



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 298-81

To designate the Bovaird house
as a property of historical and
architectural value and interest

WHEREAS section 29 of The Ontario Heritage Act, 1974 (R.S.O. 1980, c. 337, as amended) authorizes the council of a municipality to pass by-laws designating properties within the municipality to be of historic or architectural value or interest;


AND WHEREAS the council of The Corporation of the City of Brampton has given notice of its intention to so designate the property known as the Bovaird House, located at the southeast corner of Kennedy Road North and Bovaird Drive in the City of Brampton, in accordance with the requirements of section 29(3) of the said Act;

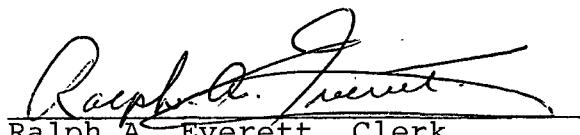
AND WHEREAS no notice of objection has been served upon the Clerk of the Corporation of the City of Brampton within the time limited for so doing, as set out in section 29(5) of the said Act;

NOW THEREFORE the Council of The Corporation of the City of Brampton ENACTS as follows:

1. The property known as the Bovaird house and described in Schedule A to this by-law is hereby designated to be a property of historic and architectural value and interest.

READ a FIRST, SECOND and THIRD TIME and PASSED in Open Council this
14th day of December, 1981.


James E. Archdekin, Mayor


Ralph A. Everett, Clerk

SCHEDULE A

The land situated in the City of Brampton, in the Regional Municipality of Peel (formerly in the Township of Chinguacousy, in the County of Peel), being the part of the west half of Lot 10, Concession 2, East of Hurontario Street designated as Part 1 on a reference plan in the Land Registry Office for the Registry Division of Peel (No. 43) as number 43R-9439.

PASSED December 14th 19 81



BY-LAW

No. 298-81

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AND WHEREAS no notice of objection has been served upon the Clerk of the Corporation of the City of Brampton within the time limited for so doing, as set out in section 29(5) of the said Act;

NOW THEREFORE the Council of The Corporation of the City of Brampton ENACTS as follows:

- 1. The property known as the Bovaird house and described in Schedule A to this by-law is hereby designated to be a property of historic and architectural value and interest.

READ a FIRST, SECOND and THIRD TIME and PASSED in Open Council this 14th day of December, 1981.

CERTIFIED A TRUE COPY

Signature of City Clerk

City Clerk City of Brampton

Signature of Mayor James E. Archdekin

James E. Archdekin, Mayor

Signature of Ralph A. Everett

Ralph A. Everett, Clerk

December 16th 1981

SCHEDULE A

The land situated in the City of Brampton, in the Regional Municipality of Peel (formerly in the Township of Chinguacousy, in the County of Peel), being the part of the west half of Lot 10, Concession 2, East of Hurontario Street designated as Part 1 on a reference plan in the Land Registry Office for the Registry Division of Peel (No. 43) as number 43R-9439.

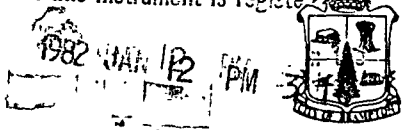
PASSE December 14th 19 81

599799

No. Land Registry Division of Peel (No. 43)

I CERTIFY that this instrument is registered

of



Land Registry
at
Brampton,
Ont.

BR

Cannon

BY-LAW

No. 298-81

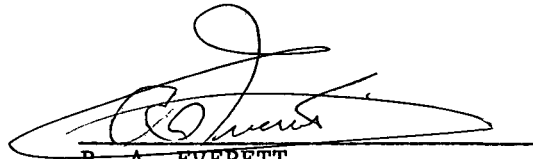
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**CITY OF BRAMPTON
Law Department
150 Central Park Drive
Brampton, Ont. L6T 2T9**

CERTIFICATE UNDER SECTION 35(27) OF THE PLANNING ACT

I, RALPH A. EVERETT, hereby certify that the notice for By-law 299-81 of The Corporation of the City of Brampton, passed by the Council of the Corporation on the 14th day of December, 1981 was given in the manner and form and to the persons prescribed by regulation made by the Lieutenant Governor-in-Council under subsection 24 of section 35 of The Planning Act. I also certify that the 21 day objection period expired on January 27th, 1982 and to this date no notice of objection or request for a change in the provisions of the by-law has been filed by any person in the office of the clerk.

DATED at the City of Brampton this 29th day of January, 1982.


R. A. EVERETT
CITY CLERK

NOTE: Subsection 35(25) of The Planning Act (R.S.O. 1970, c.349, as amended) provides as follows:

Where an official plan is in effect in a municipality and notice is given in the manner and form and to the persons prescribed by the regulations and no notice of objection has been filed with the clerk of the Municipality within the time prescribed by the regulations, the by-law thereupon comes into effect.