



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 177-2012

To Adopt Amendment Number OP 2006- 069
To the Official Plan of the City of Brampton Planning Area

The Council of The Corporation of the City of Brampton, in accordance with the provisions of the Planning Act, R.S.O. 1990, c.P. 13, hereby ENACTS as follows:

1. Amendment Number OP2006 - 069 to the Official Plan and Chapter 41 (Bram East Secondary Plan) to implement a new Special Policy Area is hereby adopted and made part of this by-law.

READ a FIRST, SECOND and THIRD TIME, and PASSED in OPEN COUNCIL, this 20th day of June, 2012.

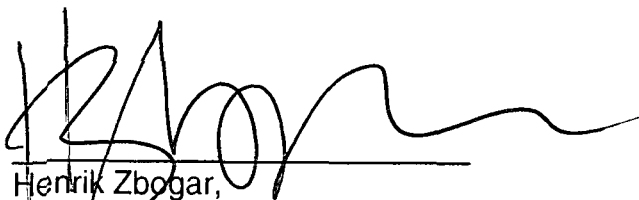


 SUSAN FENNELL - MAYOR



 PETER FAY - CLERK

Approved as to Content:



Henrik Zbogor,
Acting Director, Planning Policy and Growth Management

APPROVED AS TO FORM LAW DEPT BRAMPTON	
J.T.	
DATE	05/06/12

AMENDMENT NUMBER OP2006 - 069

to the Official Plan of the
City of Brampton Planning Area

1.0 PURPOSE

The purpose of this amendment is to revise The Official Plan and Chapter 41 (the Bram East Secondary Plan) to recognize the unique commercial and retail environment that has evolved on the lands bound by Ebenezer Road to the north, Nexus Avenue to the east, Fogal Road to the south and The Gore Road to the west.

This amendment proposes a Special Policy Area to expand the range of non-industrial uses under the "Mixed Commercial/Industrial" designation of the Secondary Plan in order to permit an appropriate mix of uses that best utilize the built form and market potential of the subject lands. The proposal to expand the range of non-industrial uses within a Special Policy Area to align existing zoning with the prevailing land use designation of the Bram East Secondary Plan.

2.0 LOCATION

The subject lands comprise an area of about 10.15 hectares (25.07 acres) in south-east Brampton, and are bound by Ebenezer Road to the north, Nexus Avenue to the east, Fogal Road to the south and The Gore Road to the west. The lands are generally described as being Concession 10 N.D., Lot 5 in the geographic Township of Gore, now in the City of Brampton.

The lands subject to this amendment are identified on Schedule A to this amendment.

3.0 AMENDMENT AND POLICIES RELATIVE THERETO

3.1 The document known as the Official Plan of the City of Brampton Planning Area, is hereby further amended:

(1) By adding to the list of amendments pertaining to Secondary Plan Area Number 41: Bram East Secondary Plan as set out in Part II: SECONDARY PLANS thereof, Amendment Number OP2006-069;

3.2 The portions of the document known as the 1993 Official Plan of the City of Brampton Planning Area which remains in force, as they relate to the Bram East Secondary Plan, being Part II of the City of Brampton Official Plan that remains in force, are further amended:

(1) by adding to the legend on Schedule SP41(a), the following designations as shown on Schedule 'A' to this amendment;

- (2) by adding Special Policy Area 16 to the lands on Schedule SP41(a) as shown on Schedule 'A' to this amendment;
- (3) by adding after Section 3.5, the heading Special Policy Area 16 (The Gore Road and Ebenezer Road) and the following policies as Section 3.6:

“3.6 Special Policy Area 16

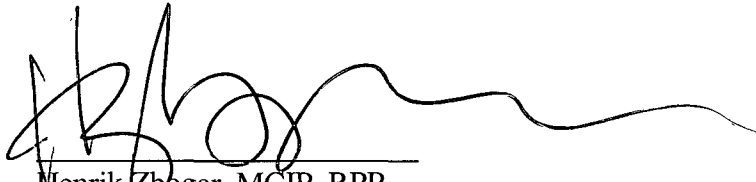
3.6.1 Special Policy Area 16 is bounded by Ebenezer Road to the north, Nexus Avenue to the east, Fogal Road to the south and The Gore Road to the west. The purpose of Special Policy Area 16 is to permit an expanded range of non-industrial uses than is otherwise specified by the “Mixed Commercial/Industrial” designation.

3.6.2 In addition to the uses currently permitted by the “Mixed Commercial/Industrial” designation of the Bram East Secondary Plan, lands within Special Policy Area 16 shall be used for a wider range of non-industrial uses to service the surrounding population base and business community and shall continue to be subject to the provisions of the zoning by-law for the subject lands.

The following non-industrial uses are permitted within Special Policy Area 16:

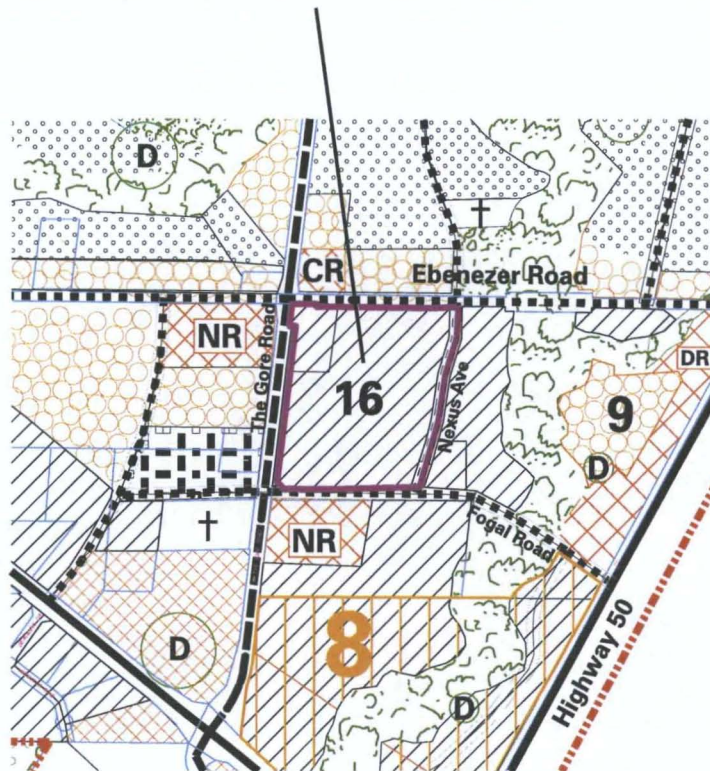
- (i) A bank/credit union/trust company;
- (ii) A commercial school (includes commercial, technical and recreation school);
- (iii) A day care centre/day nursery;
- (iv) A Service shop, including Personal and Business Services;
- (v) Office uses, including medical and dental;
- (vi) A pharmacy
- (vii) A health or fitness centre, including a place of commercial recreation;
- (viii) An animal hospital;
- (ix) A Place of Worship and related uses;
- (x) A Specialty food and grocery store, no greater than approximately 10,000 sq ft in gross floor area; and
- (xi) A private school.

Approved as to Content:

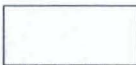


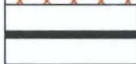







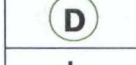

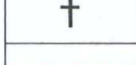

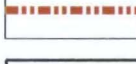

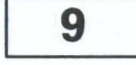

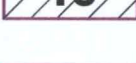
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Henrik Zbogor, MCIP, RPP
Acting Director, Planning Policy and Growth Management

"Special Policy Area 16" to be added



EXTRACT FROM THE BRAM EAST SECONDARY PLAN, SCHEDULE SP41(a)

	Low Density Residential		Convenience Retail
	Low / Medium Density Residential		Highway
	Medium Density Residential		Major Arterial
	Cluster / High Density Residential		Collector Road
	Office Node		Valleyland
	Mixed Commercial / Industrial		Storm Water Management Facility
	District Retail		Place Of Worship
	Neighbourhood Retail		Secondary Plan Boundary
	Special Policy Area 8 (Office Node - Mixed Commercial / Industrial)		Special Policy Area 9 (Medium Density Residential)
	Special Policy Area 16 ← To be added		
	Lands Subject to this Amendment		

OFFICIAL PLAN AMENDMENT OP2006 #.069

SCHEDULE A



CITY OF BRAMPTON
Planning, Design and Development

Date: DECEMBER 14/11 Drawn by: MA

File no. CI11.003