



THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number 299-2011

To amend By-law 270-2004, as amended

The Council of the Corporation of the City of Brampton ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:

(1) by changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

From:	To:
Agricultural (A)	Service Commercial – Section 2193 (SC-2193) and Flood Plain – 2194 (F-2194)

(2) by adding thereto the following section:

“2193 The lands designated SC-2193 on Schedule A to this by-law:

2193.1 Shall only be used for the following purposes:

- a) a service station;
- b) a gas bar;
- c) a motor vehicle washing establishment;
- d) a dining room restaurant, convenience restaurant, a take-out restaurant;
- e) banquet facilities;
- f) a community club;
- g) a tool and equipment rental establishment within an enclosed building;
- h) a retail establishment having no outside storage;
- i) a convenience store;
- j) a personal service shop;
- k) a dry cleaning and laundry distribution station;
- l) a bank, trust company and finance company;
- m) an office;
- n) an animal hospital; and
- o) purposes accessory to the other permitted purposes.

The following purposes shall not be permitted:

- a) an adult entertainment parlour;
- b) an adult video store;
- c) an adult book store;
- d) a massage or body rub parlour;
- e) an amusement arcade; and,
- f) a garden centre sales establishment.

2193.1 Shall be subject to the following requirements and restrictions:

- a) Minimum Building Setback- 0 metres to a Floodplain Zone.
- b) Minimum Building Setback to the easterly property boundary- 3.0 metres.
- c) Minimum Building Setback to the northerly property boundary- 1.5 metres.
- d) Minimum Landscaped Open Space- 3.0 metres along Airport Road, except at approved vehicular access locations.
- e) all garbage and refuse storage including any containers for the storage of recyclable materials shall be enclosed within the building.
- f) no outside storage shall be permitted.
- g) Maximum building height- two storeys.


2194 The lands designated F-2194 on Schedule A to this by-law:

2194.1 Shall only be used for the following purposes:


- a) Flood and erosion control.
- b) Any conservation area or purposes.”

READ a FIRST, SECOND and THIRD TIME, and PASSED in OPEN COUNCIL,

this 9<sup>th</sup> day of November 2011.



SUSAN FENNELL - MAYOR



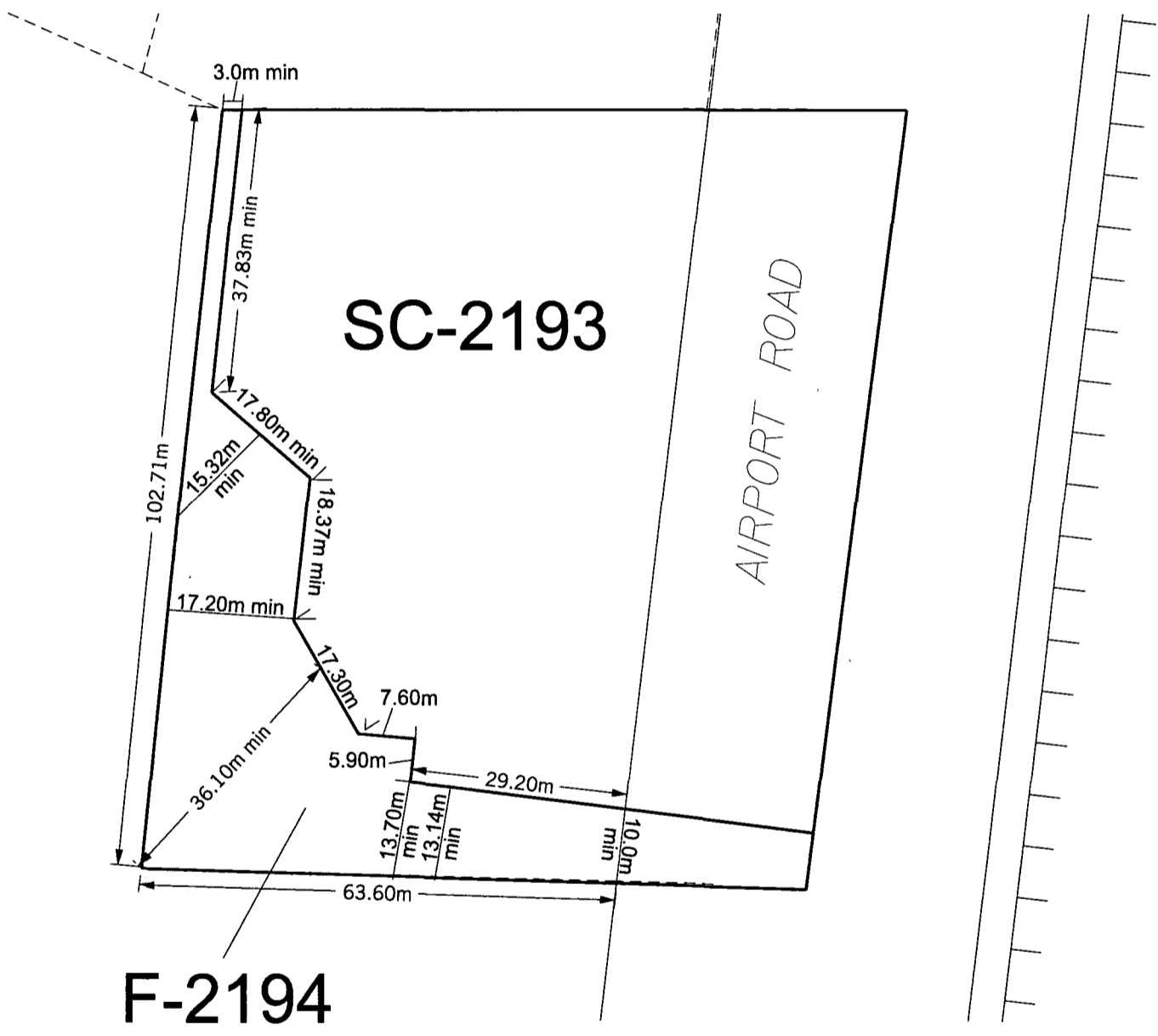
PETER FAY - CITY CLERK

Approved as to Content:



Dan Kraszewski  
Director, Land Development Services

APPROVED AS TO FORM LAW DEPT. BRAMPTON			
<i>M. Ker</i>			
DATE	31	10	11



**LEGEND**

- ZONE BOUNDARY
- m METRES
- min MINIMUM

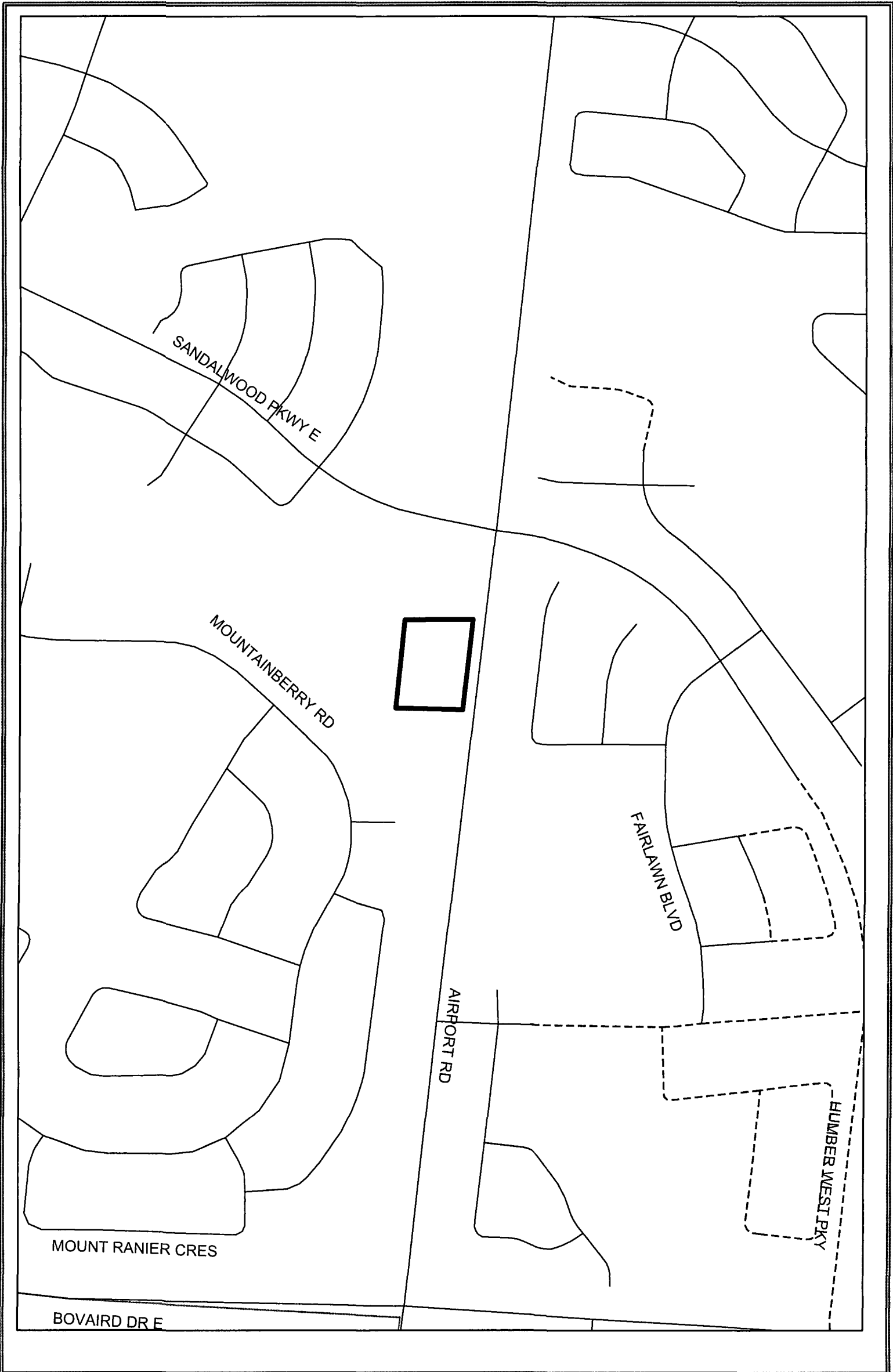
**PART LOT 12 CONCESSION 6 E.H.S.**

**By-Law** 299-2011 **Schedule A**



**CITY OF BRAMPTON**  
 Planning, Design and Development

Date: 2011 10 25 Drawn by: CJK  
 File no. C06E12.012ZBLA



FLOWER CITY



PLANNING,  
DESIGN &  
DEVELOPMENT



BRAMPTON.CA

Date: 2011/10/13 Drawn By: CJK

File: C06E12.012zkm

**Key Map By-Law** 299-2011