



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 359-2005

To amend Zoning By-law 270-2004, as amended

The Council of the Corporation of the City of Brampton ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:

(1) by changing on Schedule A thereto of the By-law, the zoning designation of the lands shown outlined on Schedule A attached to this by-law

From

to

AGRICULTURAL A – SECTION
1520 (A – SECTION 1520)

RESIDENTIAL SINGLE
DETACHED B – SECTION 1893
(R1B- SECTION 1893)

RESIDENTIAL SINGLE
DETACHED B – SECTION 1895
(RIB – SECTION 1895)

RESIDENTIAL SINGLE
DETACHED A – SECTION 1896
(RIA – SECTION 1896)

RESIDENTIAL SINGLE
DETACHED B – SECTION 1786
(RIB – SECTION 1786)

RESIDENTIAL SINGLE
DETACHED B – SECTION 1899
(RIB – SECTION 1899)

FLOODPLAIN (F)

OPEN SPACE (OS)

(2) by adding thereto the following sections:

“1893 the lands designated R1B – SECTION 1893 on Schedule A to this by-law:

1893.1 shall only be used for the purposes permitted in a R1B zone

1893.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Lot Area: 575 square metres
- (2) Minimum Lot Width: 3 metres
- (3) Minimum Lot Depth: 25 metres
- (4) Minimum Front Yard Depth: 10 metres
- (5) Minimum Side Yard Width: 1.2 metres except where it abuts a Floodplain (F) zone, the minimum setback shall be 10 metres
- (6) Minimum Rear Yard Depth: 1.2 metres
- (7) All buildings, structures and swimming pools shall be located a minimum of 10 metres from a Floodplain (F) zone except for the westerly lot line in which case the setback can be reduced to 5 metres.
- (8) Minimum Driveway width: 1.7 metres
- (9) Minimum Landscaped Open Space: No requirement

1893.3 shall also be subject to the requirements and restrictions relating to the R1B zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 1893.2.”

“1895 the lands designated R1B – Section 1895 on Schedule A to this by-law:

1895.1 shall only be used for the purposes permitted in a R1B zone

1895.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Lot Area: 520 square metres
- (2) Minimum Lot Width: 20 metres
- (3) Minimum Lot Depth: 26 metres
- (4) Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door
- (5) Minimum Side Yard Width: 1.2 metres
- (6) Minimum Rear Yard Depth: 10 metres
- (7) Minimum Landscaped Open Space: the entire yard areas

- shall be landscaped open space other than the driveway, encroachment or accessory building permitted by this by-law
- (8) Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling
- (9) Maximum Porch Projection: a balcony or porch may project into the minimum front yard by a maximum of 1.8 metres including eaves and cornices.
- (10) Garage Control: the maximum interior garage width shall be 50% of the dwelling unit width.
- 1895.3 Shall also be subject to the requirements and restrictions relating to the R1B zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 1895.2.”
- “1896 the lands designated R1A – Section 1896 on Schedule A to this by-law:
- 1896.1 shall only be used for the purposes permitted in a R1A zone
- 1896.2 shall be subject to the following requirements and restrictions:
- (1) Minimum Lot Area: 1450 square metres
- (2) Minimum Lot Width: 31 metres
- (3) Minimum Lot Depth: 47 metres
- (4) Minimum Front Yard Depth: 4.5 metres to the front wall of the dwelling and 6.0 metres to the front of the garage door.
- (5) Minimum Side Yard Width: 1.2 metres
- (6) Minimum Landscaped Open Space: the entire yard areas shall be landscaped open space other than the driveway, encroachment or

accessory building
permitted by this by-
law

(7) Maximum Garage
Projection:

no garage facing the
front lot line shall
project into the front
yard beyond a porch
or front wall of a
dwelling

(8) Maximum Porch
Projection:

a balcony or porch
may project into the
minimum front yard
by a maximum of 1.8
metres including
eaves and cornices.

(9) Garage Control:

the maximum interior
garage width shall be
50% of the dwelling
unit width

1896.3 Shall also be subject to the requirements and restrictions relating to the R1A zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 1896.2.”

“1899 The lands designated RIB – SECTION 1899 on sheet 31 of Schedule A to this by-law:

1899.1 shall only be used for the purposes permitted in an R1B zone.

1899.2 Shall be subject to the following requirements and restrictions:

(1) Minimum Lot Area: 456 square metres

(2) Minimum Lot Width:

Interior Lot: 15.2 metres

Corner Lot: 17 metres

(3) Minimum Lot Depth: 24 metres

(4) Minimum Front Yard
Depth:

4.5 metres to the front
wall of the dwelling
and 6.0 metres to the
front of the garage.

(5) Minimum Exterior
Side Yard Width:

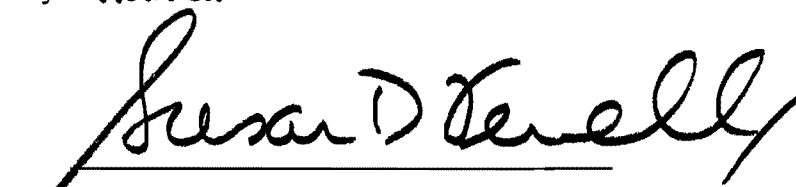
3.0 metres, except
where a garage faces
the exterior side lot
line, the minimum
setback to the front of

- the garage shall be 6.0 metres.
- (6) Minimum Rear Yard Depth: 7.5 metres
- (7) Minimum Interior Side Yard Width: 1.2 metres
- (8) Minimum Landscaped Open Space:
- a. 40% of the minimum front yard area; and
 - b. 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- (9) Maximum Garage Door Width:
- (i) the maximum garage door width shall be 5.5 metres on a lot having a lot width less than 16 metres but greater than or equal to 15 metres;
 - (ii) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 1.0 metres closer to the front lot line than the ground floor main entrance of the dwelling;
 - (iii) the garage door width restriction does not apply to the garage door facing a flankage lot line or on a lot having a lot width greater than or equal to 16 metres;
 - (iv) the interior garage width, as calculated 3 metres from the garage opening shall not exceed 0.6 metres over the maximum garage door width permitted on the lot.
- (10) Maximum Garage Projection: no garage facing the front lot line shall project into the front yard beyond a porch or front wall of a dwelling
- (11) Maximum Porch Projection: where a lot has a width equal to or greater than 15.2 metres and the width of the porch is 50%, or less of the ground floor width of the dwelling unit, excluding any garage, the porch may

encroach 2.0 metres
into the maximum
front yard depth.

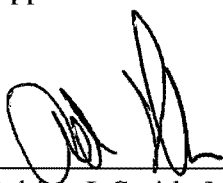
1899.3 In this section, for the purposes of determining the maximum garage projection, the front wall of a dwelling unit shall be defined as the portion of the wall that is closest to the front lot line on the ground level of the dwelling. The projection from the front wall on the second level of the dwelling wall not be considered."

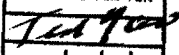
READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL, this 14th day of November 2005.


SUSAN FENNELL - MAYOR

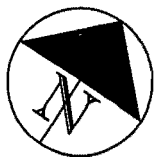
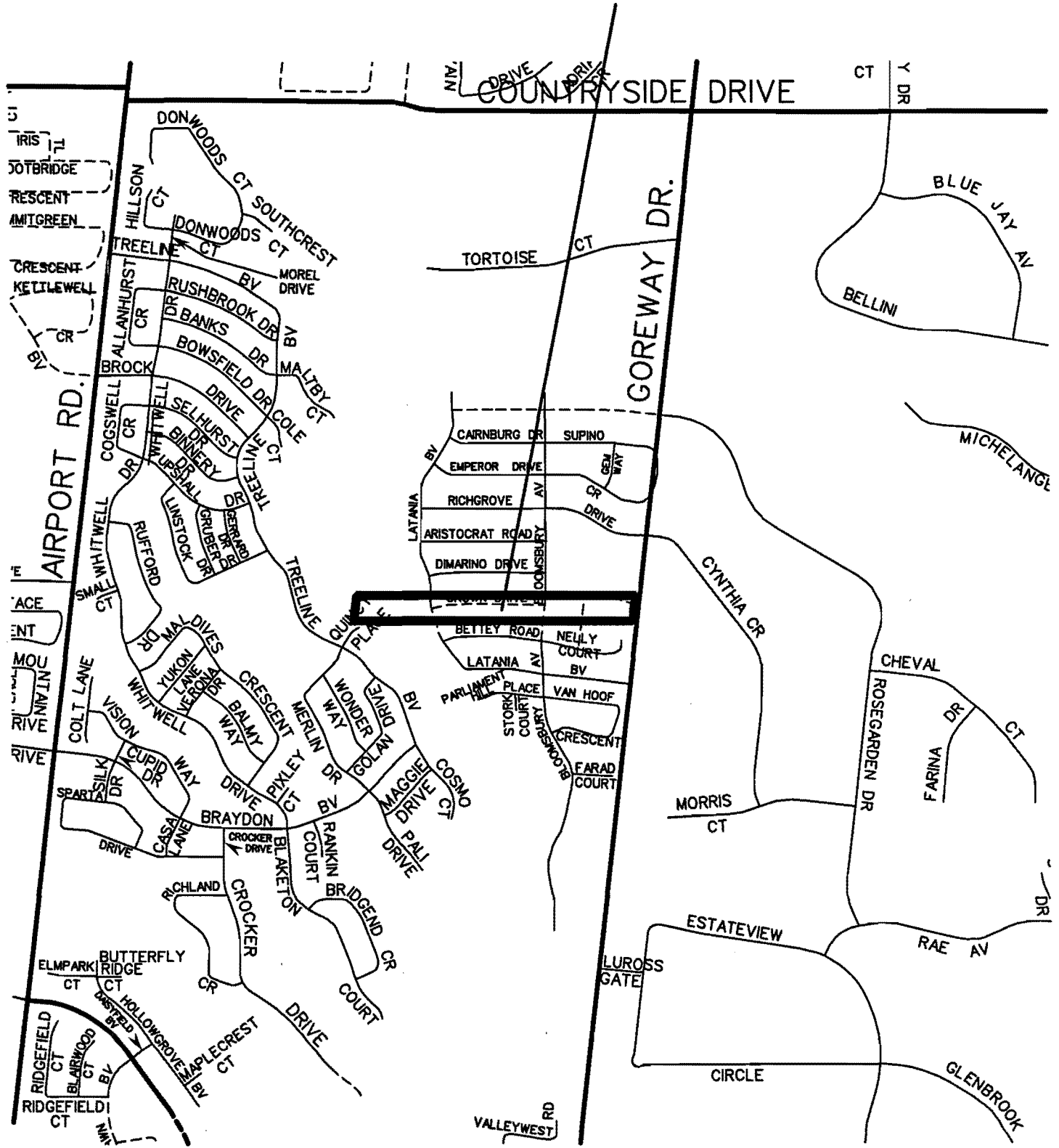

LEONARD J. MIKULICH - CITY CLERK

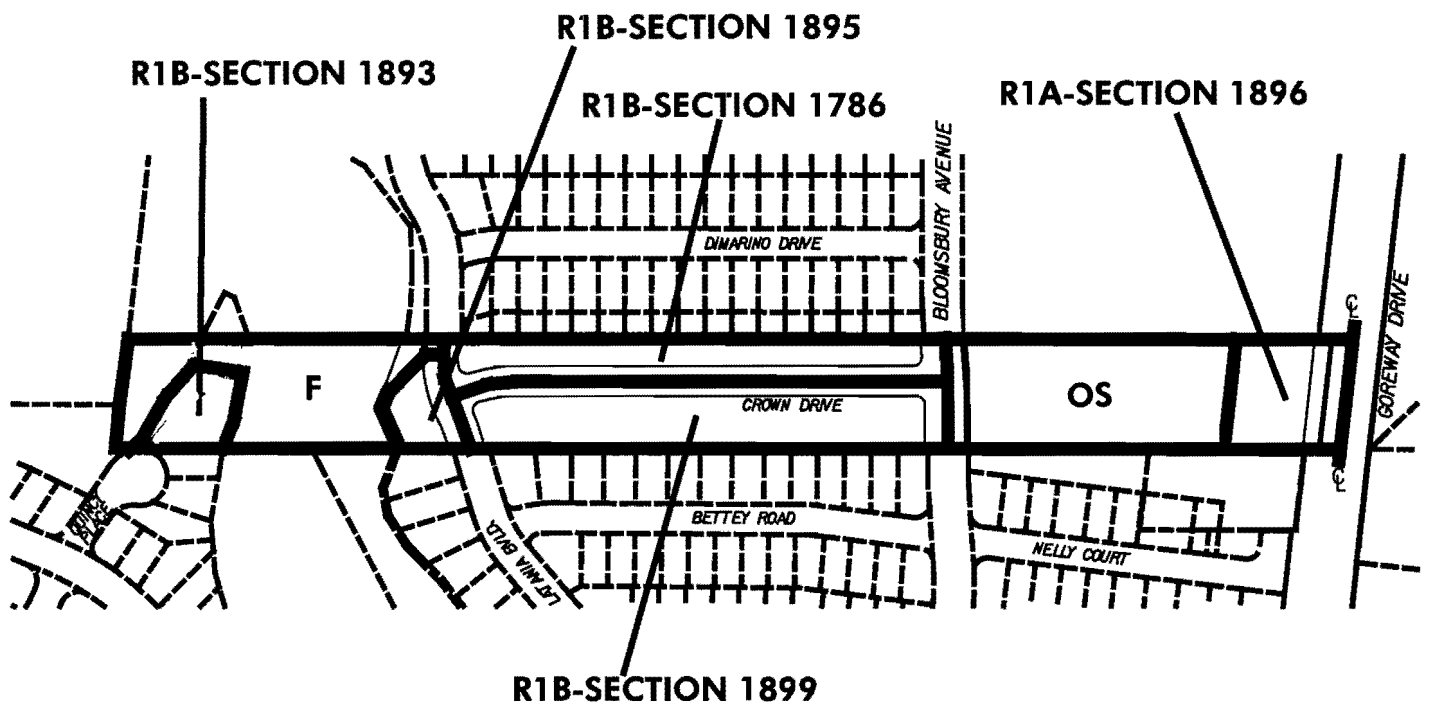
Approved as to Content


Adrian J. Smith, M.C.I.P., R.P.P.
Director, Planning and Land Development
Services

APPROVED
AS TO FORM
LAW DEPT
BRAMPTON

DATE Nov 9/05

SUBJECT LANDS





Key Map By-Law

359-2005



CITY OF BRAMPTON
 Planning, Design and Development

Date: 2005 10 20 Drawn by: CJK
 File no. C7E14.5zbla Map no. 31-27D

IN THE MATTER OF the *Planning Act*,
R.S.O. 1990, as amended, section 34;

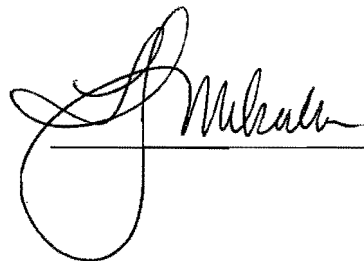
AND IN THE MATTER OF the City of Brampton
By-law 359-2005 being a by-law to amend Comprehensive Zoning
By-law 270-2004 as amended - Fanshore Investments Ltd. (File C7E14.5)

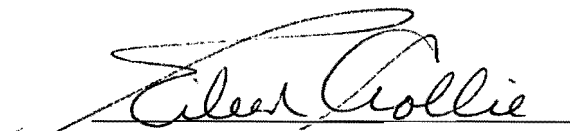
DECLARATION

I, Leonard Joseph Mikulich of the Town of Shelburne, County of Dufferin, do solemnly declare that:

1. I am the City Clerk of the Corporation of the City of Brampton and as such have knowledge of the matters herein declared.
2. By-law 359-2005 passed by the Council of The Corporation of the City of Brampton at its meeting held on the 14th day of November, 2005.
3. Written notice of By-law 359-2005 as required by section 34(18) of the *Planning Act* was given on the 29th day of November, 2005, in the manner and in the form and to the persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
4. No notices of appeal were filed under section 34(19) of the *Planning Act* on or before the final date for filing objections.

DECLARED before me at the)
City of Brampton in the)
Region of Peel this)
9th day of January, 2006)





A Commissioner, etc.

EILEEN MARGARET COLLIE, A Commissioner
etc., Regional Municipality of Peel for
The Corporation of The City of Brampton
Expires February 2, 2008.