



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 177-2011

To amend By-law 270-2004, as amended

The Council of the Corporation of the City of Brampton ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:

(1) by changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

From:	To:
Residential Townhouse A(4) -128 (R3A(4) – 128)	Residential Townhouse A(4)(H) -2179 (R3A(4)(H)– 2179)

(2) by adding thereto the following section:

“2179 The lands designated R3A(4)(H)-2179 shall be subject to the following requirements and restrictions while the (H) is in effect for the subject lands:

- a) Shall be used for a single detached dwelling
- b) The east face of a dwelling unit shall have a minimum setback of 2 metres;
- c) The north face of a dwelling unit shall have a minimum setback of 8 metres;
- d) The west face of the dwelling unit shall have a minimum rear yard setback of 14 metres;
- e) The south face of a dwelling unit shall have a minimum setback of 20 metres.

2179.1 The Holding (H) symbol shall not be removed until the Toronto and Region Conservation Authority has indicated to the City that they are satisfied that potential flooding can be properly mitigated and have no

objection with further residential development occurring on the subject lands.

2179.2

Once the Holding (H) symbol has been lifted, the lands designated R3A(4)-2179 shall be subject to the following requirements and restrictions:

- a) Shall be used for a townhouse dwelling, semi-detached dwelling and single detached dwelling to an overall maximum of 3 dwelling units;
- b) The minimum interior side-yard setback shall be 2 metres;
- c) Notwithstanding 2179.2 (b) the north face of a dwelling unit shall have a minimum side yard setback of 8 metres;
- d) The minimum rear yard setback shall be 2 metres;
- e) The minimum front yard setback shall be 10 metres.

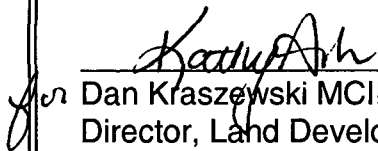
READ a FIRST, SECOND and THIRD TIME, and PASSED in OPEN COUNCIL,

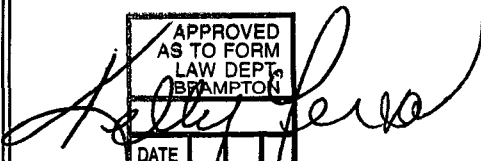
this 22nd day of June 2011.

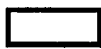
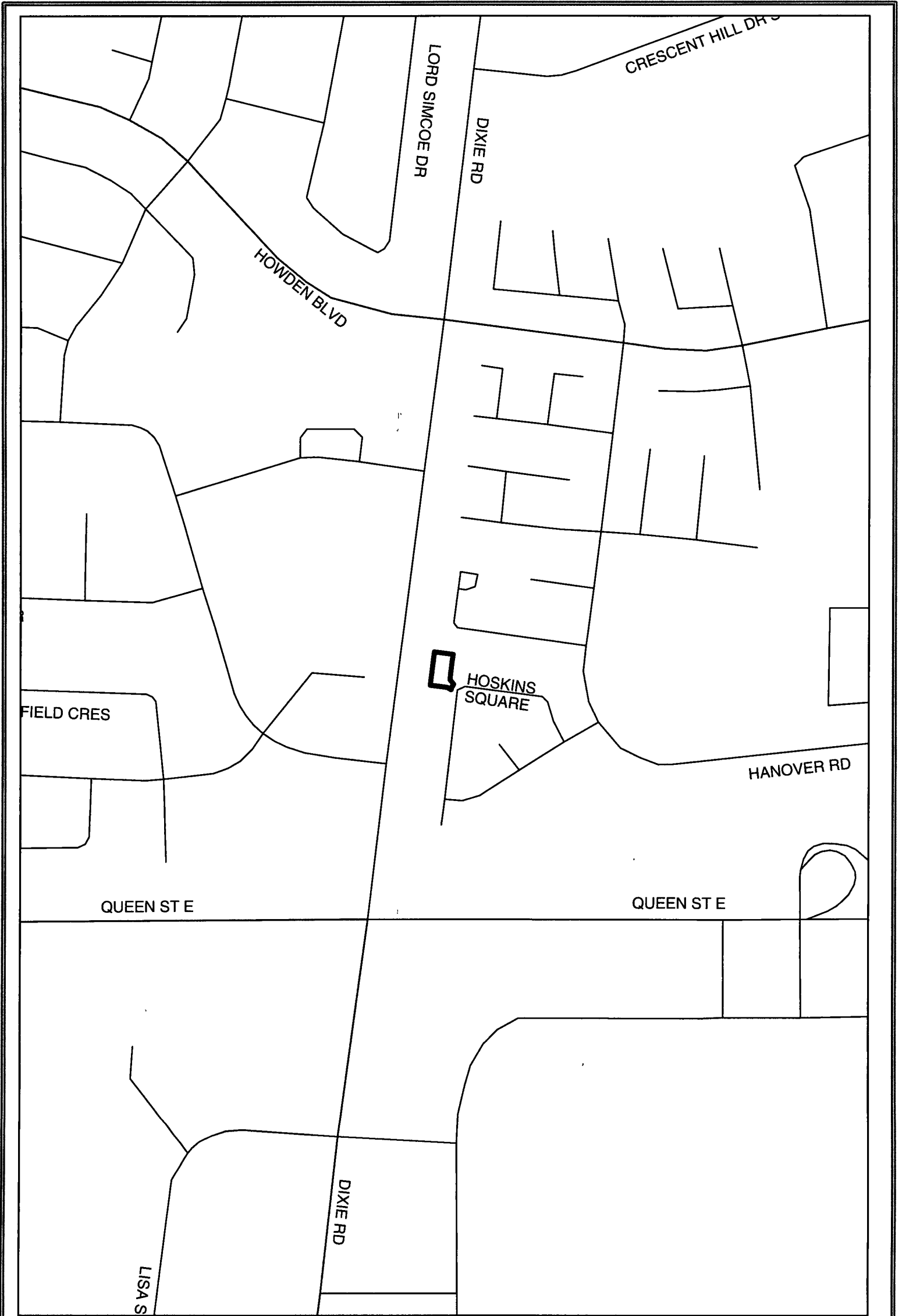

 SUSAN FENNELL - MAYOR


 PETER FAY - CITY CLERK

Approved as to Content:


 for Dan Kraszewski MCIP RPP
 Director, Land Development Services


 APPROVED AS TO FORM
 LAW DEPT.
 BRAMPTON
 DATE June 7/11



SUBJECT LANDS



BUILT STREETS



FLOWER CITY
 PLANNING,
 DESIGN &
 DEVELOPMENT

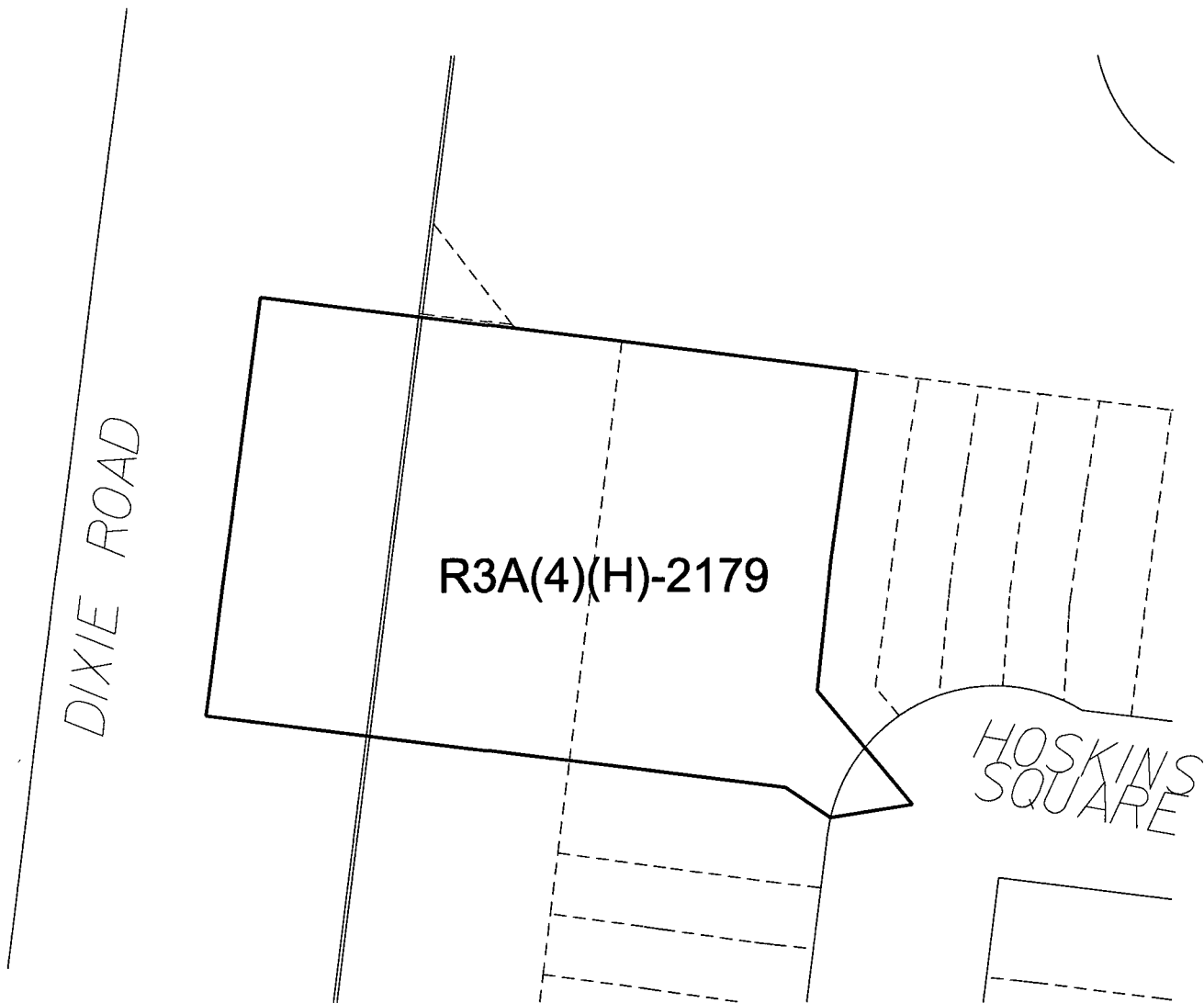


BRAMPTON CA

Date: 2011 06 02 Drawn By: CJK

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Key Map By-Law 177-2011



LEGEND

—— ZONE BOUNDARY

PART LOT 6, CONCESSION 4 E.H.S.

By-Law 177-2011

Schedule A



CITY OF BRAMPTON
 Planning, Design and Development

Date 2011 06 02

Drawn by, CJK

File no. C04E06.025zbla