



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 180-80

To adopt Amendment Number 56 to
the Consolidated Official Plan of the
City of Brampton Planning area

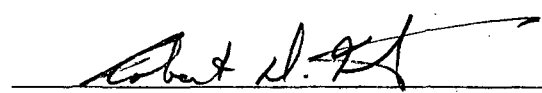
The Council of The Corporation of the City of Brampton, in accordance with the provisions of The Regional Municipality of Peel Act, 1973 and The Planning Act, hereby ENACTS as follows:

1. Amendment Number 56 to the Consolidated Official Plan of the City of Brampton Planning Area is hereby adopted and made part of this by-law.
2. The Clerk is hereby authorized and directed to make application to the Minister of Housing for approval of Amendment Number 56 to the Consolidated Official Plan of the City of Brampton Planning Area.

READ a FIRST, SECOND and THIRD TIME and Passed in Open Council

this 7th day of July, 1980.


James E. Archdekin, Mayor


Robert D. Tufts, Acting Clerk

DUPLICATE ORIGINAL

21 - OP - 0006 - 56

-4

AMENDMENT NUMBER 56
to the Consolidated Official Plan
of the City of Brampton Planning
Area

MISC. PLAN NO. 587

LODGED IN THE REGISTRY OFFICE
FOR THE COUNTY OF PEEL

1980 Sept 11, p.m. 2:31

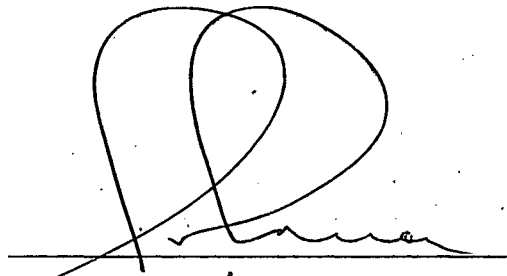
Kathleen Bayliss, D.L.R.
REGISTRAR OF DEEDS, COUNTY OF PEEL

1980 SEP 11 PM 2 31

Amendment No. 56
to the
Official Plan for the
City of Brampton Planning Area

This amendment to the Official Plan for the City of Brampton Planning Area which has been adopted by the Council of the Corporation of the City of Brampton, is hereby approved under section 17 of The Planning Act as Amendment No. 56 to the Official Plan for the City of Brampton Planning Area.

Date *Sept 2/80*



G. M. FARROW, Executive Director
Plans Administration Division
Ministry of Housing



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 180-80

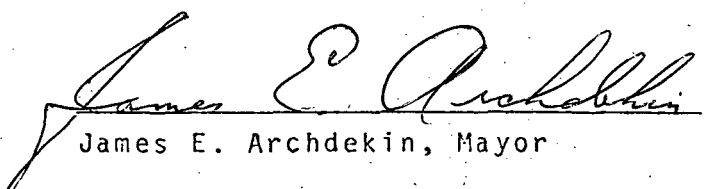
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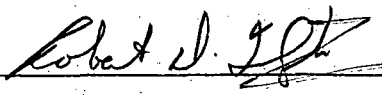
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READ a FIRST, SECOND and THIRD TIME and Passed in Open Council

this 7th day of July, 1980.


James E. Archdekin, Mayor


Robert D. Tufts, Acting Clerk

1. The purpose of this amendment is to redesignate certain lands as shown on Schedule A to this amendment within the City of Brampton Planning Area from Agriculture to Rural Settlement and to establish the appropriate development principles and the range of land uses which are to be permitted.
2. (a) Plate Number 1 of the Consolidated Official Plan of the City of Brampton Planning Area is hereby amended by changing the chapter reference of the lands subject to the amendment, as shown on Schedule A of this amendment, from Chapter C1 to Chapter C54.

(b) Plate Number 2 of the Consolidated Official Plan of the City of Brampton Planning Area is hereby amended by changing the designation of the lands subject to the amendment, as shown on Schedule A of this amendment, from Agriculture to Rural Settlement.
3. The Consolidated Official Plan of the City of Brampton Planning Area is hereby further amended by adding thereto, as Chapter C54, the text set out below:

"CHAPTER C54

1.0 Purpose

The purpose of this chapter is to permit certain lands designated as Rural Settlement to be used for rural settlement purposes.

2.0 Location

The lands affected comprise part of the east half Lot 17, Concession 6, East of Hurontario Street, formerly in the Township of Chinguacousy, now within the City of Brampton.

The parcel encompasses an area of 0.94 hectares with a frontage along Airport Road of 84.9 metres and a frontage along the 17th Sideroad of 86.9 metres.

3.0 Definition

Rural Settlement use area means lands which are intended to be used for purposes relating to the setting within a rural settlement. Permitted uses may therefore be residential, convenience commercial, service station, community services, village crafts and home workshops.

4.0 Development Principles

4.1 The scale and design of development or re-development shall be compatible with the rural setting.

4.2 Development or re-development shall provide appropriate landscaping and fencing in order to minimize potential adverse impacts on surrounding land uses.

4.3 Off street parking spaces, in accordance with accepted standards for the uses proposed, shall be provided. The arrangement of parking spaces and traffic aisles shall have regard to the convenience of users of the site.

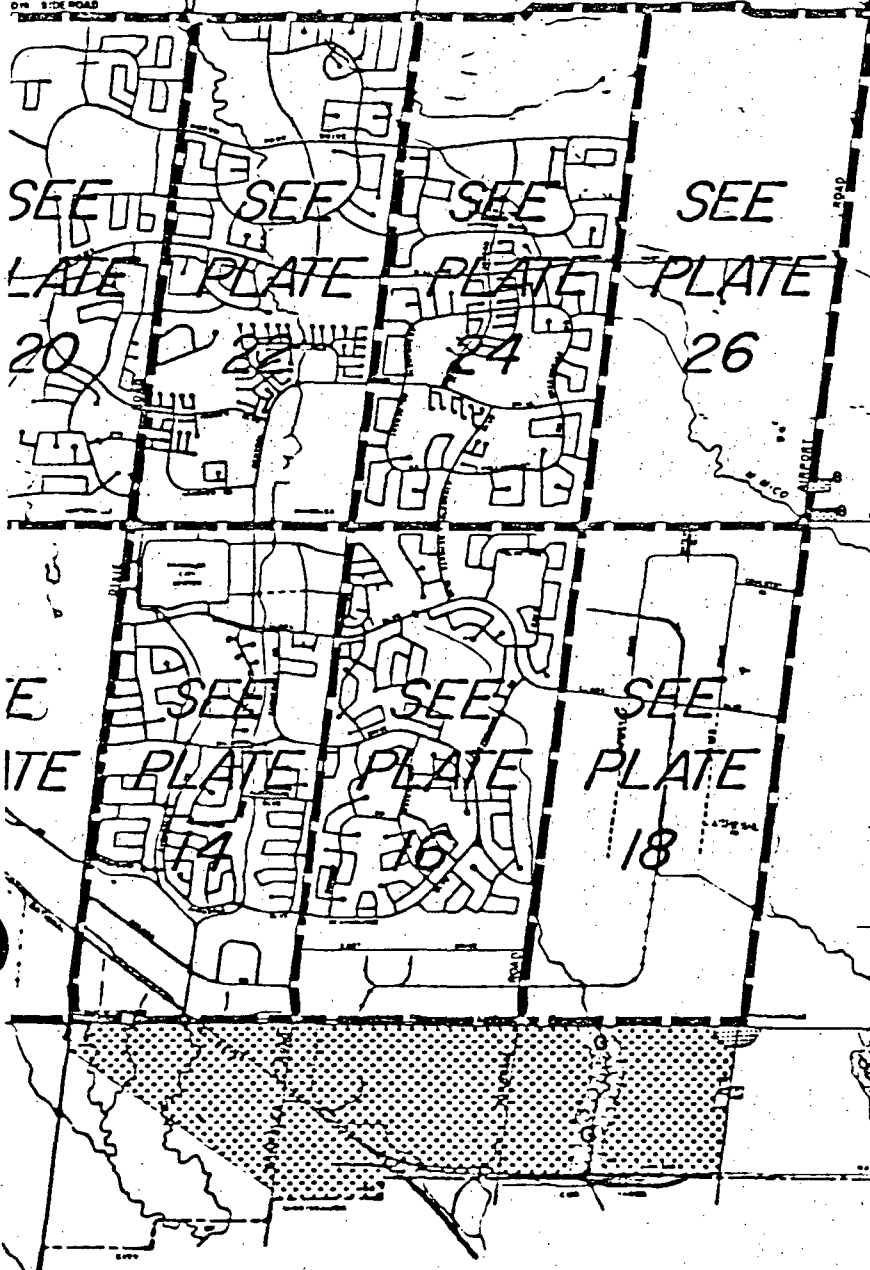
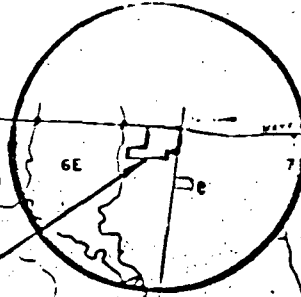
5.0 Implementation

5.1 This chapter will be implemented by an appropriate amendment to the Restricted Area By-law in such form which will impose the appropriate zone classification and regulations in conformity with the development principles outlined in Section 4.0

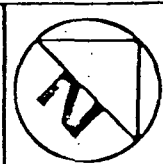
5.2 The corporation of the City of Brampton may require the owner of the lands to enter into one or more agreements incorporating various aspects of site and building design not implemented by the zoning by-law."



Redesignated from
AGRICULTURE to
RURAL SETTLEMENT



O.P. AMENDMENT No. 56
SCHEDULE A



1:500000

CITY OF BRAMPTON
Planning and Development

Date: 1979 11 09 Drawn by: ps
File no. 06E17.1 Map no. 12-11

BACKGROUND MATERIAL

Attached are copies of the following:

1. a report of the Planning Director dated April 4, 1975;
2. notes of a public meeting of Planning Committee held July 3, 1975, subsequent to the publishing of notices in local newspapers and the mailing of notices to the assessed owners of properties within 122 metres of the subject site;
3. a report of the Director of Planning and Development Services dated 1979 11 08;
4. notes of a public meeting of Planning Committee held December 11, 1979, subsequent to the publishing of notices in local newspapers and the mailing of notices to the assessed owners of properties within 122 metres of the subject site.

PUBLIC MEETING

Robert and Mary Grant

Part of lot 17, Con. 6, E.H.S.

A Special Planning Committee meeting of the City of Brampton was held on July 3rd, 1975, at Ebenezer Hall in Toronto Gore commencing at 9:00 p.m. to hear representation on a proposal to amend the Official Plan and Restricted Area By-law.

Members Present were: F.R. Dalzell - Chairman

M. Robinson - Councillor

K.G. Whillans - Councillor

Staff Present: L.W.H. Laine - Director of Planning

Four members of the public were present.

The Chairman inquired if any person present were in attendance to object or to ask questions. There was no questions or objections recorded. The Chairman adjourned the meeting at 9:03 p.m.

July 10th, 1975

To: Chairman and Members of the Planning Committee

From: Planning Director

Re: Application to Amend the Official Plan
and Restricted Area By-law
Part of Lot 17, Concession 6 E.H.S.
(Chinguacousy Township)
Mary and Robert Grant
Our File C6E17.1

A public meeting was held on July 3rd, 1975 at Ebenezer Hall and no objections, comments or questions were recorded (See attached notes).

It is recommended that Planning Committee recommend to Council that staff be authorized to prepare the Official Plan amendment, draft restricted area by-law and development agreement.



L.W.H. Laine

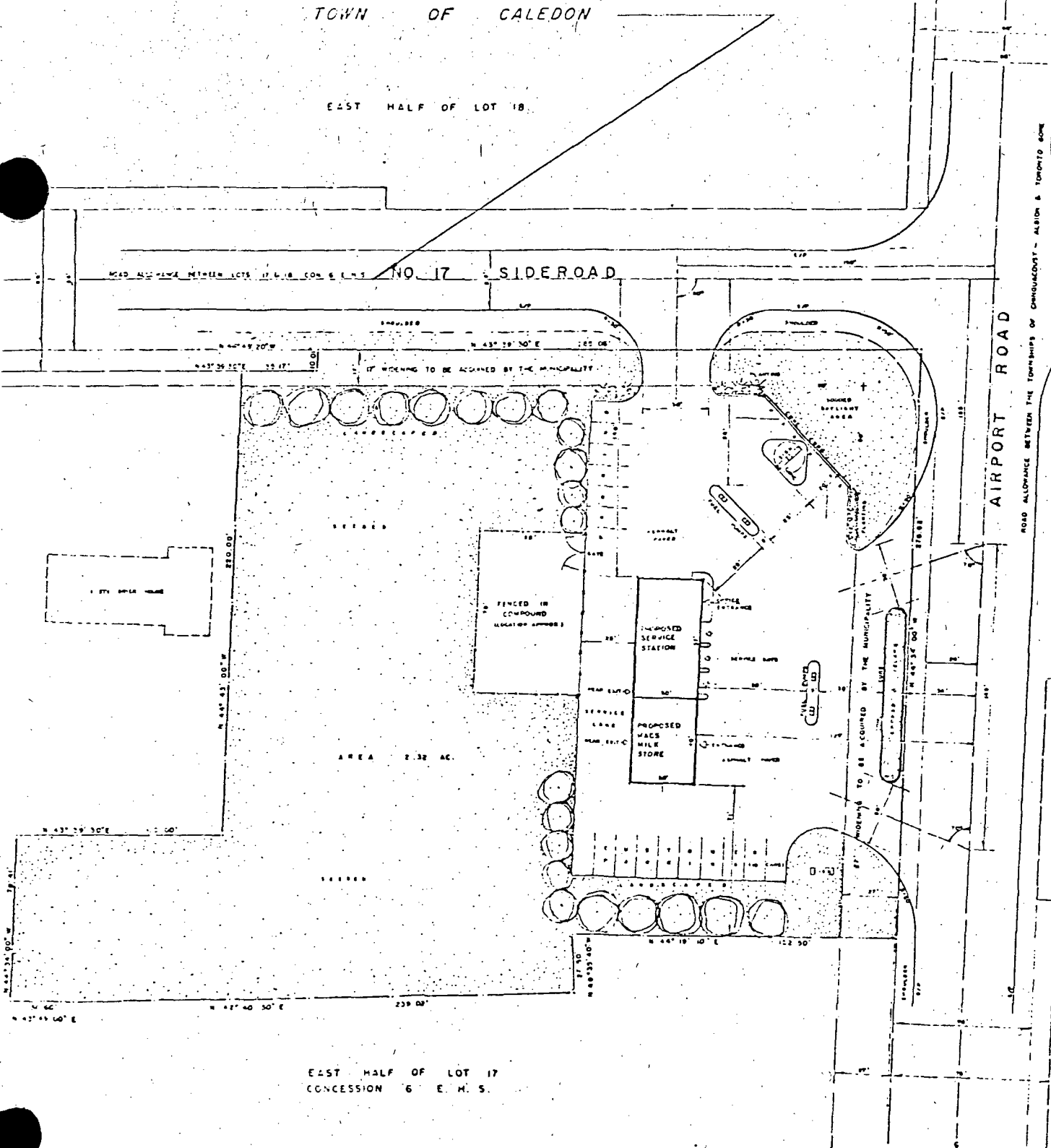
Planning Director

LWHL/pd

cc A.K. Macdonald

TOWN OF CALEDON

EAST HALF OF LOT 18



EAST HALF OF LOT 17
CONCESSION 6 E.M.S.

LEGEND

PROPOSED SITE PLAN

APPLICATION

ROBERT & MARY GRANT
CGE17-1

DATE FEB. 7, 1975

DWN. BY c. l.

SCALE
 0 10' 20' 40' 80'
 1" = 40'

April 4th, 1975

To: J. Galway
Senior Administrative Officer

From: The Director of Planning

Re: Application to Amend the Official Plan
and Restricted Area By-law
Part of Lot 17, Concession 6, E.H.S.,
Robert and Mary Grant
Our File: C6E17.1

1.0 Background: At the November 18th, 1974, meeting of the Planning Committee a report of the Planning Department was reviewed which recommended that the existing uses be recognized and that the premises be permitted to be redeveloped subject to a number of conditions. Miss Dolores Morrell appeared before the Committee on behalf of the applicant with respect to the quantity of the road widening required for regional road purposes.

The Planning Committee adopted a recommendation that the application to amend the Official Plan and Restricted Area By-law be deferred until such time that a site plan is produced. The site plan now has been received and circulated for comment.

2.0 Location and Size: The subject property is located in part of the east half of Lot 17, Concession 6, E.H.S., (Township of Chinguacousy) at the south-west corner of the intersection of Airport Road and 17th Sideroad.

The lands are 2.32 acres in size with frontage onto Airport Road of about 278.6 feet and onto 17th Sideroad of 320.2 feet.

3.0 Proposal: The existing buildings, structures and uses of a service station with a one-bay repair garage, gas pumps, towing service, limited storage of damaged cars and a single family dwelling and grocery store will be reconstructed and relocated more distant from the property lines.

While the site plan indicates a proposed Mac's Milk store, the intention is to accommodate this type of retail outlet dispensing groceries and related products. A copy of the site

plan as submitted, at a reduced scale is attached for information.

- 4.0 Comments: The circulation of the site plan has not produced serious objections to the proposal. The applicant has indicated that the earlier objections respecting the quantity of road widening to be dedicated gratuitously to the Region of 17 feet on 17th Sideroad and 27 feet on Airport Road will no longer be an issue.

The comments from the Region of Peel Public Works and Planning Departments are noted herein:

Public Works:

- 1) A 27 foot widening on both 17th Sideroad and Airport Road with a 50 foot daylight triangle shall be dedicated to the Region.
- 2) The entrances as shown are satisfactory. However, access at any or all locations may be restricted to right turns only sometime in the future.
- 3) The sodded island between the two entrances on Airport Road shall be placed adjacent to the relocated street line on private lands.
- 4) A grading plan shall be submitted prior to construction showing access grades and roadside drainage.
- 5) If it is necessary to relocate traffic control equipment due to construction on the site, the cost of this work shall be borne by the developer.

Planning:

It would appear that 2.32 acres of Commercial land is excessive both for this general location and for the service station and corner store facility proposed.

The City Engineering Department has requested that above ground drainage be subject to approval when detailed plans are available.

- 5.0 Comment Review: The engineering comments are not unusual except for the increase in road widening from 17 feet to 27 feet on 17th Sideroad. This additional requirement right to be

reconfirmed by regional staff as the extra 10 feet of road widening is a change to the earlier comments.

The comment of the regional Planning Department respecting the excessive size of the commercial land use proposal should be considered in recognition of (a) the approximate 0.3 acres of land to be dedicated for road widening, (b) proposed landscaping to be provided and (c) use of the landscaped area to the west and rear of the buildings for septic tank tile field and well location. Not much land will be surplus to accommodate the proposed uses.

6.0 Conclusion: The receipt of the site plan and comments received thereto have not altered planning staff's opinion that the property be redeveloped subject to conditions. An Official Plan Amendment is required to permit the redevelopment of the lands for commercial use.

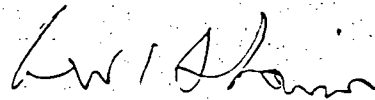
The conditions of the redevelopment of the land that should apply are:

- (1) Approval of the Ministry of the Environment that adequate site area and proper soil conditions exist for self-contained on-site water supply and sewage disposal facilities.
- (2) Conveyance of land or an undertaking satisfactory to the Region that will provide for the adequate widening of 17th Sideroad and Airport Road.
- (3) Enactment and approval of a site plan restricted area by-law to permit the use of the property for a service station/towing service and a retail grocery store.
- (4) An agreement between the applicant and the City to ensure that matters respecting drainage and landscape treatment and maintenance are provided for.

It is recommended that:

Planning Committee receive the site plan as submitted by the applicant and set a date, time and location for a public meeting prior to the submission for a consolidated staff

report including a draft of an Official Plan Amendment,
restricted area by-law and development agreement.



L.W.H. Laine
Planning Director

LWHL/ds
Encl.

c:c A.K. Macdonald

1979 12 12

To: The Chairman and Members of Planning Committee

From: Director, Planning and Development Services

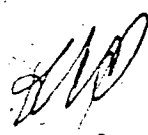
Re: Application to Amend the Official
Plan and Restricted Area By-law
Part of Lot 17, Conc. 6 EHS
(Former Township of Chinguacousy)
ROBERT AND MARY GRANT
Our File: C6E17.1

Attached are the notes of the Public Meeting held on Tuesday, December 11, 1979, in the Council Chambers, with respect to the above noted application.

A verbal submission by Mr. John Mylod, owner of the premises abutting the south boundary of the subject property, noted his concerns regarding glare of lights from site illumination, noise from motor vehicles, paper debris, road snow plowing, depreciation of property value and rezoning procedure. Those matters which can be addressed through the development agreement and site plan approval process regarding fencing, landscaping, parking lot location and direction of lighting should alleviate the potential problems that are controllable by City Council.

It is recommended that Planning Committee direct staff to prepare and submit for the consideration of City Council, the Official Plan Amendment, Zoning By-law Amendment and the Development Agreement.

AGREED


F. R. Dalzell,
Commissioner of Planning
and Development

L.W.H. Laine,
Director, Planning and
Development Services

WHL/ec
ached

PUBLIC MEETING

A Special Meeting of Planning Committee was held in the Municipal Council Chambers, 24 Queen Street East, Brampton, Ontario, on Tuesday, December 11, 1979, commencing at 8:00 p.m., with respect to an application by Robert and Mary Grant to amend the Official Plan and Restricted Area By-law so that the existing building can be expanded and relocated on the same site in a new building.

Members Present: Councillor D. Sutter - Chairman
Alderman T. Piane
Alderman F. Kee
Alderman K. Coutlee
Councillor P. Robertson

Staff Present: F.R. Dalzell, Commissioner of Planning and Development
L.W.H. Laine, Director, Planning and Development Services
J. Singh, Development Planner
W. Winterhalt, Policy Planner
J.A. Marshall, Director of Planning Policy and Research
E. Coulson, Secretary

Approximately 42 members of the public were present.

The Chairman enquired if all the notices to the property owners within 400 feet of the site were sent, and whether the notification was placed in the local newspapers. Mr. Dalzell replied in the affirmative.

Mr. Laine outlined the proposal and explained the intent of the application. After the close of the presentation, the Chairman invited questions and comments from the members of the public in attendance.

Mr. John Mylod, a neighbour to the south voiced several concerns as follows:

- a) the proximity of the proposed parking lot to his property denoted more noise pollution;
- b) increased lighting of the area, which he considers too bright at present;
- c) the problem of garbage;

- Cont'd. -

- d) snow removal;
- e) the possible loss of value of his property; and
- f) the procedure for having his property re-zoned.

Mr. Laine responded, that the lights would be directed away from the abutting properties, and illumination would be kept to a minimum; the screening and fencing would be a matter of density agreement; landscaping would be involved; and that the snowplowing would be mentioned to the Region.

There were no further questions or comments.

Councillor Sutter noted that any further questions or comments may be directed to the Planning and Development Department or to the Planning Committee at its meeting to be held on December 17th, 1979.

The meeting was adjourned at 8:15 p.m.

INTER-OFFICE MEMORANDUM

Office of the Commissioner of Planning and Development

1979 11 08

TO: The Chairman of Development Team

FROM: Director, Planning & Development Services.

RE: Application to Amend the Official Plan
and Restricted Area By-law.
Part of Lot 17, Concession 6, E.H.S.
(former Township of Chinguacousy)
ROBERT AND MARY GRANT
Our File: C6E17.1

1.0 Introduction

The subject application was approved, subject to conditions, by City Council on July 14, 1975. The applicants did not proceed at that time however, due to a difference of opinion with the Region of Peel over road widenings. The Region has recently resolved this issue, therefore the application can proceed to be processed at this time.

2.0 Background

The subject site, totalling 0.94 hectares (2.39 acres) in area, is located at the southwest corner of the 17th Sideroad and Airport Road, within the hamlet of Tullamore. The site is presently occupied by a service station and convenience store which are located in an old brick building sited extremely close to the intersection.

The applicant proposed that the Official Plan and zoning by-law be amended so that the existing legal non-conforming use can be expanded and relocated on the same site.

...2/

2.0 Background (cont'd)

The application was recommended for approval on April 4, 1975, by Planning Committee and a public meeting was held on July 3, 1975. At that meeting no questions were raised and no objections were lodged. On July 14, 1975, Council directed staff to prepare the documents to implement the approval of the application. The Region of Peel Public Works Department, however, had requested road widenings of 27 feet in width on both the 17th Side-road and Airport Road. The applicant apparently disagreed with this requirement, therefore the development agreement, official plan amendment and zoning by-law amendment were not processed.

On June 28, 1979, the Region of Peel Council passed a resolution with the effect that the road widening on 17th Sideroad may be 17 feet, and the widening on Airport Road will be 27 feet. The applicant has therefore requested that the agreement and amendments to the Official Plan and zoning by-law be processed at this time.

3.0 Comments

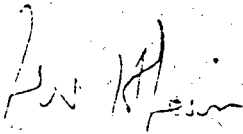
Staff are proceeding to update the Official Plan and zoning by-law amendments and the development agreement. However, there is some uncertainty regarding the necessity for another public meeting to be held. Four years have lapsed since the previous public meeting, therefore there may be a need for another meeting to be held despite the fact that no new houses have been built

3.0 Comments (cont'd)

in the area during that time period. The Ministry of Housing and the Region of Peel have indicated that they consider another public meeting would be desirable.

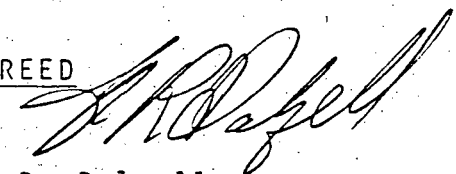
4.0 Recommendation

It is recommended that Planning Committee direct staff as to whether or not a new public meeting should be held with regard to the subject application.


L.W.H. Laine
Director, Planning and
Development Services.

LWHL/EG/af

AGREED


F. R. Dalzell,
Commissioner of Planning
and Development

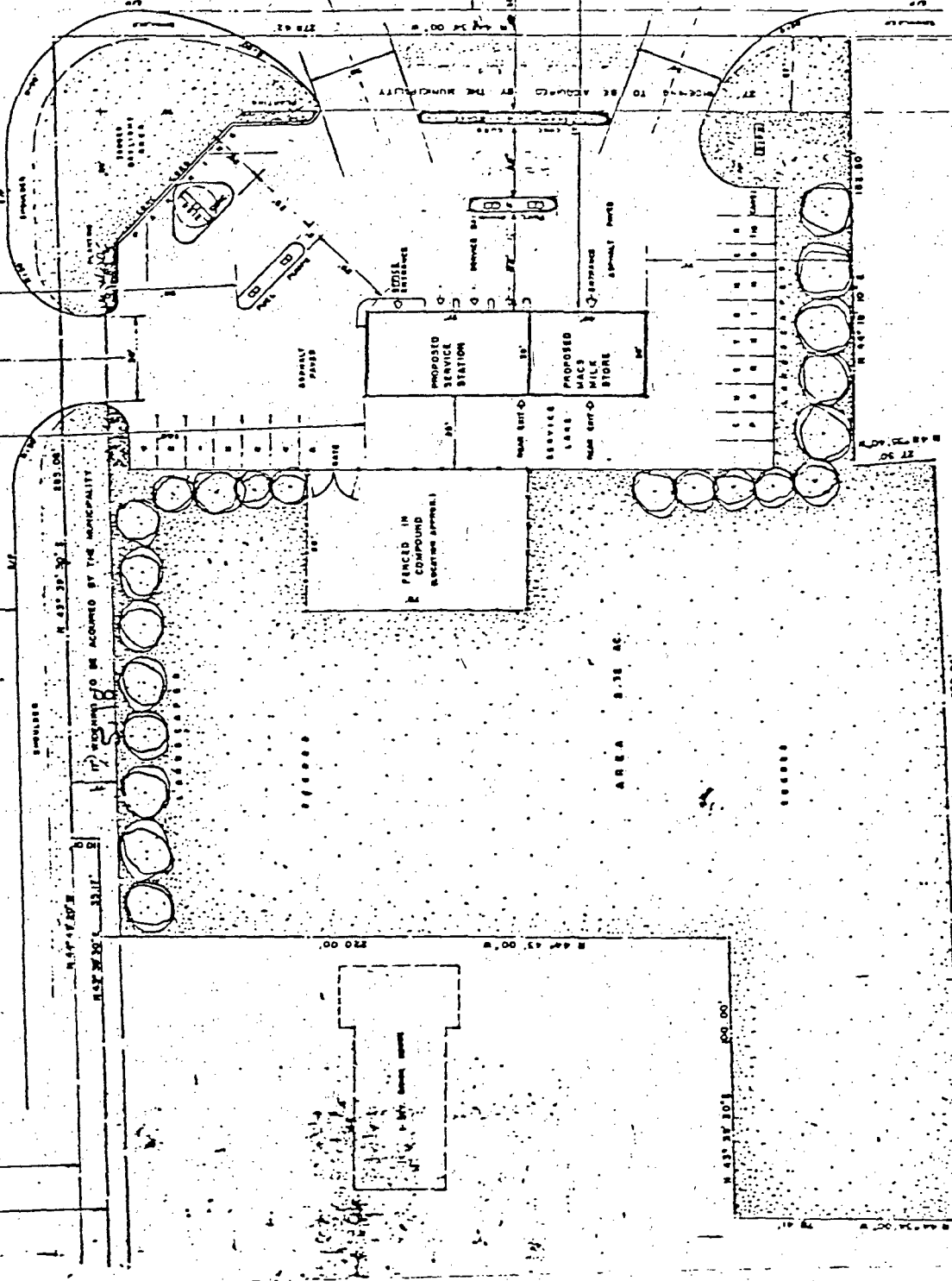
AIRPORT ROAD

SIDEROAD

NO 17

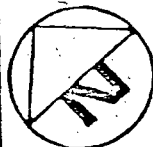
ROAD ALIGNED BETWEEN LOTS 17 & 18 50M E.L.M.E.

ROAD ALIGNED BETWEEN LOTS 17 & 18 50M E.L.M.E.



EAST HALF OF LOT 17
CONCESSION S. E. H. S.
CHINGUACOUSY

Robert and Mary Grant
PROPOSED SITE PLAN



1:715

CITY OF BRAMPTON
Planning and Development

Date: 1979 11 07 Drawn by: ps
File no. C6E17.1 Map no. 12-14