



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 178-2011

To amend Zoning By-law 270-2004, as amended

The Council of The Corporation of the City of Brampton ENACTS as follows:

1) By-law 270-2004, as amended, is hereby further amended:

(1) by changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

From:	To:
AGRICULTURAL (A)	RESIDENTIAL A (1) TOWNHOUSE - 2178 (R3A(1) - 2178).

(2) by adding thereto the following section:

"2178 The lands designated R3A(1) -2178 shall be used for townhouse dwelling units.

2178.1 Shall be subject to the following requirements and restrictions:

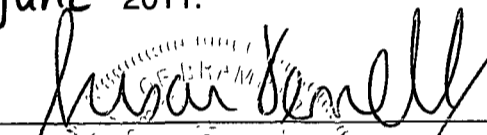
- (a) Maximum number of bedrooms in any dwelling unit: 2;
- (b) Maximum floor area per dwelling unit above established grade shall be 165 square metres;
- (c) Maximum building height not to exceed two storeys or 10.6 metres, whichever is lesser;
- (d) The front face of a dwelling unit shall have a minimum setback of 4.5 metres from the limits of a private road;
- (e) A porch shall have a minimum setback of 3.0 metres from the limits of a private road;
- (f) A garage shall have a minimum setback of 6.0 metres from the front face of a garage to the limits of the private road;

- (g) Minimum Outdoor Living Area: 30 square metres per dwelling unit;
- (h) A minimum of 2.0 parking spaces per dwelling unit;
- (i) No visitor parking spaces are required;
- (j) The minimum rear yard setback for a dwelling located on the north side of Lacorra Way shall be 9 metres.

2178.2 For the purpose of this by-law a Private Road shall mean a road which is not owned and maintained by The Corporation of the City of Brampton, The Regional Municipality of Peel, or by the Crown in Right of Ontario.

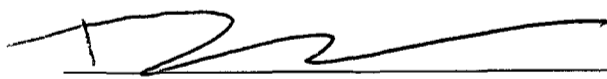
2178.3 For the purpose of this by-law the Limits of a Private Road shall mean the paved surface of a roadway, including any associated curb or sidewalk."

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL, this 22nd day of June 2011.

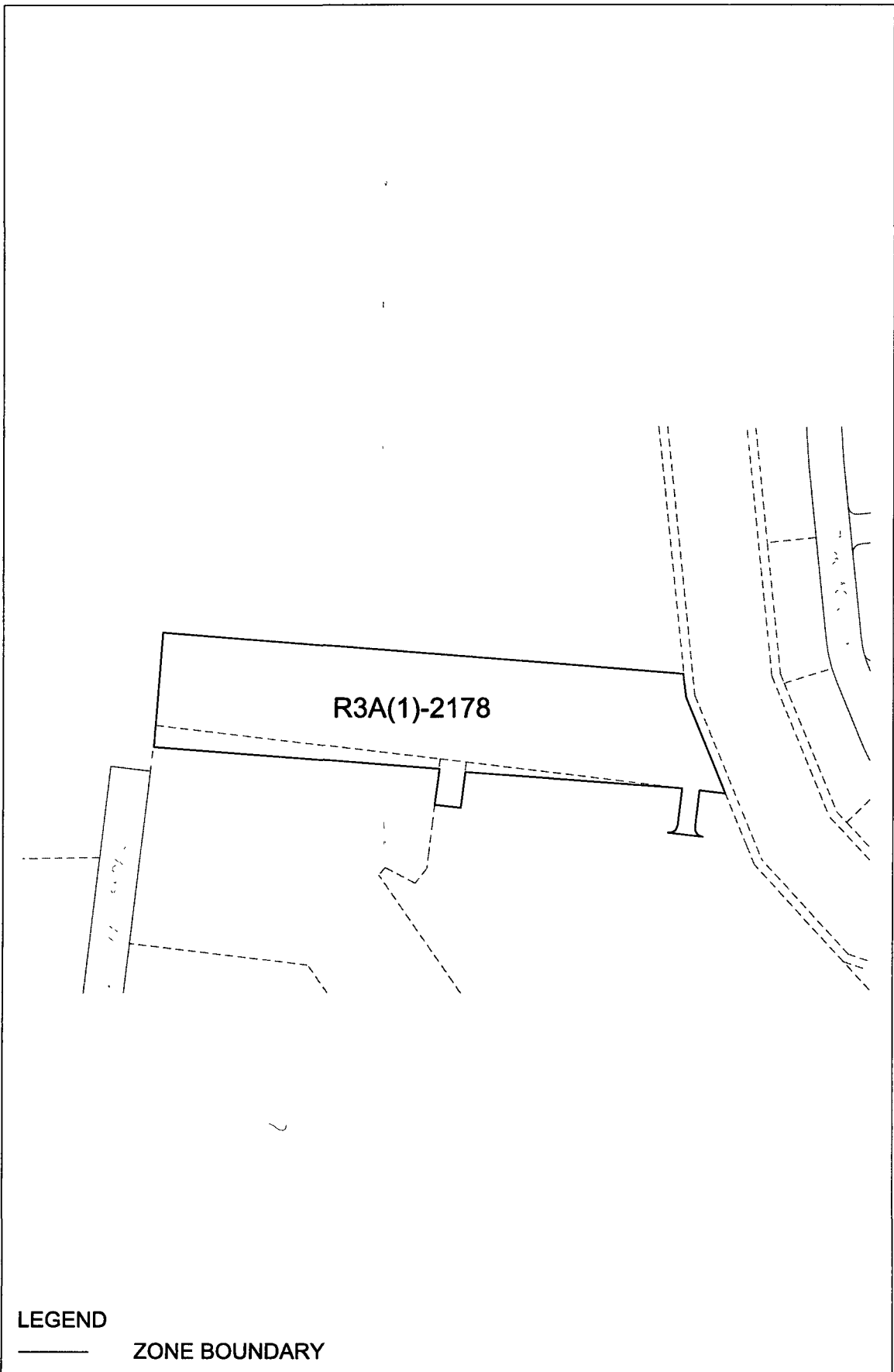

 SUSAN FENNELL - MAYOR


 PETER FAY - CITY CLERK

Approved as to Content


 Dan Kraszewski, MCIP, RPP
 Director, Land Development Services.

APPROVED AS TO FORM LAW DEPT. BRAMPTON			
<i>M. Rea</i>			
DATE	07	06	11



LEGEND

—— ZONE BOUNDARY

PART LOTS 14 & 15, CONCESSION 3 E.H.S.



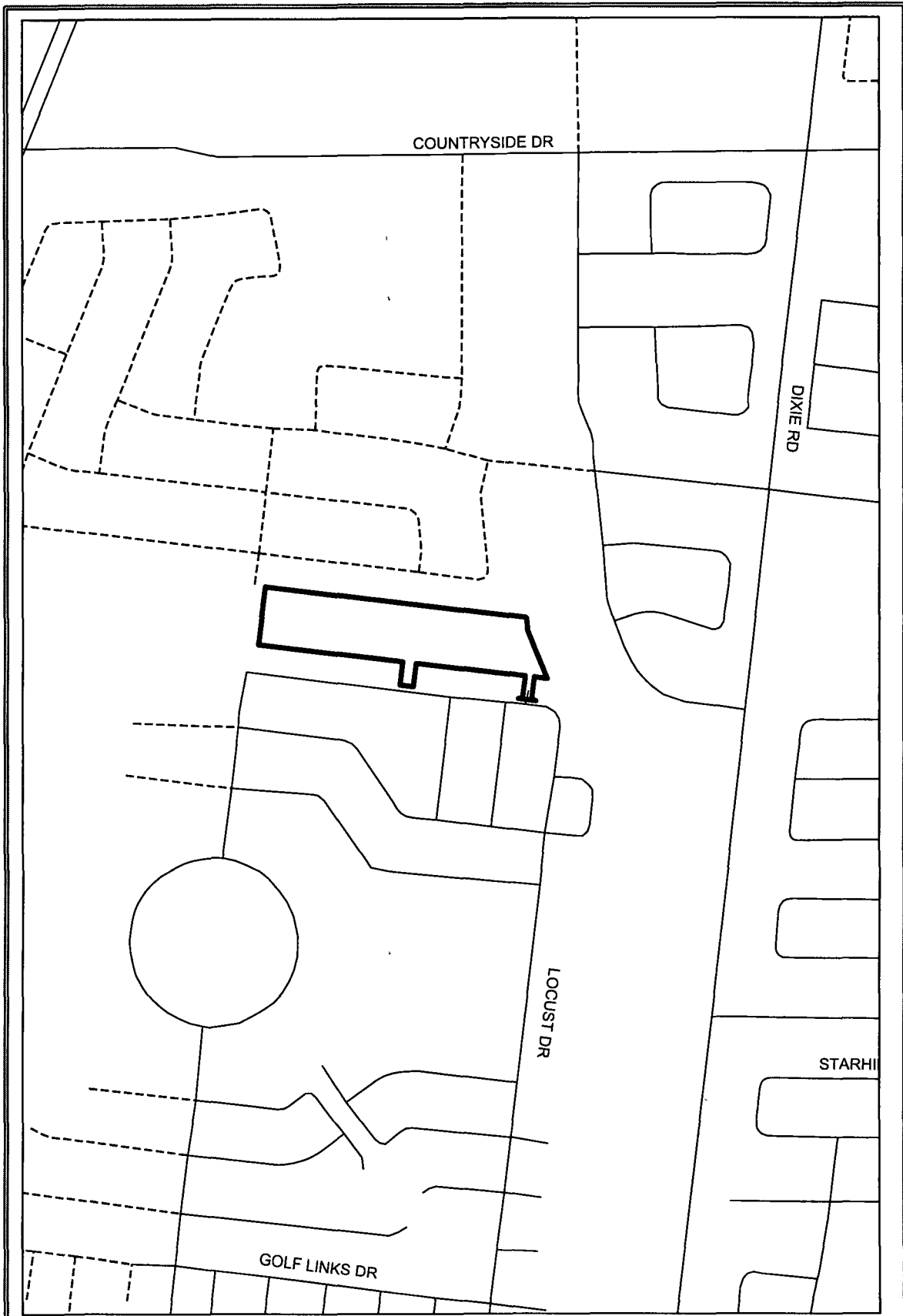
CITY OF BRAMPTON
Planning, Design and Development

Date 2011 05 30 Drawn by CJK

By-Law 178-2011

Schedule A

File no C03E15 008_zbla



SUBJECT LANDS
 BUILT STREETS
 PROPOSED STREETS

FLOWER CITY

 PLANNING,
 DESIGN &
 DEVELOPMENT
 BRAMPTON, ONT.

Date 2011/05/30 Drawn By CJK
 File C03E15 008_zkm

Key Map By-Law 178-2011