



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

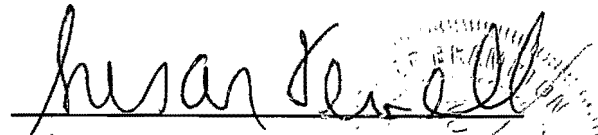
Number 360-2012

To Adopt Amendment Number OP 2006-077
to the Official Plan of the
City of Brampton Planning Area

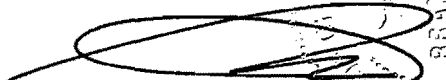
The Council of The Corporation of the City of Brampton, in accordance with the provisions of the Planning Act, R.S.O. 1990, c.P. 13, hereby ENACTS as follows:

1. Amendment Number OP 2006 - 077 to the Official Plan of the City of Brampton Planning Area is hereby adopted and made part of this by-law.

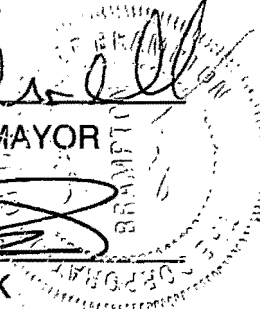
READ a FIRST, SECOND and THIRD TIME, and PASSED in OPEN COUNCIL,
this 14TH day of December, 2012 .



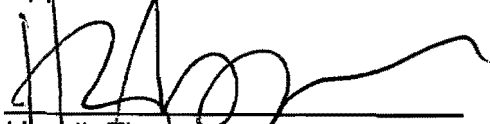
 SUSAN FENNEL - MAYOR



 PETER FAY - CLERK



Approved as to Content:



Henrik Zbogal
Acting Director, Planning Policy and Growth Management

C03E07.012

APPROVED AS TO FORM LAW DEPT BRAMPTON
T.E.
DATE 03/12/12

AMENDMENT NUMBER OP 2006 -077
to the Official Plan of the
City of Brampton Planning Area

AMENDMENT NUMBER OP 2006 - 077
TO THE OFFICIAL PLAN OF THE
CITY OF BRAMPTON PLANNING AREA

1.0 Purpose:

The purpose of this amendment is to permit the development of the subject lands for medium density residential purposes in the form of townhomes.

2.0 Location:

The lands subject to this amendment are located on the west side of Torbram Road approximately 215 metres (705 feet) south of Clark Boulevard. The property has a frontage of approximately 33 metres (98 feet) on Torbram Road and is located in Part of Lot 3, Concession 5, E.H.S. in the City of Brampton.

3.0 Amendments and Policies Relative Thereto:

3.1. The document known as the Official Plan of the City of Brampton Planning Area is hereby amended:

- a) By changing on Schedule "A" General Land Use Designations thereto, the "Open Space" designation of the subject lands to "Residential" as shown on Schedule A to this amendment;
- b) By adding to the list of amendments pertaining to Secondary Plan Area Number 21: The Southgate Secondary Plan as set out in Part II: SECONDARY PLANS thereof, Amendment Number OP2006-077;

3.2. The portions of the document known as the Consolidated Official Plan of the City of Brampton Planning Area which remain in force, as they relate to the Southgate Secondary Plan (Chapters C10, C11, C13, C24, C36 and C40 of Section C of Part C, and Plate Number 16 thereto), are hereby further amended:

- a) by changing on Plate 16 the land use designation of the lands shown outlined on Schedule B to this amendment from "Parks and Open Space" to "Medium Density Residential";

- b) By adding to the legend of Plate 16 a symbol to identify "Medium Density Residential", as shown on Schedule "B" to this amendment;
- c) by adding to section 3.0 thereto the following subsection 3.2:

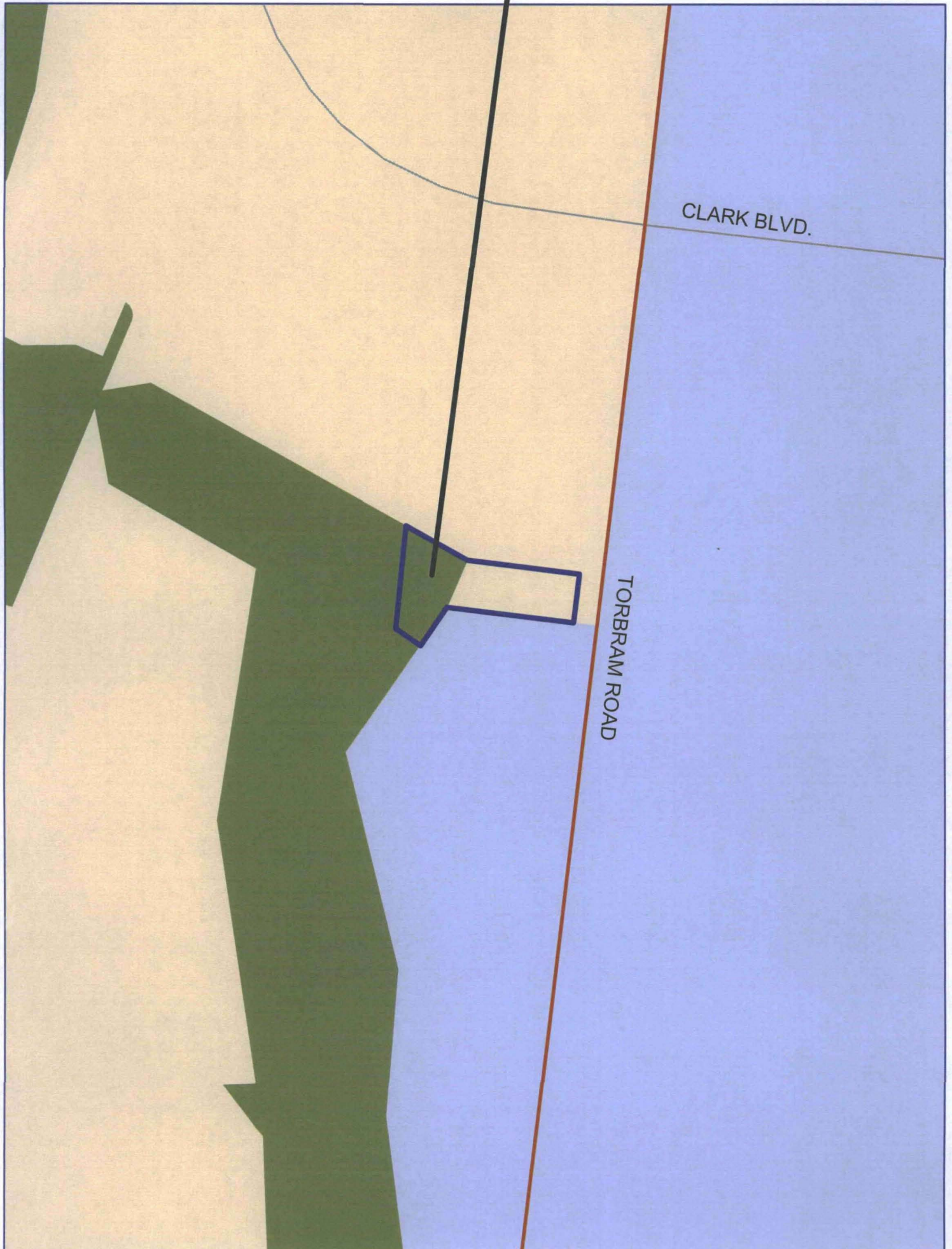
"3.2 The lands located west of Torbram Road approximately 215 metres south of Clark Boulevard are permitted to be developed, used and maintained for "Medium Density Residential" purposes at a maximum residential density of 50 units per net hectare."

Approved as to Content:



Henrik Zbogar, MCIP RPP
Acting Director, Planning Policy and Growth Management

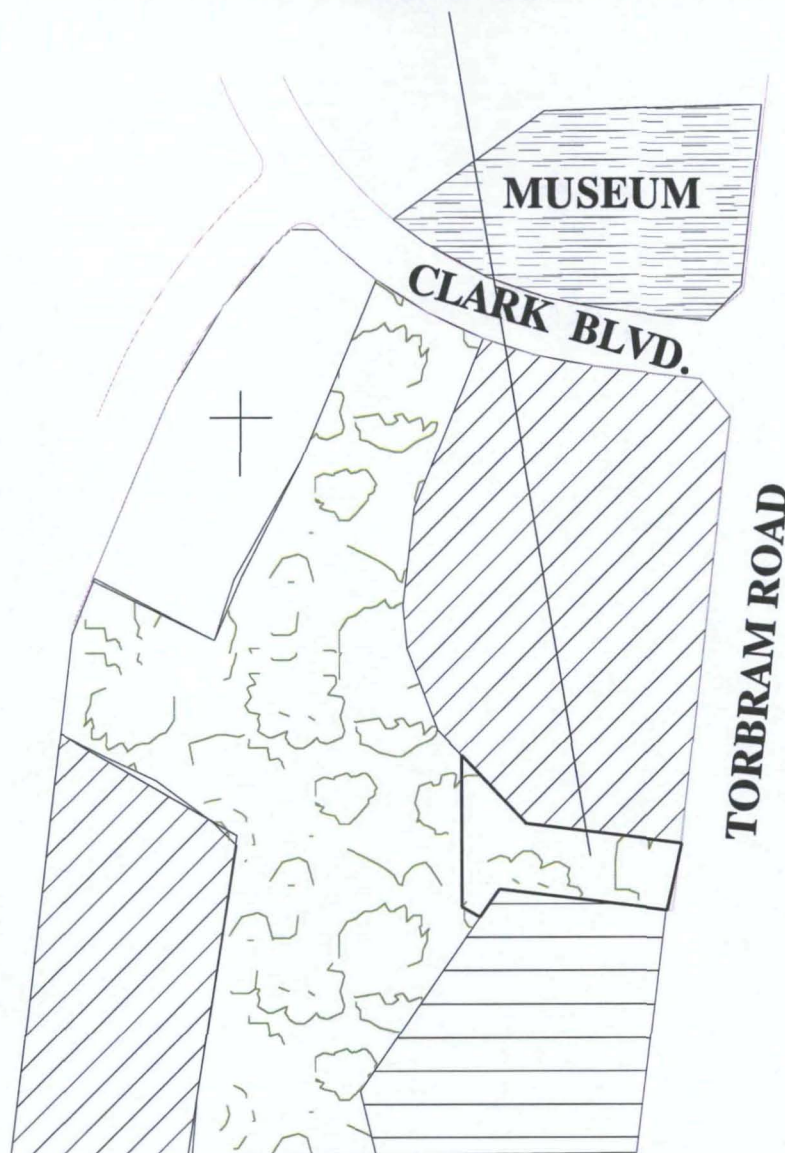
Lands to be Redesignated From "OPEN SPACE" to "RESIDENTIAL"




EXTRACT FROM SCHEDULE A (GENERAL LAND USE DESIGNATIONS) OF THE DOCUMENT KNOWN AS THE 2006 CITY OF BRAMPTON OFFICIAL PLAN

	SUBJECT LANDS		RESIDENTIAL		INDUSTRIAL		OPEN SPACE
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Lands to be Redesignated From "PARKS & OPEN SPACE" to "MEDIUM DENSITY RESIDENTIAL"



EXTRACT FROM PLATE 16, FROM THE DOCUMENT KNOWN AS THE SOUTHGATE SECONDARY PLAN

-  **SINGLE & SEMI - DETACHED**
-  **MEDIUM DENSITY RESIDENTIAL**
-  **MULTIPLE DWELLINGS - SITE PLAN CONTROL**
-  **INSTITUTIONAL**
-  **CHURCH**
-  **SPECIAL INDUSTRIAL**
-  **PARKS & OPEN SPACE**

