



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW


Number 147-93

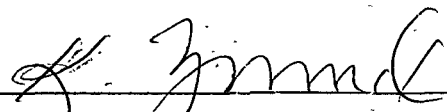
To Adopt Amendment Number 233
and Amendment Number 233 A
to the 1984 Official Plan of the
City of Brampton Planning Area

The council of The Corporation of the City of Brampton,
in accordance with the provisions of the Planning Act,
R.S.O. 1990, c.p. 13 hereby ENACTS as follows:


1. Amendment Number 233 and Amendment Number 233 A to the 1984 Official Plan of the City of Brampton Planning Area are hereby adopted and made part of this by-law.
2. The Clerk is hereby authorized and directed to make application to the Minister of Municipal Affairs for approval of Amendment Number 233 and Amendment Number 233 A to the 1984 Official Plan of the City of Brampton Planning Area.

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL, this 16th day of August, 1993.


 XXXXXXXXXXXXXXXXXXXX
 PAUL PALLESCHI ACTING MAYOR


 XXXXXXXXXXXXXXXXXXXX
 KATHRYN ZAMMIT DEPUTY CLERK

APPROVED
AS TO FORM
LAW DEPT
BRAMPTON

DATE 

Original

21-0P.-0031-233

AMENDMENT NUMBER 233

AND

AMENDMENT NUMBER 233 A

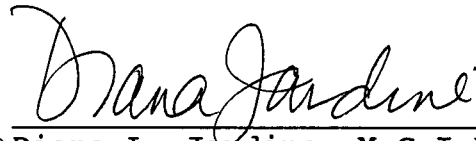
to the 1984 Official Plan of the
City of Brampton Planning Area

AMENDMENT NO. 233
AND
AMENDMENT NO. 233A

TO THE
OFFICIAL PLAN FOR THE
CITY OF BRAMPTON PLANNING AREA

This Amendment No. 233 and 233A to the Official Plan for the City of Brampton Planning Area, which was adopted by the Council of the Corporation of the City of Brampton, is hereby approved under Sections 17 and 21 of the Planning Act.

Date: 1993-11-05



Diana L. Jardine, M.C.I.P.
Director
Plans Administration Branch
Central and Southwest
Ministry of Municipal Affairs



ORIGINAL

THE CORPORATION OF THE CITY OF BRAMPTON

CERTIFIED A TRUE COPY

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BY-LAW

Deputy Clerk
City of Brampton

AUG 27 1993

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Number 147-93

To Adopt Amendment Number 233
and Amendment Number 233 A
to the 1984 Official Plan of the
City of Brampton Planning Area

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in accordance with the provisions of the Planning Act,
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1. Amendment Number 233 and Amendment Number 233 A
to the 1984 Official Plan of the City of Brampton
Planning Area are hereby adopted and made part of
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2. The Clerk is hereby authorized and directed to
make application to the Minister of Municipal
Affairs for approval of Amendment Number 233 and
Amendment Number 233 A to the 1984 Official Plan
of the City of Brampton Planning Area.

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN
COUNCIL, this 16th day of August, 1993.

[Signature: Paul Palleschi]
XXXXXXXXXXXXXXXXXXXXXXXXXXXX
PAUL PALLESCHI ACTING MAYOR

[Signature: Kathryn Zambit]
XXXXXXXXXXXXXXXXXXXXXXXXXXXX
KATHRYN ZAMBIT DEPUTY CLERK

APPROVED
AS TO FORM
LAW DEPT
BRAMPTON
[Signature]

05/93 **21-OP-0031-233**

AMENDMENT NUMBER 233 AND
AMENDMENT NUMBER 233 A
TO THE 1984 OFFICIAL PLAN OF THE
CITY OF BRAMPTON PLANNING AREA

1.0 Purpose:

The purpose of this amendment is to change the land use designation of the lands shown outlined on Schedule A to this amendment, from "Industrial" to "Commercial" and specifically to Service Commercial. This amendment is intended to:

- permit the development of an office with ancillary retail commercial uses: and,
- to provide principles for the development of the subject lands.

2.0 Location:

The lands subject to this amendment are located at the north-east side of Steeles Avenue and West Drive, being part of the east half of Lot 1, Concession 3, E.H.S., in the geographic Township of Chinguacousy, now in the City of Brampton.

3.0 Amendments and Policies Relative Thereto:

3.1 Amendment Number 233 :

The document known as the 1984 Official Plan of the City of Brampton Planning Area is hereby amended:

- (1) by changing, on Schedule "A" thereto, the land use designation of the lands shown outlined on Schedule A to this amendment, from "INDUSTRIAL" to "COMMERCIAL";
- (2) by adding to Schedule "F" thereto, the land use designation of "HIGHWAY and SERVICE COMMERCIAL", for the lands shown outlined on Schedule B to this amendment; and,
- (3) by adding, to the list of amendments pertaining to Secondary Plan Area Number 19 set out in subsection 7.2.7.19,

3.2 Amendment Number 233. A:

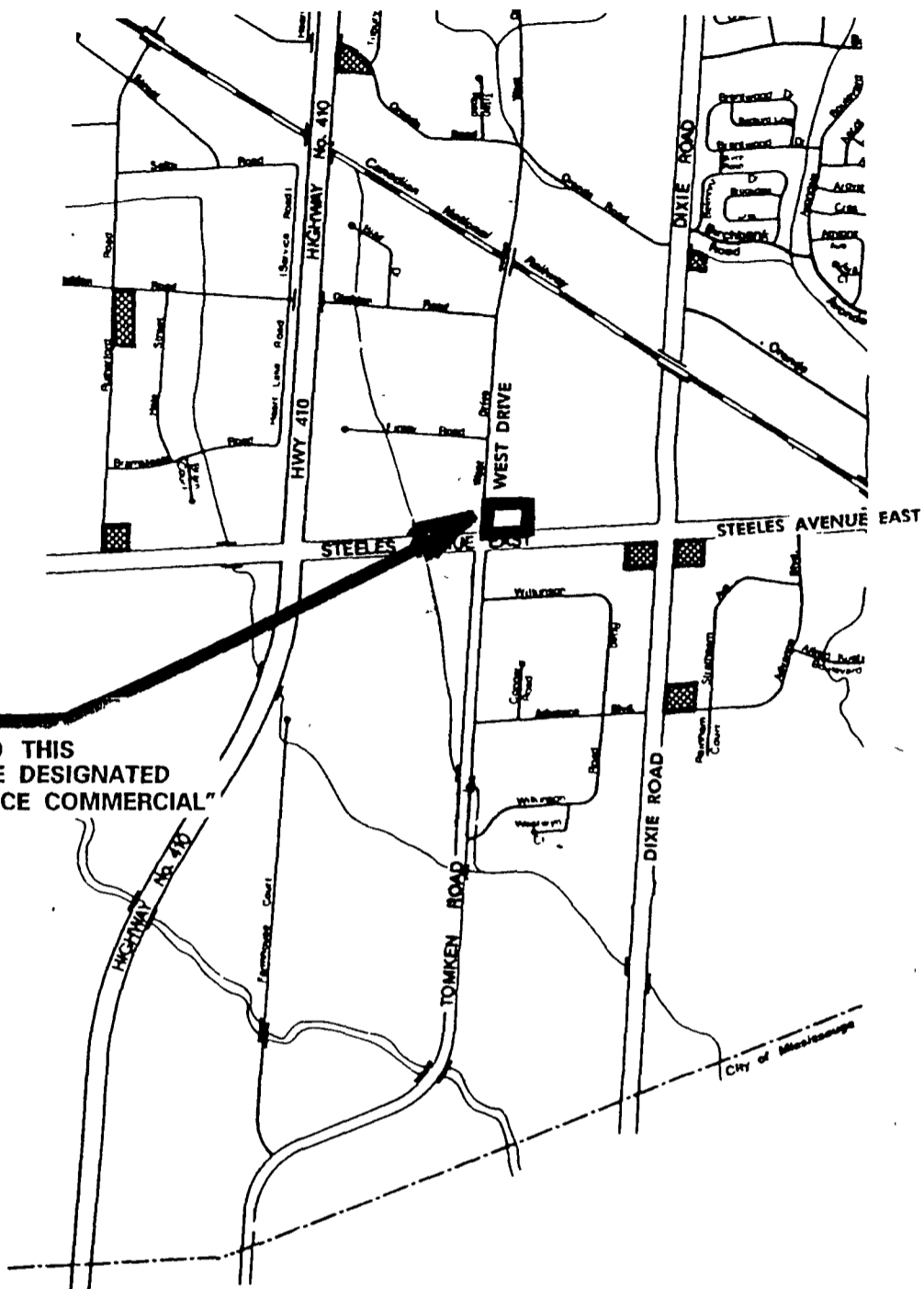
The document known as the Consolidated Official Plan of the City of Brampton Planning Area, as it relates to the Bramalea West Industrial Secondary Plan (being Chapter C34 of Section C of Part C, and Plate Number 12, of the Consolidated Official Plan of the City of Brampton Planning Area, as amended) is hereby further amended:

- (1) by changing, on Plate Number 12, the land use designation of the lands shown outlined on Schedule C to this amendment from "INDUSTRIAL LAND USE" to "SERVICE COMMERCIAL".
- (2) by adding, to Part C, Section C, Chapter C34, Section 2.6 thereof, the following:

"2.6.6 The lands located at the north-east corner of Steeles Avenue and West Drive designated for Service Commercial use, shall only be used for office purposes, and a limited range of accessory commercial uses in conjunction with offices. Commercial uses such as an adult entertainment parlour or a restaurant with drive through facilities shall not be permitted.

The location and design of access ramps shall be to the satisfaction of the road authority having jurisdiction.

Development of the lands shall be controlled by an appropriate zoning by-law amendment and the exercise of site plan control pursuant to Section 41 of the Planning Act, R.S.O. 1990 c.p. 13."



LANDS SUBJECT TO THIS AMENDMENT TO BE DESIGNATED "HIGHWAY & SERVICE COMMERCIAL"

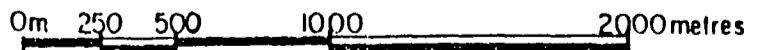
COMMERCIAL*
SCHEDULE 'F'



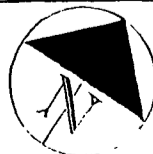
HIGHWAY & SERVICE COMMERCIAL

Date: MAY 1987

City of Brampton
Planning and Development Department



OFFICIAL PLAN AMENDMENT No. 233
OFFICIAL PLAN AMENDMENT No. 233 A



CITY OF BRAMPTON
Planning and Development

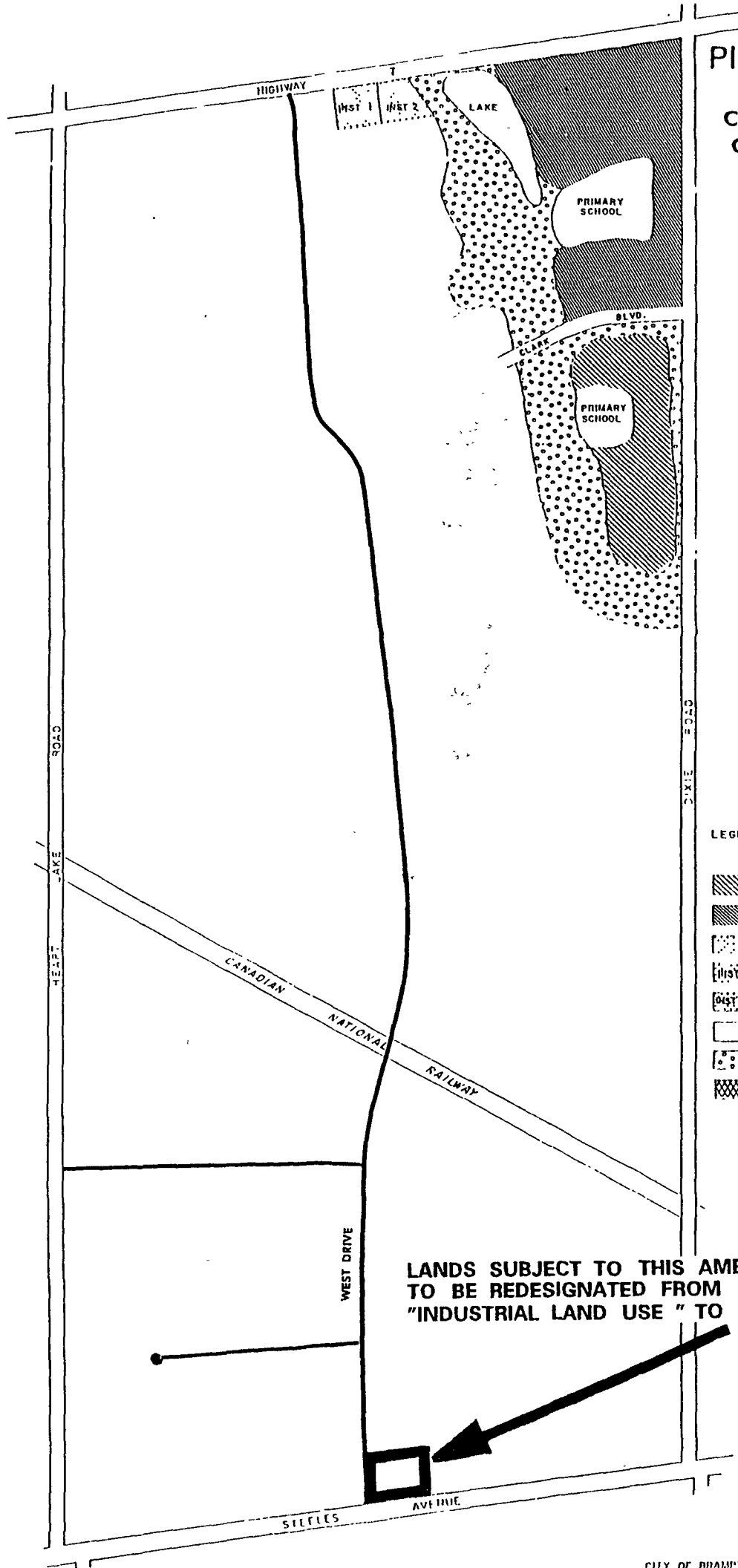
Date: 1993 07 13 Drawn by: K.M.H.
File no. C3E1.2 Map no. 62-40K

Schedule B









By-law 147-93

Plate No. 12

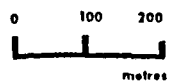
CONSOLIDATED
OFFICIAL PLAN



LEGEND

-  MEDIUM DENSITY (RESIDENTIAL)
17 to 26 Units per Acre
-  HIGH DENSITY (RESIDENTIAL)
Max. 90 Units per Acre
-  INSTITUTIONAL
-  ST LEONARD'S HOUSE
-  CANADIAN LEGION
-  INDUSTRIAL LAND-USE
-  PUBLIC OPEN SPACE
-  SERVICE COMMERCIAL

LANDS SUBJECT TO THIS AMENDMENT
TO BE REDESIGNATED FROM
"INDUSTRIAL LAND USE " TO "SERVICE COMMERCIAL"



LAND USE

CITY OF BRAMPTON PLANNING DEPARTMENT

OFFICIAL PLAN AMENDMENT No. 233
OFFICIAL PLAN AMENDMENT No. 233 A



CITY OF BRAMPTON
Planning and Development

Date: 1993 07 13 Drawn by: K.M.H

File no. C3E12 Map no 62-40L

Schedule C By-law 147-93

BACKGROUND MATERIAL TO
AMENDMENT NUMBER 233
AND
AMENDMENT NUMBER 233 A

Attached is a copy of a planning report dated February 2, 1993 and a report dated March 5, 1993 forwarding the notes of a public meeting held on March 3, 1993 after notification in the local newspaper and the mailing of notices to assessed owners of properties within 120 metres of the subject lands.

The following written submission was received with respect to the proposed amendment:

Regional Municipality of Peel December 1, 1992

INTER-OFFICE MEMORANDUM

PC - Feb 15

Office of the Commissioner of Planning and Development

Date: February 2, 1993

To: Chairman and Members of Planning Committee

From: Planning and Development Department

Re: Executive Summary
Application to Amend the Official Plan
and Zoning By-law
CANADIAN AIR LINE PILOTS ASSOCIATION
Part of Lot 1, Concession 3, E.H.S.
Part of Block A, Registered Plan 676
Ward Number: 8
Our File Number: C3E1.2

The attached staff report examines a proposal to amend the Official Plan and zoning by-law to permit a four storey office building with ground floor ancillary retail commercial uses.

The subject property is located at the north-east intersection of West Drive and Steeles Avenue East and has an area of 1.148 hectares (2.8 acres).

The subject property currently contains a two storey office building on the west half of the site (which contains the Canadian Air Line Pilots Association business operation) and is vacant on the east half. If approved, the subject proposal would provide an acceptable level of on-site intensification as well as a form of development which is appropriate for the site's high profile location.

The key aspects of the proposal involve:

- o a four storey office building having a total gross floor area of 10,532 square metres (113,369 sq.ft.);
- o a total landscaped area of 3,766 square metres (40,538 sq.ft.);
- o parking in accordance with the requirements of By-law 151-88, the majority to be located in a tiered parking structure; and
- o site access from Steeles Avenue (with right-in/right-out turn movements only) and West Drive (with full turning movements).

A thorough analysis of this development proposal was completed and a summary of the impacts are contained in the following Table One - Summary Impact Table.

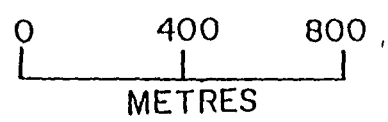
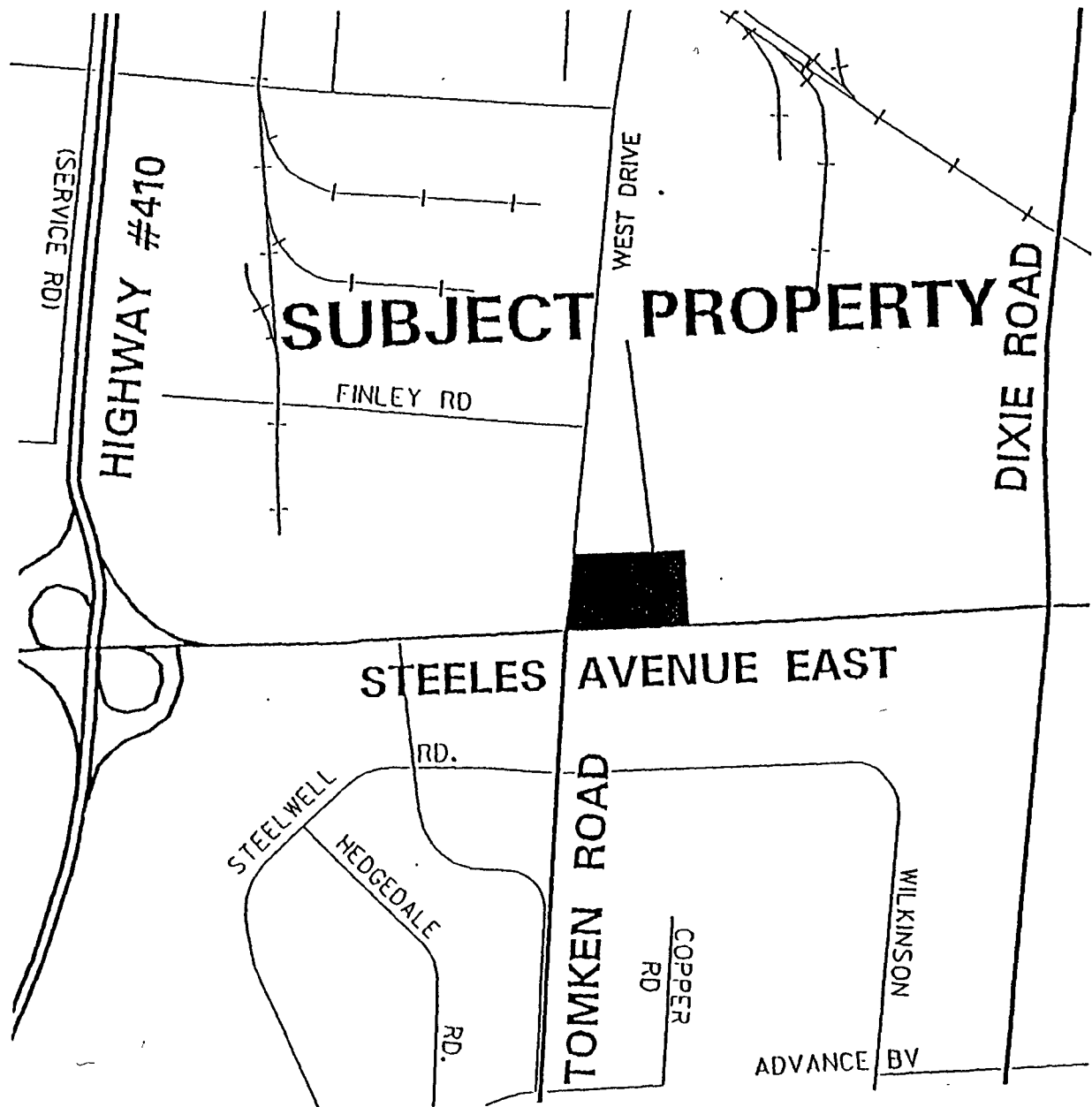
PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT
CANADIAN AIR LINE PILOTS ASSOCIATION

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TABLE ONE
SUMMARY IMPACT TABLE

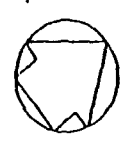
<i>ISSUE</i>	<i>SUMMARY</i>
=====	
<i>OFFICIAL PLAN/ SECONDARY PLAN</i>	<p>an amendment to both documents is required;</p> <p>the proposal meets the criteria of the Official Plan for locating offices in industrial areas;</p>
<i>ZONING</i>	<p>an amendment to the zoning by-law will be required to implement the subject proposal;</p>
<i>STRATEGIC PLAN</i>	<p>the proposal is consistent with the "Prosperous Economy" goal stream, "encouraging desirable and sustainable economic growth ... for long term community prosperity";</p>
<i>FINANCIAL</i>	<p>the proposal represents positive a net annual financial return of \$12,370;</p>
<i>LAND USE COMPATIBILITY</i>	<p>the subject proposal is part of a redevelopment trend occurring along Steeles Avenue for a range of office and commercial uses;</p>
<i>INTENSIFICATION</i>	<p>the proposal will facilitate the utilization of the entire site;</p>
<i>ACCESS</i>	<p>access to the site is proposed from West Drive (with full turning movements), and from Steeles Avenue (with right-in/right-out turn movements only);</p>
<i>LIFT RESERVE</i>	<p>satisfactory arrangements must be made with the Region to lift the 0.3 metre reserve, along Steeles Avenue, to permit the proposed access;</p>
<i>OVERALL SUMMARY</i>	<p>the proposal is supportable from a land use perspective and has significant merit with respect to the strategic planning goal and financial impact;</p> <p>matters such as access, transit facilities, loading areas and parking design can be adequately addressed through site plan and appropriate conditions of approval.</p>

RWN/pilotEXEC



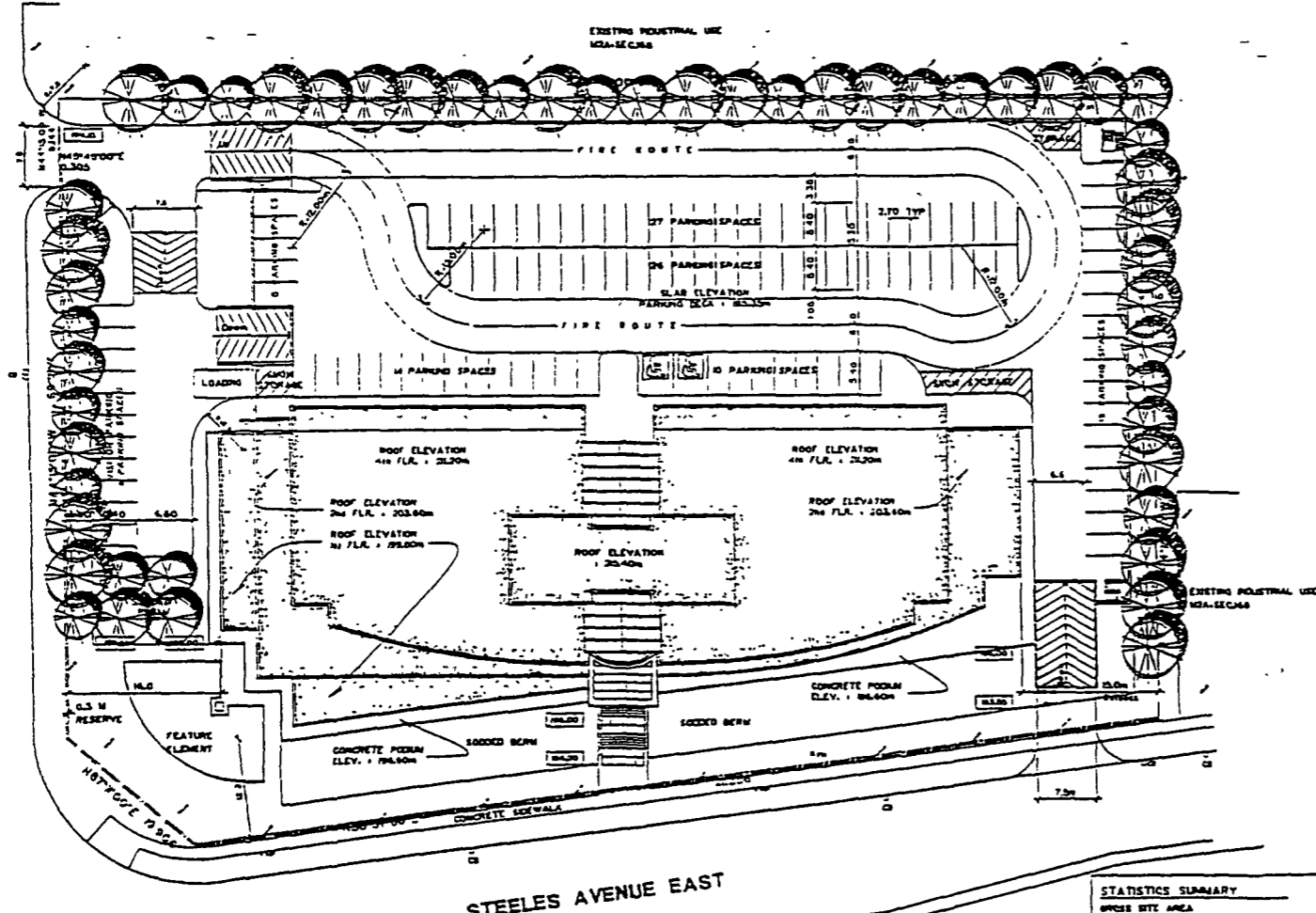
CITY OF BRAMPTON

Date: 1992 10 15 Drawn By: CJK
 File no. C3E1.2 Map no. 62-40A

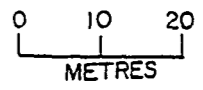


LOCATION MAP

PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT
 CANADIAN AIR LINE PILOTS ASSOCIATION



STATISTICS SUMMARY	
GROSS SITE AREA	1446 SQ. METERS
GROSS BUILDING FLOOR AREA	12,300 SQ. METERS (30,880 SQ. FT.)
BUILDING COVERAGE RATIO	8.51%
LANDSCAPE AREA RATIO	1.74%
DENSITY	8.51
USE	BUSINESS OFFICES / RETAIL
ZONING	MCA-SEC-86 BY-LAW 03-88
PARKING REQUIRED	AS PER BY-LAW
PARKING PROVIDED	AS PER BY-LAW

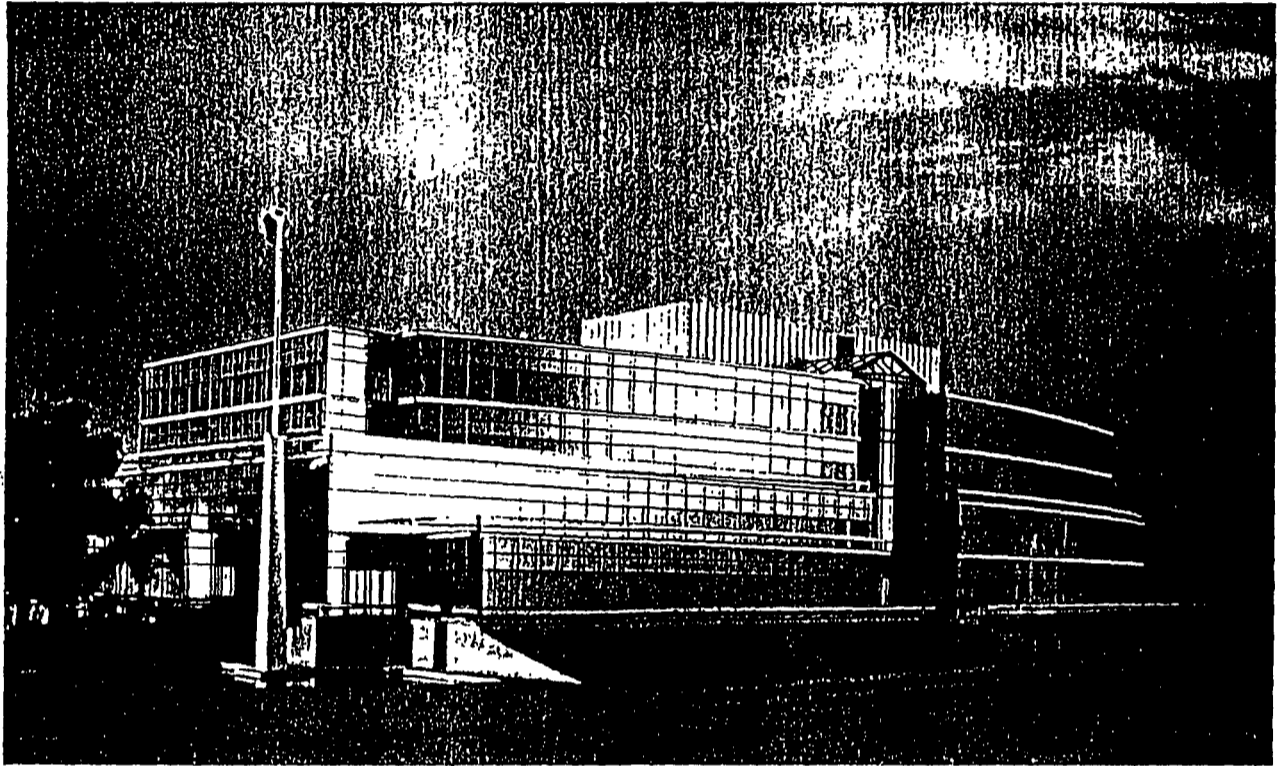


CITY OF BRAMPTON



Date: 1993 02 03 Drawn By: CJK
File no. CSEL2 Map no. 62-40F

CONCEPT SITE PLAN



NOT TO SCALE

CITY OF BRAMPTON

Date : 1992 01 29 Prepared by : K.M.H.
File no. C3E1.2 Map no. 62-40E

ARCHITECTURAL PERSPECTIVE

PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT
CANADIAN AIR LINE PILOTS ASSOCIATION

INTER-OFFICE MEMORANDUM

Office of the Commissioner of Planning and Development

Date: February 2, 1993

To: Chairman and Members of Planning Committee

From: Planning and Development Department

Re: Application to Amend the Official Plan
and Zoning By-law
Part of Lot 1, Concession 3, E.H.S.
Part of Block A, Registered Plan 676
Ward Number: 8
CANADIAN AIR LINE PILOTS ASSOCIATION
Our File Number: C3E1.2

1.0 PROPOSAL

The above noted application for an amendment to the zoning by-law was received on October 5, 1992, and referred to staff by City Council for a report and recommendation on November 10, 1992.

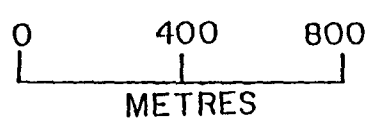
The applicant is proposing to redevelop the subject site by demolishing the existing two storey office building and re-constructing a four storey office building with ancillary retail commercial uses on the ground floor. More specifically, the applicant has provided the following list of the uses proposed along with a breakdown of their location and size within the proposed building:

Proposed Uses:

- Office;
- Retail establishment having no outside storage;
- Service shop;
- Financial institution (i.e. bank, trust company, etc.);
- Dining room restaurant, standard restaurant and take-out restaurant;
- Printing or copying establishment; and
- Health centre.

Location	Proposed Use	Area	Per cent
FIRST FLOOR	RETAIL	3,153 sq.metres (33,940 sq.ft.)	29.9 %
SECOND FLOOR	OFFICE	2,691 sq.metres (28,967 sq.ft.)	25.5 %
THIRD FLOOR	OFFICE	2,344 sq.metres (25,231 sq.ft.)	22.3 %
FOURTH FLOOR	OFFICE	2,344 sq.metres (25,231 sq.ft.)	22.3 %
FIFTH FLOOR	(elevator/utilities room only)		
total		10,532 sq.metres (113,369 sq.ft.)	100.0 %

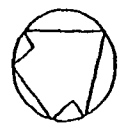
PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT
CANADIAN AIR LINE PILOTS ASSOCIATION



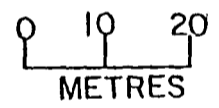
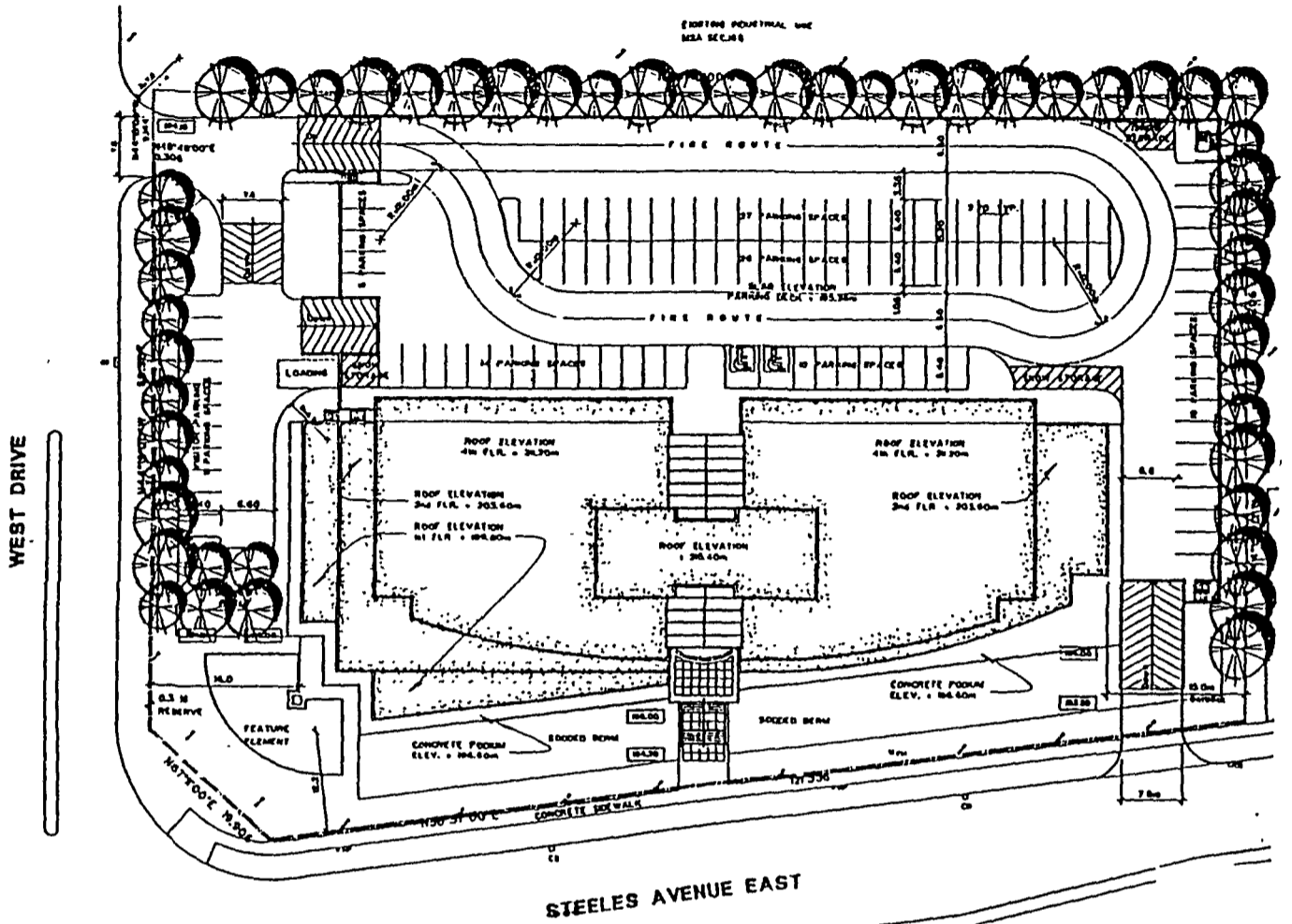
CITY OF BRAMPTON

LOCATION MAP

Date: 1992 10 15 Drawn By: CJK
 File no. C3E1.2 Map no. 62-10A



PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT
 CANADIAN AIR LINE PILOTS ASSOCIATION



CITY OF BRAMPTON

Date: 1992 10 15 Drawn By: CJK
 File no. C3E1.2 Map no. 62-40C



CONCEPT SITE PLAN

PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT
 CANADIAN AIR LINE PILOTS ASSOCIATION

In support of the application, the applicant has submitted a concept site development plan which illustrates the following:

- o a four storey office building having a total gross floor area of 10,532 square metres (113,369 sq.ft.);
- o a total landscaped area of 3,766 square metres (40,538 sq.ft.) (32.8%) of the site);
- o a floor space index of 0.917 times the lot area;
- o parking in accordance with the requirements of By-law 151-88, the majority to be located in a tiered parking structure;
- o site access in two locations:
 - the first at the north-west corner of the site and proposes full turning access to West Drive, and
 - the second at the south-east corner of the site and proposes right-in/right-out turning movements only, to Steeles Avenue East.

2.0 PROPERTY DESCRIPTION AND SURROUNDING LAND USE

The subject property:

- o is located at the north-east corner of the intersection of West Drive and Steeles Avenue East;
- o is legally described as Part of Block A, Registered Plan 676;
- o has an area of 1.148 hectares (2.8 acres);
- o has 69.967 metres (229.5 feet) of frontage along West Drive, 121.356 metres (398.1 feet) of frontage along Steeles Avenue East and is separated from these roads by 0.3 metre reserves (Parts 1 and 2, Plan 43R-4326) except for the existing access to West Drive at the site's north-westerly limit;
- o contains a two storey building occupied by the Canadian Air Line Pilots Association and an asphalt parking area on the west half of the site. The east half of the site is vacant;
- o topographically the site slopes slightly to the east towards a drainage swale;
- o is landscaped on the west half of the site, with shrubs and trees while east half contains no significant vegetation except for a large poplar tree located in the centre of the property; and
- o is partially fenced, by a 2.4 metre (8 feet) black vinyl chain link fence, along the east half of the property's northerly limit.

The surrounding land uses include:

North: industrial development fronting onto West Drive;

East: industrial development fronting onto Steeles Avenue East;

West: West Drive, beyond which is commercial development; and

South: Steeles Avenue East, beyond which is industrial development.

3.0 OFFICIAL PLAN AND ZONING BY-LAW STATUS

The subject property is:

- o designated "Industrial" in the Official Plan (Schedule "A");
- o designated "Industrial" in the Bramalea West Industrial Secondary Plan - Area Number 19 (Chapter 34 of Section C of Part C and Plate Number 12, of the Consolidated Official Plan); and
- o zoned "Industrial Three A - Section 156 (M3A-Section 156)" in By-law 151-88, as amended. Section 156 permits all uses within a M3A zone plus Business Offices.

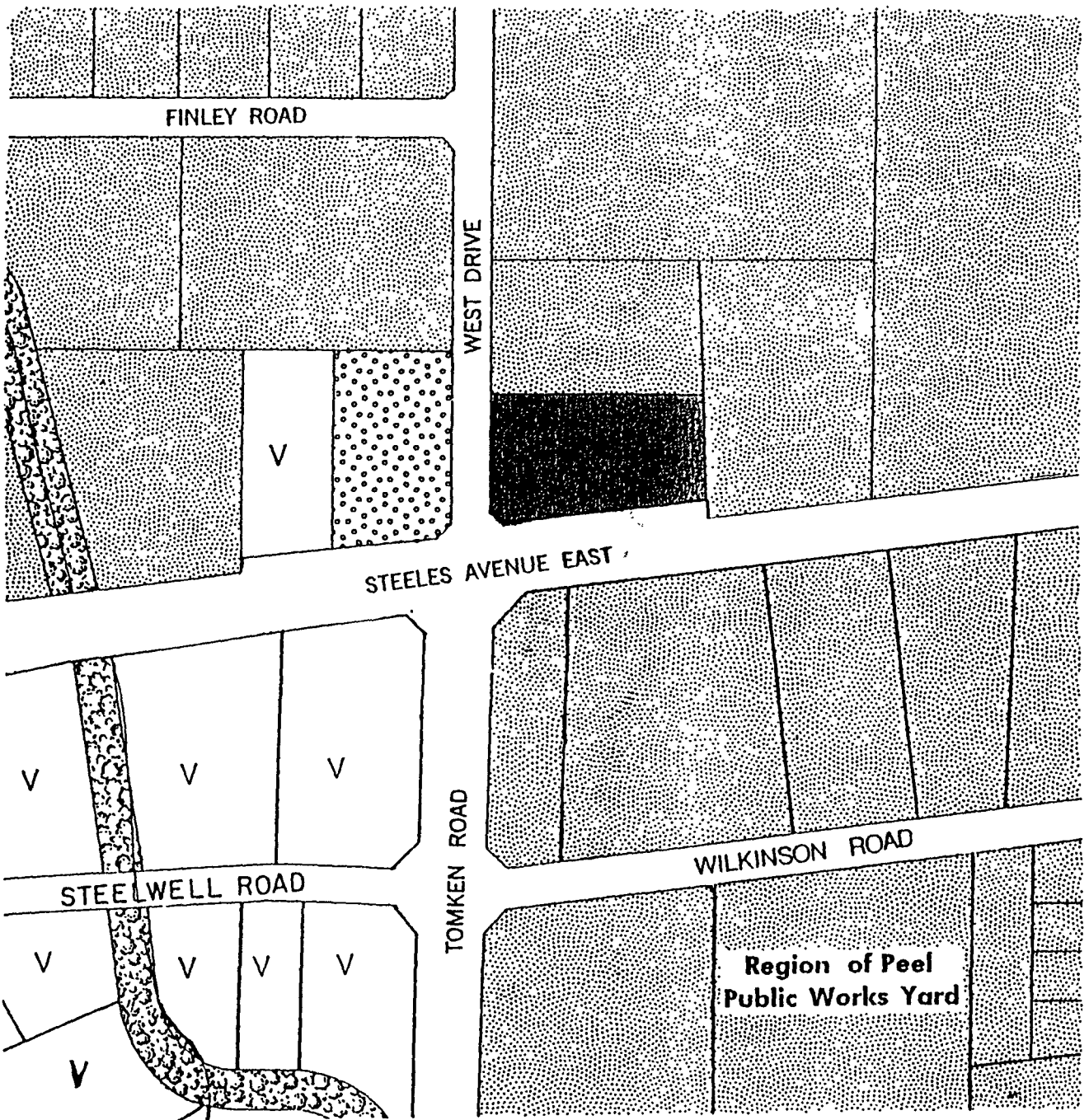
Since the subject property is designated in the Official Plan for industrial purposes and zoned for industrial purposes plus an office only, amendments to both documents are required to permit the proposed development.

4.0 STRATEGIC PLANNING IMPLICATIONS

The City's Strategic Plan identifies a series of goal streams, objectives and strategic initiatives. This application is most in keeping with the "Prosperous Economy" goal stream, which strives to:

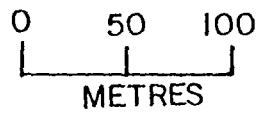
- o "encourage desirable and sustainable economic growth in order to build a firm foundation for long term community prosperity", by increasing the commercial/industrial assessment ratio.

From a City financial perspective, the Treasury Services Division has advised that the proposed development, if approved, would generate positive net annual operating results of \$12,370 to the City's Revenue Fund.



LEGEND

- | | | | |
|---|-------------------------|---|-------------------|
|  | SUBJECT PROPERTY |  | OPEN SPACE |
|  | COMMERCIAL |  | VACANT |
|  | INDUSTRIAL | | |



CITY OF BRAMPTON

Date: 1992 10 15 Drawn By: CIK
 File no. C3E1.2 Map no. 62-40B



LAND USE MAP

PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT
 CANADIAN AIR LINE PILOTS ASSOCIATION

5.0 ANALYSIS

A complete circulation of this application has been undertaken and the comments are contained in Appendix A to this report. No objections to the proposal have been identified. However, a number of technical matters should be addressed. This application has been analysed with respect to the following factors:

- o Land Use;
- o Proposed Ancillary Commercial Uses; and
- o Site Development Requirements

5.1 Land Use

The applicant is proposing to develop a four storey office building with ancillary retail commercial uses. In this respect, it is noted that within the definition of "Industrial" the Official Plan states that:

" Non industrial uses may be permitted in a designated Industrial area provided they do not interfere with nor are detrimental to the development of the area for primarily industrial uses. Such non-industrial uses may include parks and open space, public and commercial recreation facilities, community services, educational uses, retail and office ancillary to an industrial use, and limited free-standing retail warehousing operations, service and office uses."

Sections 2.3.5.5 and 2.3.5.7 within the Official Plan further state that:

- " Free-standing service and office uses will be permitted in an area designated Industrial in this Plan, only if the areas proposed for such uses are designated for commercial development in a secondary plan."
- " Service commercial uses, offices, retail warehouse uses, and public and private commercial recreation facilities may be permitted in an industrial area subject to the following criteria:
 - (i) the site is peripheral to the industrial area in which it is located and is in proximity to an arterial road;
 - (ii) commercial development along arterial roads, interior to industrial areas will be discouraged;
 - (iii) the site has satisfactory access to the road system and the potential to be served by public transit;

- (iv) where feasible and practicable, access to arterial roads will be restricted and vehicular access will be oriented to collector roads interior to the industrial area;
- (v) off-street parking, outdoor and service areas are located and screened to minimize adverse effects on nearby non-industrial uses; and
- (vi) the uses are provided with yards sufficient to minimize adverse influence on nearby uses."

In reviewing the subject proposal it is noted that:

- o the site is located at the southerly limit of the Bramalea West Industrial Secondary Plan Area along Steeles Avenue;*
- o the proposed development is not interior to the industrial (secondary plan) area. Thereby being an appropriate location for commercial uses;*
- o the subject property has excellent access to the arterial and collector road system as well as being close to Highway No. 410. In addition, transit services exist along Steeles Avenue (Route #11), West Drive (Route #10) Tomken Road (Route #15) and is relatively close to the Bramalea Go Station;*
- o the Region is in support of the proposed entrance onto Steeles Avenue subject to access being restricted to right-in/right-out turns only and specific design requirements being met. The site is also proposed to have access to West Drive with full turning movements being permitted;*
- o the concept site development plan indicates that service areas can be screened to minimum any adverse impacts on nearby non-industrial uses; and*
- o the zoning standards proposed will ensure that the provision of yards is sufficient to minimize any adverse influence on nearby uses.*

In view of the foregoing, the proposed office building, along with the proposed ancillary retail commercial uses, can be viewed as being consistent with the above policy provisions provided that the site is designated for commercial development in the secondary plan. Staff believe that the proposed uses meet the above locational criteria and are compatible with the surrounding uses. The subject proposal is not considered to "interfere" with or be "detrimental" to the continued use, or future development of the surrounding area for primarily industrial uses.

In addition to the foregoing criteria of the Official Plan, it is noted that the City has traditionally restricted the size of ancillary retail commercial use, within industrial designations, to that ranging from 10 to 15 per cent of the permitted total gross floor area of an office development. The restrictions in size have been imposed to ensure that so called ancillary retail commercial uses do not become the prominent use. In addition to the size restriction, the types of permitted retail commercial uses have also been restricted to those which are considered to be ancillary to the office or industrial uses (i.e. to serve employees).

The applicant has proposed an ancillary retail commercial mix of approximately 30 per cent of the total gross floor area of the building. Although the amount of proposed ancillary retail commercial is not consistent with the mix traditionally permitted in similar developments, an increased proportion of ancillary retail commercial use within the proposed development can be justified based on the location of the site. Higher order uses being developed along Steeles Avenue at key intersections such as West Drive can be justified. This development trend has already been witnessed to the east and west of the subject property. These developments include mixes of office and commercial uses on the south side of Steeles Avenue, west of Highway Number 410 and west of Dixie Road.

The Business Development Office has noted the transition from industrial to commercial which is emerging along the Steeles Avenue Corridor. This trend has been largely attributed to the ideal access and visibility opportunities available along Steeles Avenue. With respect to the subject proposal, Steeles Avenue provides an efficient transportation linkage which will eventually be widened to six lanes and provides close proximity to the Highway Number 410 interchange. The Business Development Office also advises that from a business perspective the Steeles Avenue corridor will be the main beneficiary of future Highway Number 407 with major interchanges being located at Highway Number 410 and Bramalea Road. Finally, the Business Development Office has indicated that the area along Steeles Avenue, between Kennedy Road and Bramalea Road, be recognized as a high growth priority node in Brampton. Approval of the subject office development may even have a potential of attracting other similar development proposals into the area.

It should also be noted that the proposed four storey office development is consistent with the existing office development which has traditionally occupied the subject lands. The development intensification along with the proposed ancillary retail commercial component will provide for a better utilization of the property, based on the site's high profile location.

While office and service commercial uses are generally permitted within Industrial designated areas, the industrial provision within Section 2.3.5.6 of the Official Plan goes on to state that:

" Service Commercial uses such as restaurants, banks and offices proposed in industrial areas will be encouraged to locate in industrial malls or in conjunction with existing commercial developments."

In order to allow the requested proportion of ancillary retail commercial space within the proposed development, and based on the location of the subject property, staff believe that an amendment to both the Official Plan and the secondary plan is required. It is therefore recommended that the lands be redesignated to "Highway and Service Commercial" within the Official Plan and "Service Commercial" in the secondary plan.

In view of the foregoing, staff are of the opinion that the proposed amendment to the Official Plan and to the Bramalea West Industrial Secondary Plan, to permit office and ancillary retail commercial uses, can be supported from a planning perspective.

5.2 Proposed Ancillary Retail Uses

As noted earlier in Section 1.0 of the report, the types of ancillary retail commercial uses requested by the applicant are considered by staff to be of a support nature, to the primary office use and the surrounding industrial area, and would not be detrimental to any future industrial development within the area.

Staff recommend that a site specific Service Commercial Zone (SC) be created with the permitted ancillary retail commercial uses being restricted to those which have been requested by the applicant.

5.3 Site Development Requirements

In reviewing the proposed concept site development plan, a number of technical issues have been identified. These deal with matters such as 0.3 metre reserves, access, cash-in-lieu of parkland, provision of adequate parking, loading, grading and drainage, etc., all of which can be adequately addressed by the appropriate conditions of approval and/or through the site plan approval process.

It is noted that the proposed front yard building setback, from Steeles Avenue, does not comply with the Region's Road Widths and Setback By-law 11-89. Although the Region has not indicated an objection to the setback proposed, they have advised that an application is required to the Committee of Adjustment for a minor variance to their by-law.

6.0 CONCLUSIONS AND RECOMMENDATIONS

6.1 Conclusions

In conclusion, this application:

- o fulfills the criteria for locating free standing offices in industrial areas;
- o when implemented with the appropriate restrictions and conditions in the zoning by-law and development agreement, will result in development which is compatible with the existing development in the surrounding area;
- o conforms with the Strategic Plan "Prosperous Economy" goal stream in that it "encourages desirable and sustainable economic growth" with the development of the office/commercial use which will benefit the City through assessment, employment and orderly development;
- o from a financial perspective, will generate a positive net annual financial operating result of \$12,370 to the City's Revenue Fund;
- o is consistent with the established use of the site for office purposes and represents an acceptable level of intensification on the site; and
- o will provide office and ancillary retail commercial uses appropriate for the site's high profile location.

The proposal can be supported from a planning perspective.

6.2 Recommendations

It is recommended that:

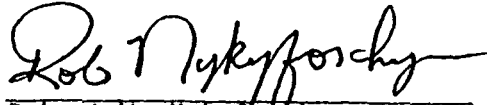
- A) A public meeting be held in accordance with City Council procedures, and
- B) Subject to the results of the public meeting, staff be directed to prepare the appropriate documents for the consideration of City Council, subject to the following conditions:
 - 1. An amendment to the Official Plan and the appropriate secondary plan shall designate the subject lands as "Highway and Service Commercial" and "Service Commercial" respectively.
 - 2. The site specific zoning by-law shall contain the following provisions:

- a. *The subject property shall only be used for the following purpose:*
 - i. *an office;*
 - ii. *only in conjunction with an office:*
 - *a retail establishment having no outside storage;*
 - *a service shop;*
 - *a bank, trust company, finance company;*
 - *a dining room restaurant, a standard restaurant, and a take-out restaurant;*
 - *a printing or copying establishment;*
 - *a health centre; and*
 - iii. *purposes accessory to the other permitted uses.*
- b. *shall be subject to the following requirements and restrictions:*
 - i. *minimum lot area of 1.0 hectares*
 - ii. *the maximum gross floor area of all buildings and structures, except for a parking garage, shall not exceed 10,550 square metres;*
 - iii. *the maximum gross floor area of all the uses other than offices shall be restricted to a maximum of 30 percent of the total gross floor area;*
 - iv. *the minimum exterior side yard width shall be 12.0 metres;*
 - v. *the maximum building height shall be four storeys;*
 - vi. *parking and loading shall be provided in accordance with Section 30 of By-law 151-88, as amended;*
 - vii. *all garbage and refuse storage areas, including any containers for recyclable materials, shall be located within a building;*
 - viii. *all restaurant refuse storage shall be enclosed in a climate controlled area within a building; and*
 - ix. *shall be subject to the requirements and restrictions of the SC zone, and the general requirements of By-law 151-88, not in conflict with those set out above.*

3. *Development of the site shall be subject to a development agreement, which shall contain the following provisions:*
 - a. *Prior to the issuance of a building permit, a site development plan, an access plan, a landscape and fencing plan, elevation and cross-section drawings, a grading and drainage plan, an engineering and servicing plan and a fire protection plan shall be approved by the City and appropriate securities shall be deposited with the City to ensure implementation of these plans in accordance with the City's site plan review process.*
 - b. *Prior to the issuance of a building permit, the site development plan, access plan, grading and drainage plan, and the engineering and servicing plan shall be approved by the Region, including the location and details of access construction and proposed grade changes over the existing sanitary sewer and watermain easement.*
 - c. *The engineering and servicing plan shall show both a concrete bus stop (landing) pad and a shelter pad on the north side of Steeles Avenue and east of West Drive in a location, and of a design, satisfactory to the Commissioner of Community Services.*
 - d. *The owner shall agree to pay all applicable City and Regional development charges in accordance with their respective Development Charges By-laws.*
 - e. *The owner shall agree that site access from Steeles Avenue will be restricted to right-in/right-out turns only.*
 - f. *The owner shall agree to be responsible for all costs related to the provision of access to Steeles Avenue.*
 - g. *The owner shall agree that there will be no control/gate to the parking area for vehicles entering the site from Steeles Avenue.*
 - h. *The owner shall make satisfactory arrangements with the Region of Peel to lift the 0.3 metre reserve on Steeles Avenue at the access location.*
 - i. *The owner shall agree to pay cash in lieu of parkland in accordance with City policy.*
 - j. *The owner shall agree that all lighting on the site shall be designed and oriented so as to minimize glare on abutting properties and streets.*

- k. The owner shall agree to make an application to the Committee of Adjustment, for a minor variance to the Region's Road Widths and Setbacks By-law 11-89, if the building setback to Steeles Avenue is not in compliance with said by-law.
- l. The applicant shall provide an on-site litter pick-up service which shall clear litter from the site at least twice weekly.

Respectfully submitted,

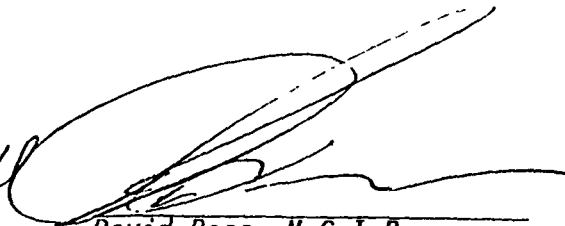


Robert W. Nykyforchyn, B.A.A.
Development Planner

AGREED:



John A. Marshall, M.C.I.P.
Commissioner, Planning and
Development Department



David Ross, M.C.I.P.
Manager, Development Services
Division



Appendix A
Comments from Departments and External Agencies

The Planning and Development Department, Urban Design and Zoning Division, has the following comments:

1. Detailed landscaping and architectural matters will be addressed at site plan approval stage.
2. The applicant shall acknowledge the development charge requirements.

The Public Works and Building Department, Traffic Engineering Services Division, has the following comments:

1. We question the proposed loading area location and the feasibility thereof. Revisions in this regard may be required prior to final approval of the plan.
2. Access proposed to Steeles Avenue will be addressed by the Region of Peel as this roadway is under their jurisdiction.
3. The access as proposed to West Drive is acceptable to this division.

The Public Works and Building Department, Development Engineering Services Division, advises that the Division have no concerns with the application subject to the applicant submitting a site development plan showing grading, drainage and access to the satisfaction of the City.

Community Services Department, Parks and Recreation note the following:

1. That the applicant prepare a site and landscape plan for the development of the block.
2. That the applicant pay cash in lieu of parkland in accordance with city policy.

Community Services Department, Transit requests:

1. That a 7.62 metre by 3.66 metre concrete bus stop (landing) pad be included on the engineering drawing, and being located on the north side of Steeles Avenue, 29 metres east of West Drive, between the existing concrete side walk and the curb. As well that a 2.5 metre by 5.0 metre concrete shelter pad be installed at the same location prior to the concrete side walk.

The Business Development Office has prepared a report outlining the primary economic and market factors which have led to the recent emergence of commercial development along the Steeles Avenue corridor.

Administration and Finance Department, Treasury Services Division notes:

This application was evaluated to determine its impact on the City's annual net financial position and long-term goal to improve its assessment ratio to 65/35 (Residential-to-Non-Residential).

The Canadian airline Pilots Association currently have a 10,000 sq.ft. office building at the site under review. Due to the Association's tax status, the property is residentially assessed and pays taxes at the Residential mill rate (not at the Commercial mill rate). This same tax status is assumed to remain after redevelopment to the 79,429 sq.ft. level of office development. Standard commercial mill rate application is assumed herein for the 33,940 sq.ft. retail component of the development.

The attached Table 1 summarizes the financial impact results from the proposal. The table reveals that the project generates positive net annual operating results for the City's Revenue Fund of about \$12,400. Further, an increase in both Residential and Non-Residential assessment will result in a favourable ratio relative to the City's goals.

TABLE 1
CANADIAN AIRLINE PILOTS ASSOCIATION
FINANCIAL IMPACT RESULTS
(\$ 1993)

	<u>CURRENT</u> <u>STATUS</u>	<u>PROPOSED</u> <u>STATUS</u>	<u>NET</u> <u>CHANGE</u>
Retail	N/A	33,940 sq.ft.	33,940 sq.ft.
Commercial-Office	10,000 sq.ft.	79,429 sq.ft.	69,429 sq.ft.
City Taxes	\$6400	\$81,600	\$75,200
Net Annual Financial Benefit	\$ 630	\$13,000	\$12,370
Commercial Assessment (Property & Business)	N/A	\$1.4 million	\$1.4 million
Residential Assessment	\$311,000	\$2.37 million	\$2.059 million

The Regional Municipality of Peel has the following comments:

Municipal Water & Sanitary Sewer:

Facilities are available on Steeles Avenue. A detailed grading plan is required to show any proposed grade changes of the easement adjacent to Steeles Avenue, so that the Region may evaluate any impact on the sewers and watermains within the easement.

Regional Roads:

The Region has no objection to the restricted access from Steeles Avenue in principle. The applicant shall submit a revised plan detailing the Steeles Avenue entrance as providing a minimum 25 metres of level access from the property line for adequate vehicle storage and sight distance before the down ramp to the parking area. Elevations and entrance profiles are required at the Steeles Avenue access to detail sign distances and proposed grading. There shall be no parking control/gate to the parking area at the Steeles Avenue Access. Regional Council approval will be required to lift the one foot reserve along Steeles Avenue to provide access to the development. The proposed building setback does not comply with the Region's Road widths and setback does not comply with the Region's Road Widths and Setback By-law 11-89. An application is required to the Committee of Adjustment for a minor variance from the by-law.

In addition, please note that the Region of Peel requests the following clauses be included in the rezoning/site plan agreement, to which the Region Requests being a party.

- 1. The owner agrees that the access from Steeles Avenue is restricted to right-in/right-out only.*
- 2. The owner shall submit a site plan for approval including the location and details of access construction and proposed grade changes over the existing sanitary sewer and watermain easement.*
- 3. The owner is responsible for all costs related to the access construction.*

The following departments or agencies have no comment or concerns:

Community Services Department, Fire; Planning and Development Department, Policy Planning and Research Division; Public Works and Building Department, Building Division; and Law Department.

RWN/pilotRPT

INTER-OFFICE MEMORANDUM

Office of the Commissioner of Planning & Development

PC - March 22
carried

Date: March 5, 1993
To: Chairman and Members of Planning Committee
From: Planning and Development Department
RE: **NOTES OF THE PUBLIC MEETING**
Application to Amend the Official Plan
and Zoning By-law
CANADIAN AIR LINE PILOTS ASSOCIATION
Part of Lot 1, Concession 3, E.H.S.,
(Part of Block A, Registered Plan 676)
Ward Number 8
Our File: C3E1.2

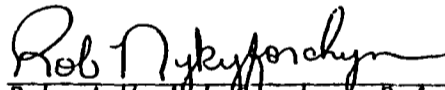
The notes of the Public Meeting held on Wednesday, March 3, 1993, are attached for the information of Planning Committee.

No members of the public were present and no letters of objection have been received.


Accordingly, IT IS RECOMMENDED THAT Planning Committee recommend to City Council that:

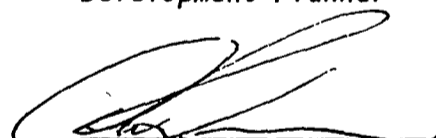
- A) The notes of the public meeting be received.
- B) The application be approved, subject to the conditions approved by City Council on February 22, 1993.
- C) Staff be directed to prepare the appropriate document for City Council's consideration.

Respectfully submitted,

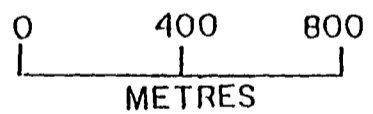
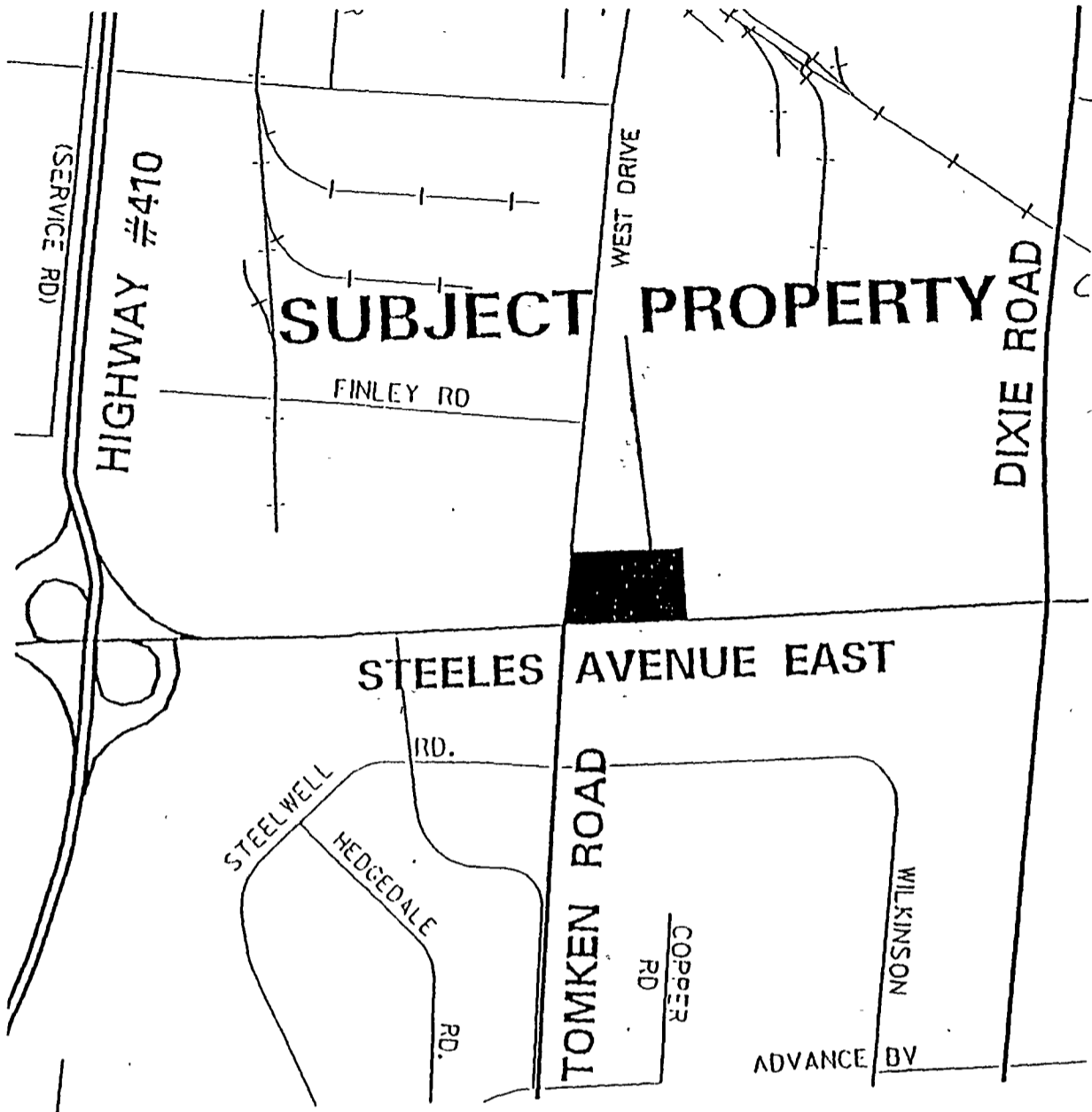

Robert W. Nykyforchyn, B.A.A.,
Development Planner

AGREED:


John A. Marshall, M.C.I.P.,
Commissioner of Planning and
Development


David Ross, M.C.I.P.,
Manager, Development
Services Division

 ATTACHMENTS
RWN/pilotNOTESpc



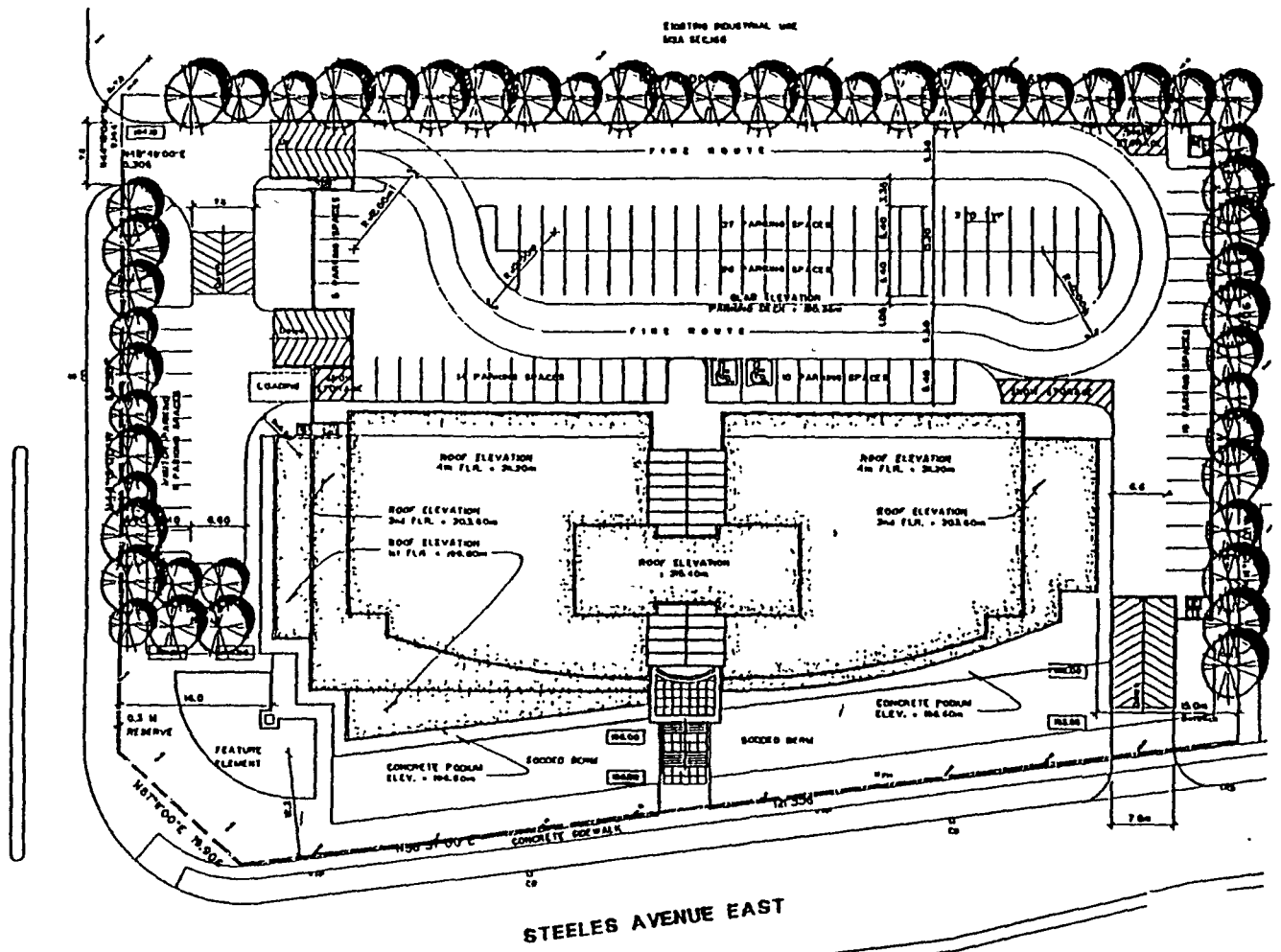
CITY OF BRAMPTON

Date: 1992 10 15 Drawn By: CJK
 File no. C3E1 2 Map no. 62-40A



LOCATION MAP

PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT
 CANADIAN AIR LINE PILOTS ASSOCIATION



CITY OF BRAMPTON

Date: 1992 10 15

Drawn By: CJK

File no. C3E12

Map no. 62-40C



CONCEPT SITE PLAN

PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT
CANADIAN AIR LINE PILOTS ASSOCIATION

PUBLIC MEETING

A Special Meeting of Planning Committee was held on Wednesday, March 3, 1993, in the Municipal Council Chambers, 4th Floor, 2 Wellington Street West, Brampton, Ontario, commencing at 8:40 p.m., with respect to an application by CANADIAN AIR LINE PILOTS ASSOCIATION (File: C3E1.2 - Ward 8) to amend the Official Plan and Zoning By-law. The applicant is proposing to amend the Official Plan and Zoning By-law to redevelop the subject site by constructing a four storey office building with ancillary retail commercial uses on the ground floor.

Members Present: City Councillor D. McMullen - Chairman
Regional Councillor S. Fennell
City Councillor M. Moore

Staff Present: J. Corbett, Director, Development Services
D. Ross, Manager, Development Services
N. Grady, Development Planner
C. Logan, Development Planner
A. Rezoski, Development Planner
K. Ash, Development Planner
R. Nykyforchyn, Development Planner
R. Woods, Secretary

The Chairman inquired if notices to the property owners within 120 metres of the subject site were sent and whether notification of the public meeting was placed in the local newspaper.

Mr. Corbett replied in the affirmative.

There were no interested members of the public in attendance and the meeting adjourned at 8:41 p.m.

December 1, 1992

City of Brampton
PLANNING AND DEVELOPMENT DEPARTMENT
DATE DEC 04 1992 Rec'd
File No. C3E1.2

City of Brampton
Planning Department
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

Attention: Mr. Robert W. Nykyforchyn
Development Planner

Re: Proposed Official Plan Amendment
and Rezoning
Canadian Airline Pilots Association
N/E corner West Drive and Steeles Avenue
Our File: R42 3E45B
Your File: C3E1.2
City of Brampton

DEVELOPMENT SERVICES	
J.B.C.	
D.R.	DEC 07 1992
D.K.A.	
I.N.G.	
H.C.L.	
X.R.H.	DEC 07 1992
D.M.P.	
H.A.H.	
D.R.W.	
H.F.I.E.	

Dear Sir:

Further to your letter of October 29, 1992 requesting comments regarding the above noted Official Plan Amendment and Rezoning Application, please be advised that we have reviewed the proposal with our Public Works staff who offer the following comments:

**Municipal Water
& Sanitary Sewer:**

Facilities are available on Steeles Avenue. A detailed grading plan is required to show any proposed grade changes of the easement adjacent to Steeles Avenue, so that the Region may evaluate any impact on the sewers and watermains within the easement.

Regional Roads:

The Region has no objection to the restricted access from Steeles Avenue in principle. The applicant shall submit a revised plan detailing the Steeles Avenue entrance as providing a minimum 25 metres of level access from the property line for adequate vehicle storage and sight distance before the down ramp to the parking area. Elevations and entrance profiles are required at the Steeles Avenue access to detail sign distances and proposed grading. There shall be no parking control/gate to the parking area at the Steeles Avenue access. Regional Council approval will be required to lift the one foot reserve on Steeles Avenue to provide

access to the development. The proposed building setback does not comply with the Region's Road Widths and Setback By-law 11-89. An application is required to the Committee of Adjustment for a minor variance from the by-law.

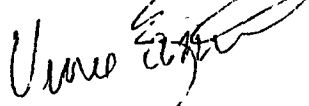
In addition, please note that the Region of Peel requests the following clauses be included in the rezoning/site plan agreement, to which the Region requests being a party.

1. The owner agrees that the access from Steeles Avenue is restricted to right-in/right-out only.
2. The owner shall submit a site plan for approval including the location and details of access construction and proposed grade changes over the existing sanitary sewer and watermain easement.
3. The owner is responsible for all costs related to the access construction.

We would also appreciate receiving an additional copy of the proposed site plan for our files and future reference.

We trust that this information is of assistance.

Yours truly



Vince Zammit
Senior Planner
Development Review

JL:nb

cc: J. Amodeo, Regional Public Works
C. Connor, City of Brampton Legal Department

AMENDMENT NUMBER 233 AND
AMENDMENT NUMBER 233 A
TO THE 1984 OFFICIAL PLAN OF THE
CITY OF BRAMPTON PLANNING AREA

1.0 Purpose:

The purpose of this amendment is to change the land use designation of the lands shown outlined on Schedule A to this amendment, from "Industrial" to "Commercial" and specifically to Service Commercial. This amendment is intended to:

- permit the development of an office with ancillary retail commercial uses: and,
- to provide principles for the development of the subject lands.

2.0 Location:

The lands subject to this amendment are located at the north-east side of Steeles Avenue and West Drive, being part of the east half of Lot 1, Concession 3, E.H.S., in the geographic Township of Chinguacousy, now in the City of Brampton.

3.0 Amendments and Policies Relative Thereto:

3.1 Amendment Number 233 :

The document known as the 1984 Official Plan of the City of Brampton Planning Area is hereby amended:

- (1) by changing, on Schedule "A" thereto, the land use designation of the lands shown outlined on Schedule A to this amendment, from "INDUSTRIAL" to "COMMERCIAL";
- (2) by adding to Schedule "F" thereto, the land use designation of "HIGHWAY and SERVICE COMMERCIAL", for the lands shown outlined on Schedule B to this amendment; and,
- (3) by adding, to the list of amendments pertaining to Secondary Plan Area Number 19 set out in subsection 7.2.7.19,

3.2 Amendment Number 233 A:

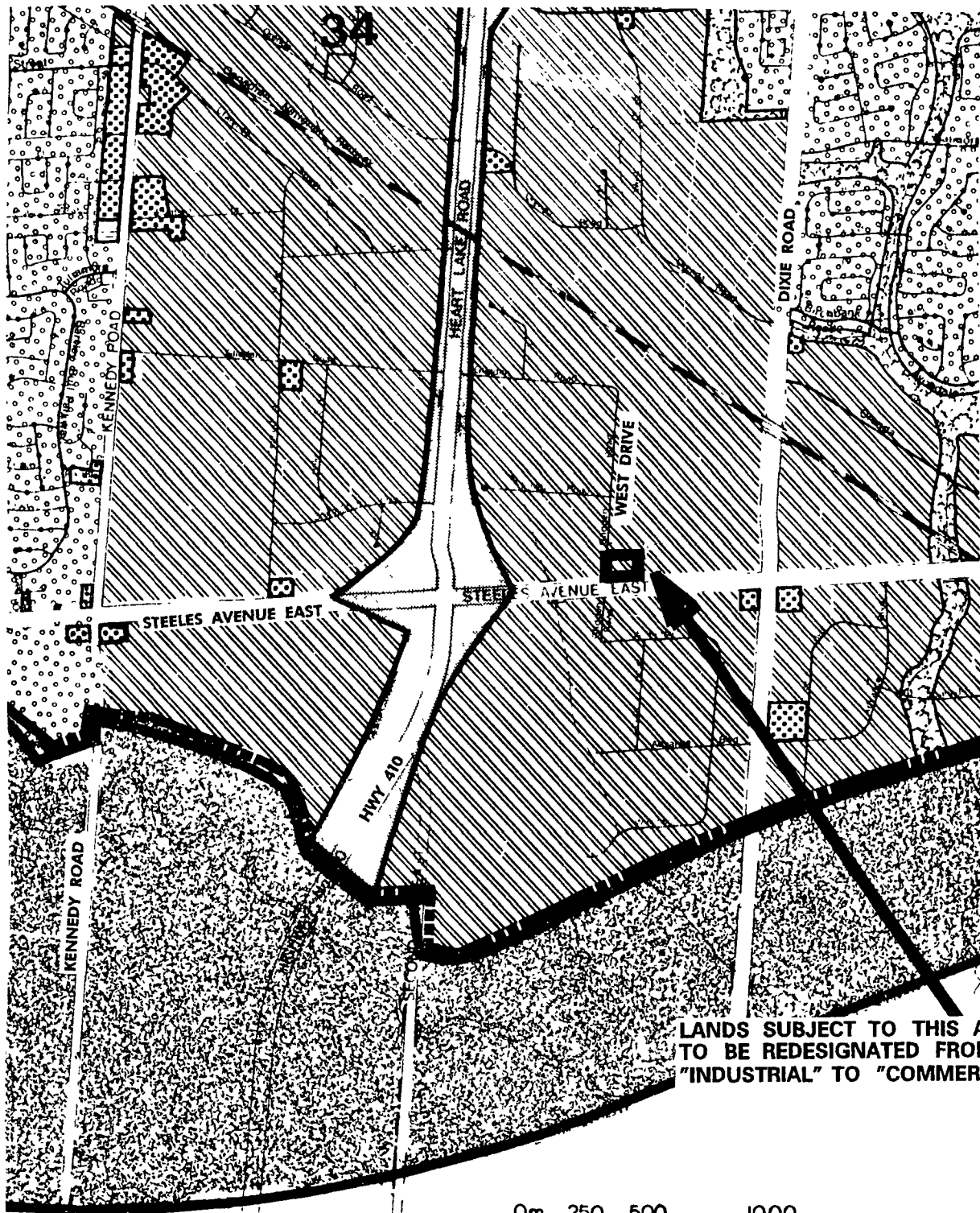
The document known as the Consolidated Official Plan of the City of Brampton Planning Area, as it relates to the Bramalea West Industrial Secondary Plan (being Chapter C34 of Section C of Part C, and Plate Number 12, of the Consolidated Official Plan of the City of Brampton Planning Area, as amended) is hereby further amended:

- (1) by changing, on Plate Number 12, the land use designation of the lands shown outlined on Schedule C to this amendment from "INDUSTRIAL LAND USE" to "SERVICE COMMERCIAL".
- (2) by adding, to Part C, Section C, Chapter C34, Section 2.6 thereof, the following:

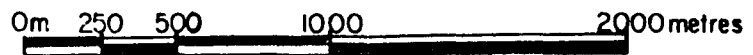
"2.6.6 The lands located at the north-east corner of Steeles Avenue and West Drive designated for Service Commercial use, shall only be used for office purposes, and a limited range of accessory commercial uses in conjunction with offices. Commercial uses such as an adult entertainment parlour or a restaurant with drive through facilities shall not be permitted.




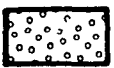




The location and design of access ramps shall be to the satisfaction of the road authority having jurisdiction.

Development of the lands shall be controlled by an appropriate zoning by-law amendment and the exercise of site plan control pursuant to Section 41 of the Planning Act, R.S.O. 1990 c.p. 13."



LANDS SUBJECT TO THIS AMENDMENT
TO BE REDESIGNATED FROM
"INDUSTRIAL" TO "COMMERCIAL"



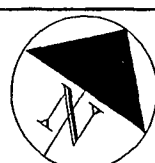
-  URBAN BOUNDARY
-  PARKWAY BELT WEST
-  PROVINCIAL FREEWAY (HWY. 410)
-  RESIDENTIAL
-  OPEN SPACE
-  COMMERCIAL
-  INDUSTRIAL
-  INSTITUTIONAL

GENERAL LAND USE
DESIGNATIONS
SCHEDULE 'A'

MAY 1987

1:25000 City Of Brampton Planning & Development Department

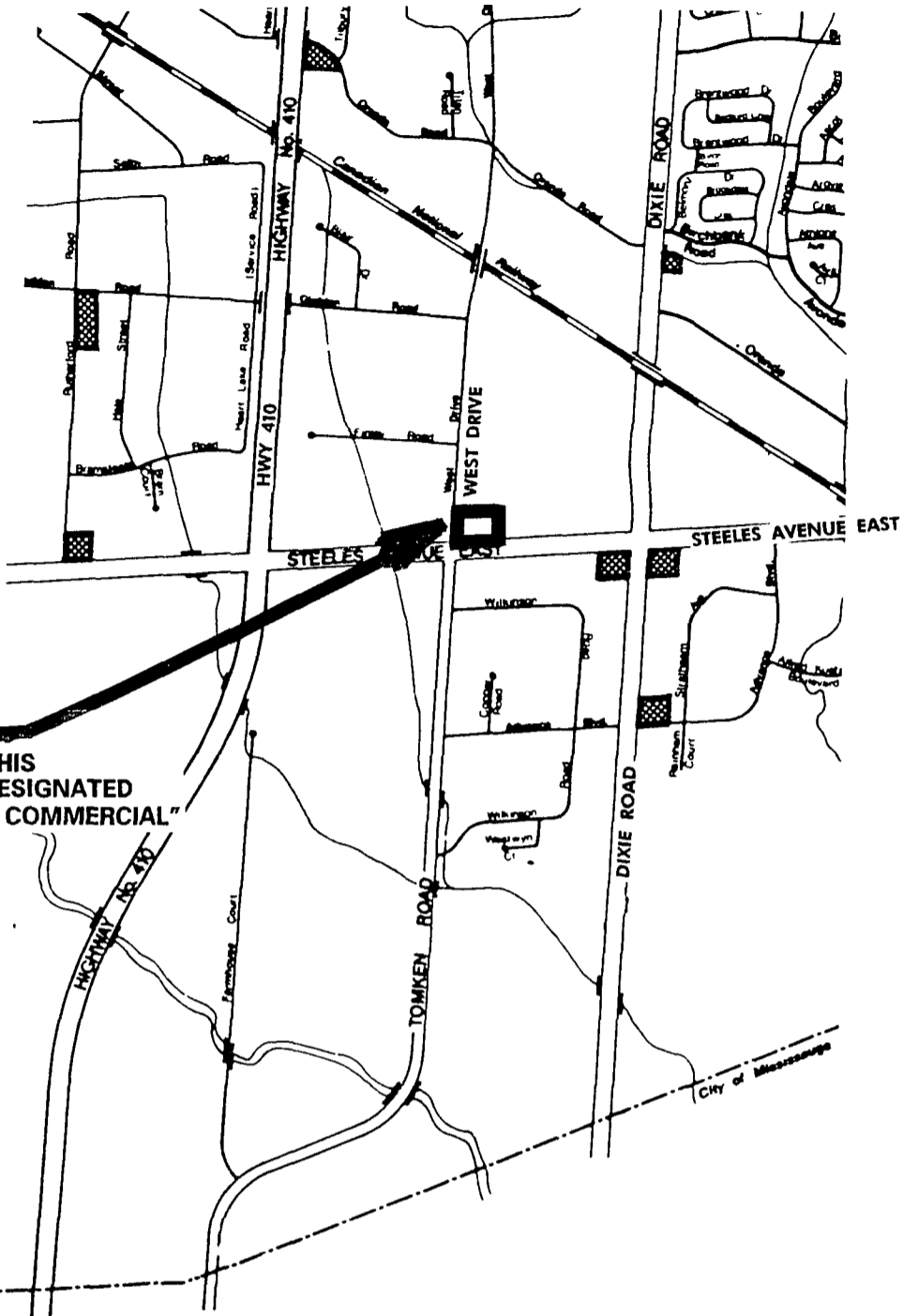
OFFICIAL PLAN AMENDMENT No. 233
OFFICIAL PLAN AMENDMENT No. 233 A



CITY OF BRAMPTON
Planning and Development

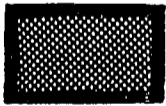
Date: 1993 07 13 Drawn by: K.M.H.
File no. C3E1.2 Map no. 62-40J

Schedule A By-law 147-93



LANDS SUBJECT TO THIS AMENDMENT TO BE DESIGNATED "HIGHWAY & SERVICE COMMERCIAL"

COMMERCIAL*
SCHEDULE 'F'



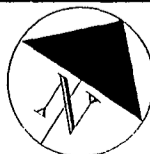
HIGHWAY & SERVICE COMMERCIAL

Date: MAY 1987

City of Brampton
Planning and Development Department



OFFICIAL PLAN AMENDMENT No. 233
OFFICIAL PLAN AMENDMENT No. 233 A



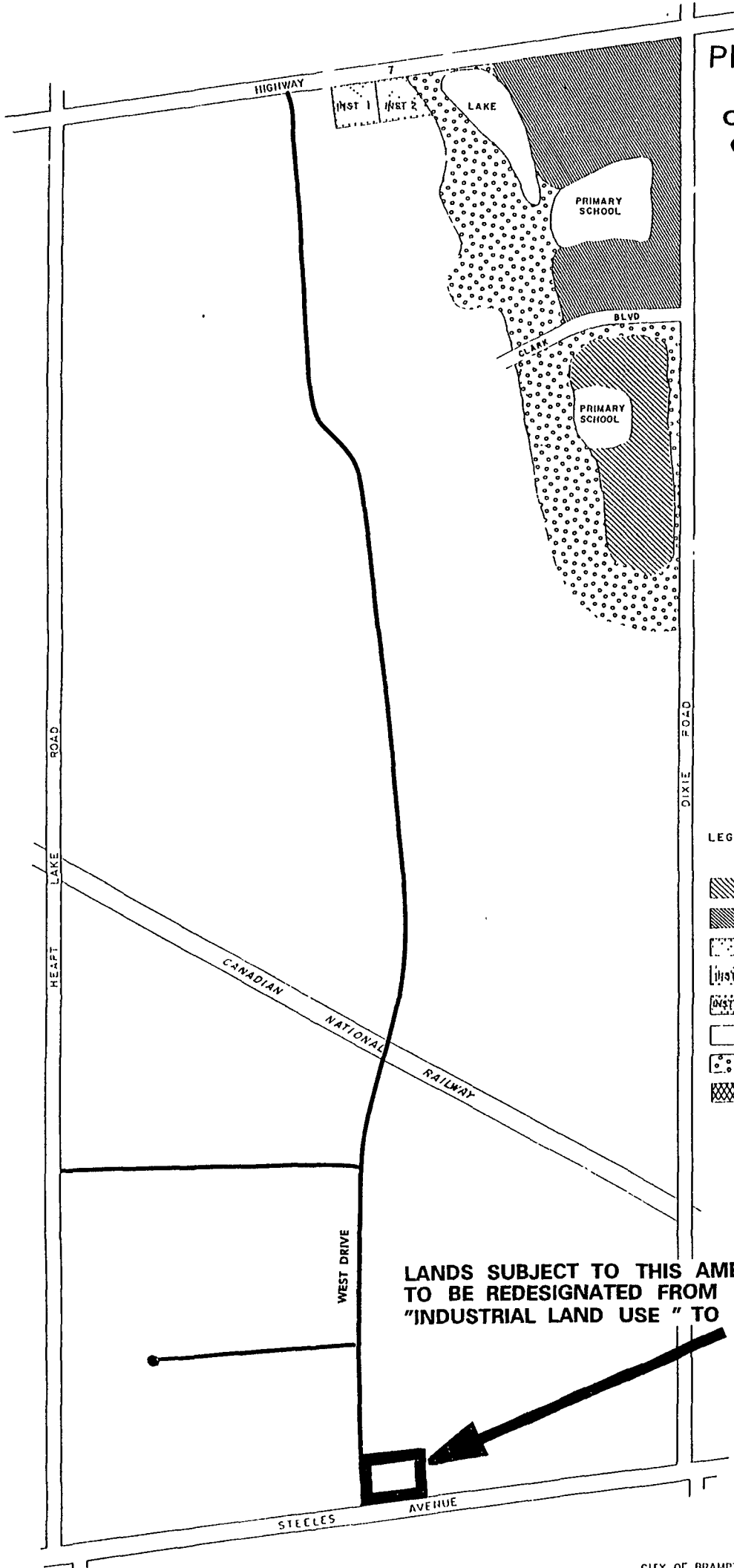
CITY OF BRAMPTON
Planning and Development

Date: 1993 07 13 Drawn by: K.M.H.
File no. C3E1.2 Map no. 62-40K

Schedule B

By-law 147-93

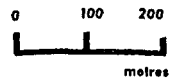
**CONSOLIDATED
OFFICIAL PLAN**



**LANDS SUBJECT TO THIS AMENDMENT
TO BE REDESIGNATED FROM
"INDUSTRIAL LAND USE " TO "SERVICE COMMERCIAL"**

LEGEND

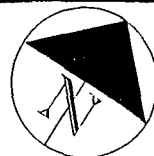
- MEDIUM DENSITY (RESIDENTIAL)
17 to 26 Units per Acre
- HIGH DENSITY (RESIDENTIAL)
Max. 60 Units per Acre
- INSTITUTIONAL
- ST LEONARD'S HOUSE
- CANADIAN LEGION
- INDUSTRIAL LAND-USE
- PUBLIC OPEN SPACE
- SERVICE COMMERCIAL



LAND USE

CITY OF BRAMPTON PLANNING DEPARTMENT

OFFICIAL PLAN AMENDMENT No. 233
OFFICIAL PLAN AMENDMENT No. 233 A



CITY OF BRAMPTON
Planning and Development

Date: 1993 07 13 Drawn by: K.M.H.

File no. C3E1.2 Map no. 62-40L

Schedule C By-law 147-93

AMENDMENT NUMBER 233

AND

AMENDMENT NUMBER 233 A

to the 1984 Official Plan of the
City of Brampton Planning Area

BACKGROUND MATERIAL TO
AMENDMENT NUMBER 233
AND
AMENDMENT NUMBER 233 A

Attached is a copy of a planning report dated February 2, 1993 and a report dated March 5, 1993 forwarding the notes of a public meeting held on March 3, 1993 after notification in the local newspaper and the mailing of notices to assessed owners of properties within 120 metres of the subject lands.

The following written submission was received with respect to the proposed amendment:

Regional Municipality of Peel December 1, 1992