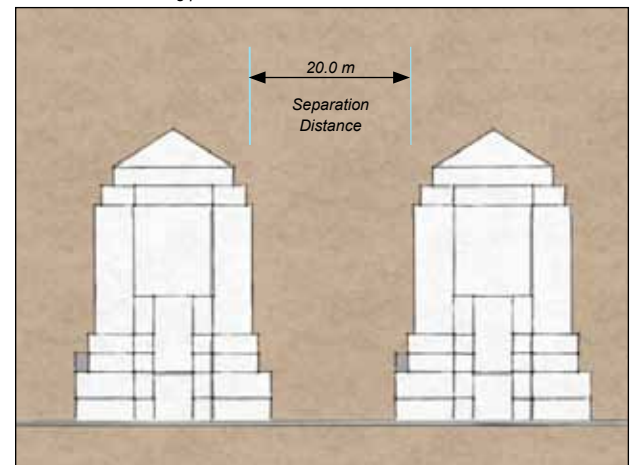
- BG190.** Point towers are preferable to slab towers. A residential tower's floor plate should not exceed 800 square metres.
- BG191.** New developments will be massed to define the edges of streets, parks and open spaces.
- BG192.** Tall buildings will be located to ensure adequate access to sky views. A transitional massing is required towards adjacent residential uses, generally following a 45 degree plane, established at the property line adjacent to residential uses or park uses.
- BG193.** The building mass above the two storey podium will be set back to maintain an appropriate scale at street level.
- BG194.** Portions of a building taller than 26 metres shall be limited to a maximum floor area of 800 square metres to encourage a 'point tower' form of development and minimize environmental and visual impacts on the surrounding context.
- BG195.** Consider night ordinance lighting principles for the building top to enhance the skyline at night.
- BG196.** Avoid free-standing towers that are big, boxy and without bases.
- BG197.** Tower Blocks shall be staggered to maximize views, natural light and privacy.
- BG198.** The minimum spatial separation between towers shall be equal to the width of the tower block or 20 metre minimum.
- BG199.** Buildings must have a base, a middle and a top, expressed in building design and massing.



Slab tower versus point tower



45° transitional massing plane



Minimum tower separation distance

**6.8.2.1. Base of the Building**

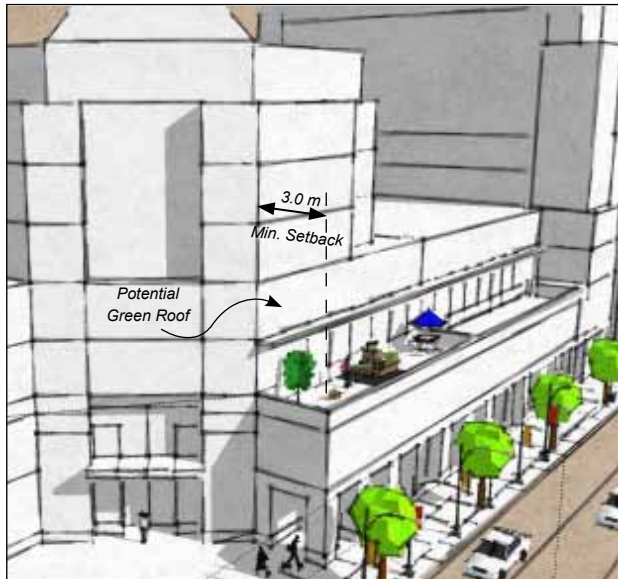
- BG200. Provide street definition and support the appropriate scale of adjacent streets, parks and open spaces.
- BG201. Use high quality materials like stone and brick.
- BG202. Integrate with adjacent buildings.
- BG203. A minimum two to three storey base is preferred to maintain the heritage image and character of the existing neighbourhood.

**6.8.2.2. Middle of the Building**

- BG204. The portion of the building above the podium shall be set back a further minimum of 3.0 metres from the podium façade.
- BG205. Use high quality material such as curtain wall, pre cast brick or stone.
- BG206. Locate and orient massing to respect adjacent uses and acknowledge the relationship to the podium.
- BG207. Massing above 26 metres shall be further setback another 3 metres from the front setback line.

**6.8.2.3. Top of the Building**

- BG208. Design the uppermost floors of tall buildings with a distinctive profile that contributes to the skyline and acts as a gateway to the Main Street North neighbourhood.
- BG209. Integrate all mechanical penthouses into the building roof; design with details, colours and materials that match the exterior of the building.
- BG210. Sustainable and green rooftop designs are encouraged.



Building massing should be set back at least 3.0 m from building podium.

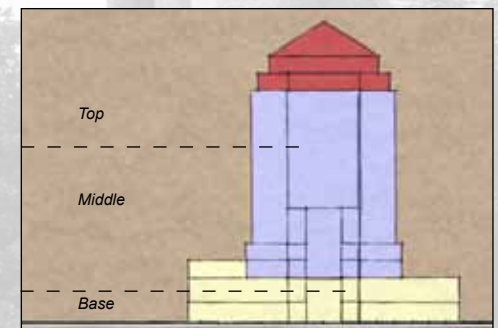
**Secondary Plan (SPA 2) Policies**

5.6.2.6 b) xiii)

*Roofscapes shall be an integral part of the design of a building and harmonize with the design of the rest of the building*

**Development Permit By-Law 4 A) (1)**

*Any additions or alterations to a building or new construction works requiring approval of a development permit shall be undertaken in accordance with the Main Street North Urban Design Guidelines and any other provisions set out in the Development Permit System. By-law related to building design, massing materials and colours*



Building Massing - Base, Middle and Top

**Official Plan Policies**

4.10.3.1.3

*In addition to addressing the aspects for mid-rise buildings listed in 4.10.3.1.1, and building and engineering assessments, shadow, view, microclimatic and heritage impact studies shall be carried out to determine the potential impacts arising from tall building development.*



**6.8.3. Micro climate**

**6.8.3.1. Sun**

**BG211.** Ensure that the shadows on the sidewalks of Main, Vodden or Church Streets are minimized during the hours of 11 a.m. to 2 p.m. for the period beginning 21 March and ending 21 September. At least 65% of the sidewalk should be in sunlight during these hours.

**BG212.** Minimise the impact of shadowing on neighbouring streets, properties and open spaces, as well as, the existing uses of the surrounding area.

**BG213.** Minimise any additional shadowing on adjacent open spaces/plazas where applicable as necessary to preserve their uses.

**6.8.3.2. Weather Protection**

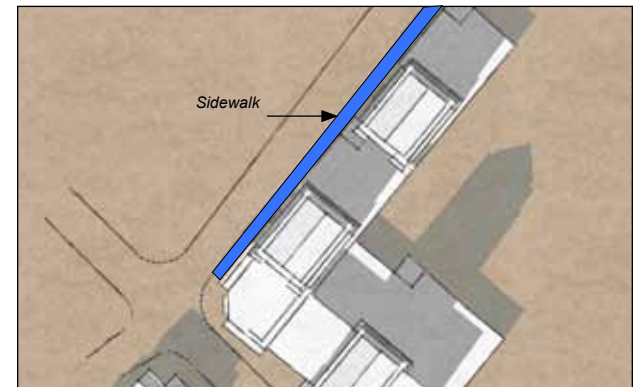
**BG214.** Development shall provide weather protection, such as, canopies and awnings or building arcades to make the street attractive, interesting, comfortable and functional for pedestrians.



Canopies can be used to make the development attractive, interesting and comfortable for pedestrians.



Arcade can be used to make the development attractive, interesting and comfortable for pedestrians.



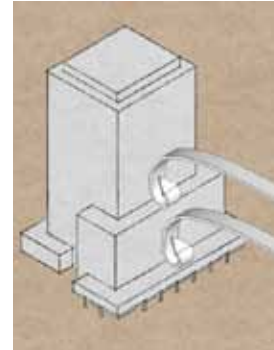
Ensure that 65% of sidewalk is not in shadow from 11 am to 2 pm

**6.8.3.3. Wind**

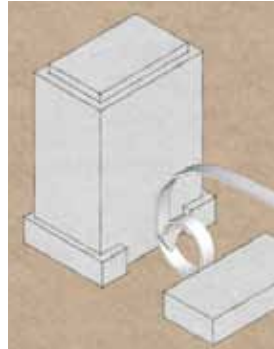
- BG215. Minimize uncomfortable wind conditions on adjacent open space/plazas as necessary to preserve their utility.
- BG216. Avoid tall and wide façades that face prevailing winds.
- BG217. Place buildings to avoid wind canyon effect through proper building height, spacing and orientation of the buildings.
- BG218. Consider colonnaded base buildings on windward facades to control downward wind flows and provide pedestrians a choice of calm or windy areas.
- BG219. Base building roof areas that are inaccessible to pedestrians can be used to mitigate against downward wind flows and improve conditions at grade.
- BG220. Landscape at base building roof areas can further reduce wind speeds at grade.
- BG221. Use horizontal canopies on the windward face of a base building.
- BG222. Consider the use of parapet walls which can increase the effect of canopies.
- BG223. Consider base buildings that are step back to reduce undesirable downward wind flows.



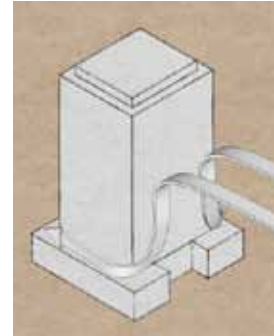
Building with base



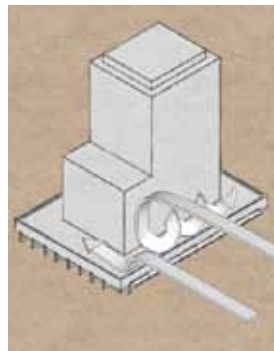
Building with base and middle



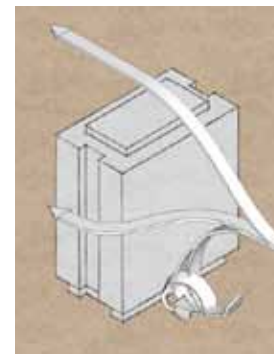
Wind Tunnel Effect



Wind deflected above base



Wind deflected on Arcade base

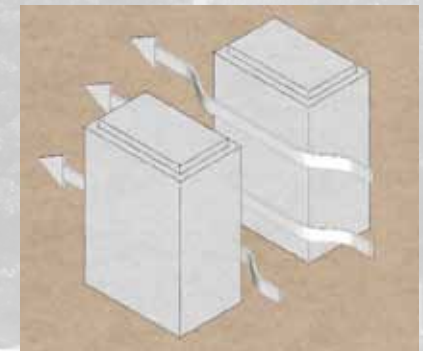
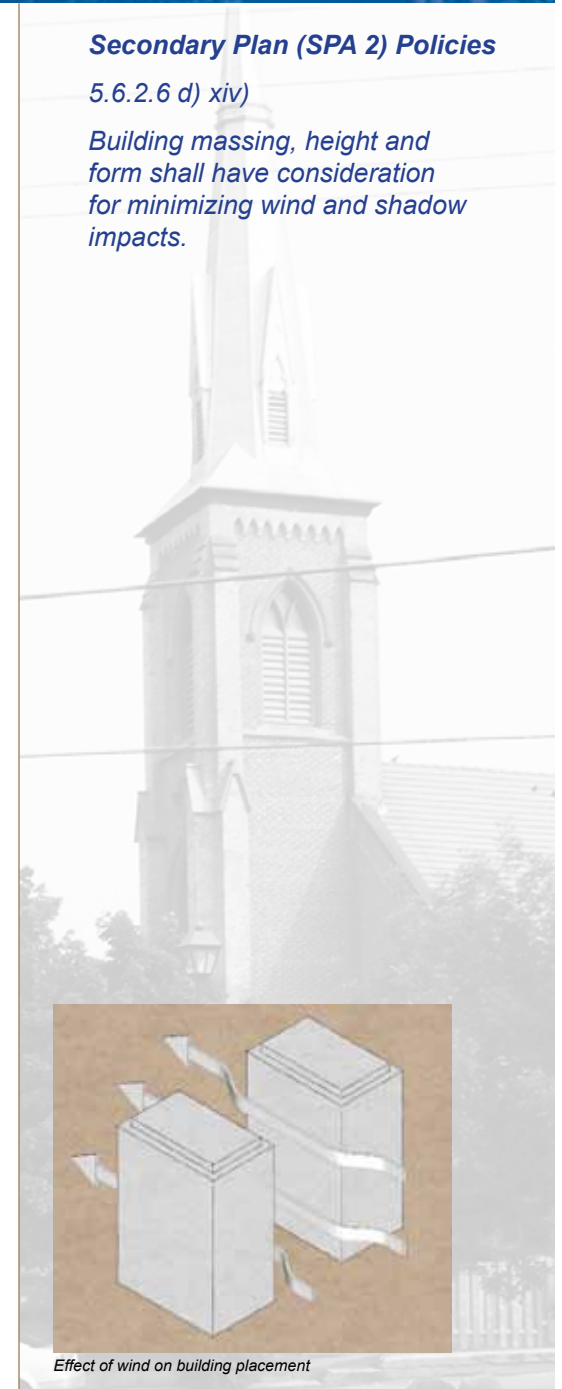


Building with no base

**Secondary Plan (SPA 2) Policies**

5.6.2.6 d) xiv)

*Building massing, height and form shall have consideration for minimizing wind and shadow impacts.*



Effect of wind on building placement



**Secondary Plan (SPA 2) Policies**

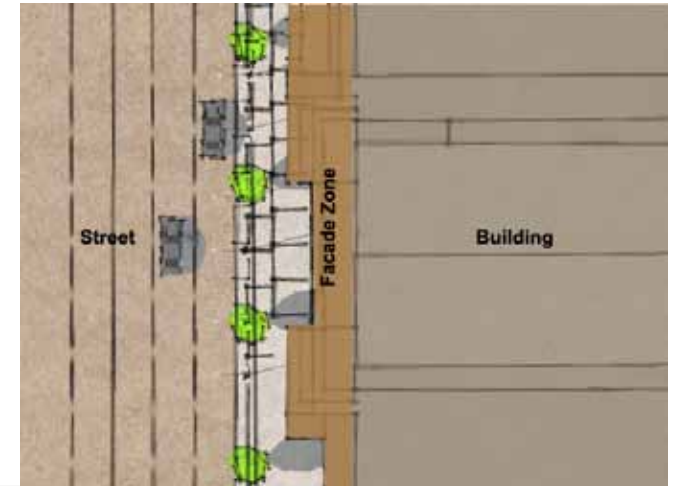
5.6.2.2 b) xi)

*To encourage and promote development that combines commercial, residential and other land uses to facilitate the more efficient use of urban land and the establishment of a human scale and active pedestrian environment.*

**6.8.4. Active Pedestrian Edge**

- BG224. Maintain a two-storey animated street wall with active at grade uses.
- BG225. The base of a building must provide definition and support an appropriate pedestrian scale for adjacent streets, parks and open spaces.
- BG226. The primary facade of the building base shall be parallel to the street and front on to the property line.
- BG227. The facade zone of a development should occur at least 85% of the street edge.
- BG228. Ensure that at least 75% of the façade zone has openings (doors, windows, glazed areas).

- BG229. Parking and servicing uses must be located at the rear.
- BG230. Ensure that active pedestrian uses are located on the ground floor.



Maintain a minimum 75% openings on Facade Zone

### 6.8.5. Architectural Theming

- BG231. The developer is encouraged to take cues from the nine prevalent academic styles found in the neighbourhood in designing new buildings and additions.
- BG232. Design themes may be contemporary but the designer is encouraged to retain the scale and proportions of one of the nine prevalent academic styles.

### 6.8.6. Materials

- BG233. Use of good quality materials such as pre-cast, stone, brick, curtain wall for exterior of building is strongly encouraged.
- BG234. Exterior Insulation and Finish Systems (EIFS) and stucco finishes are not recommended for the base of building.

### 6.8.7. Colour

- BG235. Building colour should be harmonious with the context of the neighbourhood.
- BG236. It is recommended that earth zone colour schemes be used for most part of the building.
- BG237. Accent colour should be used sparingly to emphasize building entrances, signage and area of focus.

### Secondary Plan Policies

#### 4.10.3.1.2

*Tall buildings have a significant presence and become landmarks. They must therefore have very high architectural quality and sensitive design treatments to ensure that they contribute positively to their immediate context as well as the wider Cityscape.*

### Secondary Plan (SPA 2) Policies

#### 5.6.2.6 b) i)

*The design of new buildings should achieve a complementary design relationship to existing buildings, while accommodating a diversity of architectural styles, building materials and colours, energy conservation techniques and innovative built forms.*

#### 5.6.2.6 b) ii)

*The colour of the building materials shall be compatible with the colours used on adjacent buildings and in the surrounding area.*

#### 5.6.2.2 b) ix)

*To encourage the retention of built heritage resources to provide continuity between the past and the present and to help maintain the prevailing character of Main Street North*

**Secondary Plan (SPA 2) Policies**

## 5.6.2.6 b) xv)

*Building entrances shall be located to be visible from the adjoining street(s) and, where possible, directly linked to the sidewalks through appropriately articulated walkways.*

**6.8.8. Entrances**

**BG238.** Entrances to office or residential uses on upper floors should be differentiated from retail store entrances through the use of increased setbacks, variation in main wall articulation, creation of entry courts or through the use of built form elements that accentuate the entry element as a focal point of the building.

**BG239.** The sense of arrival to a building should be celebrated through the design and detailing of its entrance. Weather protection should be provided at all principal entries to residential and commercial buildings.

**BG240.** Retail frontages should address the street with transparent storefronts and high quality signage.

**BG241.** Ensure that the facade zone of at-grade active pedestrian uses consist of a minimum of 75% openings (doors, glazing, windows).

**6.8.9. Amenity Spaces**

**BG242.** Individual projects should include amenity spaces for residents. These areas should relate to a communal space for outdoor activity such as rooftop terraces or the roofs of structured parking areas in the case of larger developments. Refer to development Permit By-law.

**BG243.** Balconies or terraces may be located on building faces fronting onto side streets and to the interior of the parcel.

**BG244.** Balconies facing onto Main Street may not occur below the base of the building.

### 6.8.10. Parking

- BG245. Structured parking and underground parking are encouraged
- BG246. Any exposed wall portion of an underground parking structure protruding above grade shall be appropriately finished with materials that are complimentary to the exterior building material.
- BG247. Ramps to underground parking should be perpendicular to the street and should be concealed to the greatest extent possible.

### 6.8.11. Site Servicing

- BG248. Locate and organise vehicle parking and utilities at the rear.
- BG249. Integrate transformers ,utilities meters and mechanical equipment into the building design and conceal them from street view.

