



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 59-2010

To amend By-law 399-2002, as amended,
The Sign By-law

WHEREAS the Council of the Corporation of the City of Brampton passed By-law 399-2002 on December 18, 2002; and

WHEREAS it is necessary to amend by-law 399-2002 to clarify and update specific provisions within the by-law;

NOW THEREFORE The Council of the Corporation of the City of Brampton ENACTS as follows.

THAT By-law 399-2002, as amended, is hereby further amended

- 1) by changing the preamble paragraph to read:
Whereas paragraph 99 of the *Municipal Act, 2001, S.O., 2001, c.25, as amended*, authorizes a municipality to pass by-laws prohibiting and regulating the message, content and nature of signs, advertising and advertising devices.
- 2) by replacing Section 4 DEFINITIONS, Sentence (11) to read:
(11) "**Commissioner**" shall mean a Commissioner of the Corporation of the City of Brampton or their designate;
- 3) by replacing Section 4 DEFINITIONS, Sentence (19) to read:
(19) "**Electronic variable message centre**" shall mean an *illuminated sign* or part thereof which is computer controlled and which displays information to the public by way of prearranged or variable sequence of electronically generated letters, words, light patterns or shapes and shall include text or graphic boards;
- 4) by replacing Section 4 DEFINITIONS, Sentence (55) to read:
(55) "**Office building**" shall mean any building in which the primary use is for persons employed in the management, direction or conduct of an agency, profession, business or brokerage. The building may include main floor retail uses, however, the office use shall occupy greater than 50% of the building;
- 5) by adding the following sentence to Section 4 DEFINITIONS:
(58) "**Logo**" shall mean a graphic representation or symbol of a company name, trademark or abbreviation often uniquely designed for easy recognition. A logo may not be solely represented by the name of the company;

- 6) by adding the following sentence to Section 4 DEFINITIONS:
(59) "**Canopy Roof Sign**" shall mean a sign attached to the top of a canopy projecting over the entrance of a building;
- 7) by replacing Section 5 REGULATIONS AND PROHIBITIONS, Sentence (7) to read:
(7) No person shall erect or display, or cause to be erected or displayed, a *sign* with flashing lights, except that this section shall be deemed not to prohibit an *electronic variable message centre* contained within a Class A *ground sign*;
- 8) by replacing Section 5 REGULATIONS AND PROHIBITIONS, Sentence (10) to read:
(10) Any *sign* not expressly permitted by this by-law is prohibited;
- 9) by replacing Section 8 EXEMPTIONS, Sentence (3) to read:
(3) A property for sale or lease *sign* provided that it is on the *lot* advertising for such purpose and does not exceed 1 m² (10.8 ft²) in *sign area* and 1.5 m (4.9 ft) in height for a property zoned residential and 2 m² (21.5 ft²) in *sign area* and 3.6 m (12 ft) in height for a property not zoned residential. Only one for sale or lease *sign* shall be permitted for each *lot* and the *sign* shall be removed within 48 hours after the property is no longer for sale or lease;
- 10) by replacing Section 8 EXEMPTIONS, Sentence (8) to read:
(8) A non-*illuminated construction site sign* provided that it is on the *lot* advertising for such purpose and does not exceed 6 m² (64.5 ft²) in *sign area* and 3.6 m (12 ft) in height. A *construction site sign* shall be displayed only during the construction and shall be removed from the construction site within 90 days of the completion of construction. Only one *construction site sign* shall be permitted for each lot;
- 11) by replacing Section 8 EXEMPTIONS, Sentence (11) to read:
(11) *Signs* located on private property which promote citizen participation in civic, charitable or no-profit activities and events provided that the property is not zoned residential and that the size and location of such *sign* has been approved by the *Commissioner*. The *sign* shall be removed within 48 hours of the conclusion of the activity or event;
- 12) by replacing Section 8 EXEMPTIONS, Sentence (16) to read:
(16) One non-*illuminated sign* attached to a building in conjunction with a permitted *home occupation* as per the City of Brampton Zoning By-law 270-2004, as amended, providing it does not exceed 0.15 m² (1.6 ft²) in *sign area*;
- 13) by correcting Section 9 EXEMPTIONS FOR SIGNS ON A ROAD RIGHT-OF-WAY, to read:
9. Notwithstanding Section 5.(5) the following *signs* are exempt from the requirements of a permit and their placement on the road right-of-way is allowed as follows;
- 14) by adding the following exemption to Section 10 EXEMPTIONS FOR SIGNS ON PUBLIC USES OWNED OR LEASED BY THE CITY:
SCHEDULE VI GARDEN SQUARE PRECINCT
- 15) by deleting therefrom the Chart from Schedule I PORTABLE SIGNS, and replacing it with the chart as Schedule I PORTABLE SIGNS attached hereto;

- 16) by replacing thereto Schedule II GROUND SIGNS, Sentence 2.(3) to read:
2.(3) No person shall erect or display, or cause to be erected or displayed, a *sign* within a *visibility triangle*, unless such *sign* has a minimum clearance of 2.4 m (7.9 ft) above finished grade. This provision is not applicable where the *ground sign* is 1.2 m (4 ft) or less in height;
- 17) by deleting therefrom the chart from Schedule II GROUND SIGNS, and replacing it with the chart as Schedule II GROUND SIGNS attached hereto;
- 18) by replacing Schedule III WALL SIGNS, Sentence 1.(2) and Schedule IV AWNING SIGNS & CANOPY SIGNS, Sentence 1.(2) to read:
1.(2) *Illuminated signs* shall be permitted on a building wall which faces lands zoned residential provided the land on which the building wall is located is separated from the lands zoned residential by a distance of at least 36 m (118 ft);
- 19) by replacing Schedule III WALL SIGNS, Sentence 1.(3) and Schedule IV AWNING SIGNS & CANOPY SIGNS, Sentence 1.(3) to read:
1.(3) *Signs* located on a building wall separated less than 36 m (118 ft) from lands zoned residential shall be indirectly *illuminated* only. Illumination shall be fully shielded and oriented downward;
- 20) by replacing Schedule III WALL SIGNS, Sentence 1.(8) to read:
1.(8) *Signs* shall pertain to goods and services provided on the property where the *sign* is located and where in a multi-tenant plaza shall be wholly contained on the *building wall face* of the unit to which it is advertising. Third party advertising shall be prohibited;
- 21) by deleting therefrom the chart from Schedule III WALL SIGNS, and replacing it with the chart as Schedule III WALL SIGNS attached hereto;
- 22) by replacing Schedule IV AWNING SIGNS & CANOPY SIGNS, Sentence 1.(6) to read:
1.(6) All *signs* on units in a *commercial or industrial plaza* shall be a uniform style, except where the unit in such plaza occupies more than 3000 m² (32 292 ft²);
- 23) by adding thereto Schedule IV AWNING SIGNS & CANOPY SIGNS, Sentence 1.(9) to read:
1.(9) *Signs* shall pertain to goods and services provided on the property where the *sign* is located and where in a multi-tenant plaza shall be wholly contained on the *building wall face* of the unit to which it is advertising. Third party advertising shall be prohibited.;
- 24) by adding thereto Schedule VI GARDEN SQUARE PRECINCT attached hereto;
- 25) by replacing Schedule VII PRODUCTION HOME BUILDERS, Sentence 1.(1) to read:
1.(1) Signs designated under this schedule shall be permitted on:
(a) Land where in conjunction with an approved temporary sales office or *model home*; or
(b) A draft plan of subdivision that is approved for future development by the builder for which the *sign* advertises;
- 26) by deleting therefrom the chart from Schedule VII PRODUCTION HOME BUILDERS, and replacing it with the chart as Schedule VII PRODUCTION HOME BUILDERS attached hereto;

**SCHEDULE I TO BY-LAW 399-2002
PORTABLE SIGNS**

(11) *Portable signs* shall be subject to the requirements and restrictions as set out in the table below:

	# of Signs Permitted on a Lot	Maximum Display Period (from date of issuance of permit)	Maximum Size of Sign including the sign structure		Maximum Height of Lettering	Colour of Sign
			Height	Area		
Class A Portable Sign ^{1,8}	One sign per 92 m (300 ft) of road frontage ²	30 Days ^{3,4}	2.13 m (7 ft)	5 m ² (53.8 ft ²)	51 cm (20 in)	Black on White, or White on Black
Class B Portable Sign ⁵	One sign per 46 m (150 ft) of road frontage	30 Days ^{3,4}	1.2 m (4 ft)	1.5 m ² (16 ft ²)	Not Limited	Black on White, or White on Black
Class C Portable Sign	One sign per lot ²	14 Days ^{3,6}	7 m (23 ft)	Maximum width shall be 6 m (19.7 ft)	Not Limited	Not Limited
Class D Portable Sign	One sign per 46 m (150 ft) of road frontage ⁹	30 Days ¹⁰	1.2 m (4 ft)	1.5 m ² (16 ft ²) ⁷	Not Limited	Not Limited
¹ If internally illuminated, shall be CSA and hydro approved						
² Shall not be placed closer than 92 m (300 ft) to another Class A, Class C or Class D sign located on the same property						
³ A subsequent permit shall not be issued for a single business location or for the same unit in a plaza until at least one month has elapsed from the date of expiry of the previous permit						
⁴ No more than three permits shall be issued for a single business location or unit in a plaza in a calendar year						
⁵ Shall be displayed only during the hours of business for which it is advertising						
⁶ No more than two permits shall be issued for a single business location or unit in a plaza in a calendar year						
⁷ Where the permit applies to a banner sign, the banner shall be permitted only when attached to the building wall face of a building and shall be no larger than 20% of the building wall face on which the sign is located or a maximum of 25 m ² (269 ft ²), whichever is less						
⁸ Where the property contains a ground sign with an Electronic Variable Message Centre, Class A Portable Signs shall be prohibited						
⁹ Shall not be placed closer than 46 m (150 ft) to another Class A, Class C or Class D sign located on the same property						
¹⁰ No more than five permits shall be issued for a single business location or unit in a plaza in a calendar year						

**SCHEDULE II TO BY-LAW 399-2002
GROUND SIGNS**

(5) *Ground signs* shall be subject to the requirements and restrictions as set out in the table below:

	Required Zoning of Property	# of Signs Permitted on a Lot	Minimum Distance from Property Lines	Maximum Sign Area	Maximum Height
Class A	Open Space Floodplain/Greenbelt Commercial Industrial Institutional ⁹	One ^{1,7}	1.5 m (5 ft)	15 m ² (161 ft ²) ¹¹	7.5 m (24.5 ft)
Class B ₂	Commercial ³ Industrial ³	One	10 m (32 ft)	20 m ² (215 ft ²)	7.5 m (24.5 ft)
Brampton Downtown Area _{4,5,6}	Commercial	One	1.5 m (5 ft)	1 m ² (10.8 ft ²)	2.3 m (7.5 ft)
Queen Street Corridor and Downtown Brampton Provisions ₁₀	Residential where a commercial use has been approved through Committee Of Adjustment ⁸	One	1.5m (5 ft)	1 m ² (10.8 ft ²)	1.2 m (4 ft)
	¹ One additional <i>ground sign</i> shall be permitted for a corner <i>lot</i> , having a combined frontage in excess of 150 m (492 ft) on two or more streets, provided that the two <i>signs</i> do not front on the same street. A minimum distance of 30 m (98 ft) shall be provided between each <i>sign</i> and a minimum distance of 15 m (49 ft) shall be provided between each <i>sign</i> and the nearest corner of a <i>visibility triangle</i> .				
	² No <i>ground sign</i> shall be erected within 100 m (328 ft) of a property zoned residential				
	³ The property shall be vacant land with a minimum lot size of 1 hectare (2.5 acres). The <i>sign</i> shall be removed prior to the development of the site				
	⁴ As indicated in Schedule X of this by-law				
	⁵ <i>Signs</i> shall be non-illuminated				
	⁶ In lieu of a <i>wall sign</i> or <i>canopy sign</i> on a property of commercial use that is of other than a <i>home occupation</i> (as defined and permitted by the applicable zoning By-law)				
	⁷ In addition to permitted <i>ground signs</i> , signage identifying the plaza or development name shall be permitted provided it is wholly contained within an entryway feature wall that has been approved by the <i>City</i> . This provision shall also apply to entryway feature walls at the entrance to a plan of subdivision.				
	⁸ <i>Signs</i> shall be permitted only for the duration of the Committee of Adjustment approval of the commercial use and shall be removed upon expiration of the approval of the commercial use through Committee of Adjustment				
	⁹ Should a commercial, industrial or institutional use be permitted through the <i>City</i> of Brampton Zoning By-law on an agricultural or residential zoned property, <i>ground signs</i> shall be permitted as if the property were zoned as such				
	¹⁰ As indicated in Map 3 of Schedule XV of this by-law				
	¹¹ An <i>Electronic Variable Message Centre</i> is permitted only within a Class A <i>ground sign</i> provided it does not exceed 1/3 of the <i>sign area</i> and is not located within 100 m (328 ft) of a property zoned residential. An <i>Electronic Variable Message Centre</i> shall not contain a flashing message or image. Where the message is of other than scrolling script, the frequency of an image change shall not be less than every 10 seconds				

**SCHEDULE III TO BY-LAW 399-2002
WALL SIGNS**

(9) *Wall signs* shall be subject to the requirements and restrictions as set out in the table below:

	Maximum Aggregate Sign Area	Upper Limit of Sign	Maximum Vertical Dimension	Minimum Clearance from Finished Grade
Wall Signs (Other than listed below)	20% of the area of the <i>building wall face</i> on which the <i>sign</i> is located to a maximum of 25m ² (269 ft ²) ^{1,8}	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; • The floor level of the second storey on a multi-storey building²; or • Wholly contained within a gable end wall or parapet feature of a one-storey building⁹ 	1.8 m (6 ft) ³	2.4 m (7.9 ft) ¹⁰
Commercial and Industrial Plazas	20% of the area of the <i>building wall face</i> of the unit on which the <i>sign</i> is located to a maximum of 25m ² (269 ft ²) ^{1,8}	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; • The floor level of the second storey on a multi-storey building²; or • Wholly contained within a gable end wall or parapet feature of the unit of a one-storey building⁹ 	1.8 m (6 ft) ³	2.4 m (7.9 ft) ¹⁰
Single Tenant Industrial Building	6% of the area of the <i>building wall face</i> of the unit on which the <i>sign</i> is located ⁸	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; • The floor level of the second storey on a multi-storey building²; or • Wholly contained within a gable end wall or parapet feature of a one-storey building 	1.8 m (6 ft) ³	2.4 m (7.9 ft) ¹⁰
Big Box Commercial Developments	6% of the area of the <i>building wall face</i> on which the <i>sign</i> is located ⁸	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; or • Wholly contained within a wall or parapet feature of the building 	1.8 m (6 ft) ³	2.4 m (7.9 ft) ¹⁰
Indoor Shopping Malls	6% of the area of the <i>building wall face</i> on which the <i>sign</i> is located ⁸	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; • The second storey on a multi-storey building; or • Wholly contained within a gable end wall or parapet feature of a one-storey building 	1.8 m (6 ft) ³	2.4 m (7.9 ft) ¹⁰
Signs Located on Towers	Shall consist of a <i>logo</i> only	<ul style="list-style-type: none"> • Wholly contained within the <i>tower</i> feature 	0.9 m (3 ft)	2.4 m (7.9 ft)
Brampton Downtown Area ^{4,5,6,7}	10% of the area of the <i>building wall face</i> on which the <i>sign</i> is located to a maximum of 10m ² (107.6 ft ²) ^{1,8}	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; • The floor level of the second storey on a multi-storey building; or • Wholly contained within a gable end wall or parapet feature of a one-storey building⁹ 	0.9 m (3 ft)	2.4 m (7.9 ft) ¹⁰
	¹ Whichever is less			
	² The upper limit of a <i>sign</i> on an industrial building shall be the top of the 2 nd storey office wall			
	³ Applies to the height of individual letters only			
	⁴ As indicated in Schedule X of this by-law			
	⁵ <i>Signs</i> shall not be painted directly on the wall and <i>sign boxes</i> shall be prohibited.			
	⁶ May be indirectly <i>illuminated</i> only			
	⁷ In lieu of a <i>ground sign</i>			
	⁸ Window <i>signs</i> shall be permitted as part of the maximum aggregate area			
	⁹ Two additional <i>signs</i> each on separate <i>building wall faces</i> may be permitted on an <i>office building</i> , school or hotel two or more storeys in height. The additional <i>signs</i> shall be located only on the top storey but shall be contained below the <i>roof line</i> of the building. The two additional <i>signs</i> shall not exceed a maximum of 2% of the <i>building wall face</i> or 30 m ² (323 ft ²), whichever is less.			
	¹⁰ <i>Signs</i> are permitted less than 2.4 m (7.9 ft) from grade where a <i>sign</i> projects no more than 100 mm (4 in) from the <i>building wall face</i>			

**SCHEDULE VI TO BY-LAW 399-2002 (Continued) –
GARDEN SQUARE PRECINCT**

3. WALL SIGNS

(1) The maximum permitted sign area as a combination of all types of signs as described in the following chart shall not exceed 20% of the area of the *building wall face* on which the *sign* is located

Type of Sign	Maximum Aggregate Sign Area	Upper Limit of Sign	Maximum Vertical Dimension	Minimum Clearance from Finished Grade
Wall Sign ^{3,4,5}	10% of the area of the <i>building wall face</i> on which the <i>sign</i> is located to a maximum of 10m ² (107.6 ft ²), whichever is less	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; • The floor level of the second storey on a multi-storey building; or • Wholly contained within a gable end wall of a one-storey building. 	0.9 m (3 ft)	2.4 m (7.9 ft)
Canopy Roof Sign ³	Maximum sign width: 80% of the width of the leading edge of the canopy	Attached directly to the top and front of the canopy	0.6 m (2 ft)	Not Limited
Awning Sign & Canopy Sign ^{3,5}	35% of the area of the face of the <i>awning</i> or <i>canopy</i>	Fully contained within the canopy or awning face	Not Limited	2.4 m (7.9 ft)
Overhead Sign ³	0.8 m ² (9 ft ²) ⁶	3.4 m (11 ft)	0.9 m (3 ft)	2.4 m (7.9 ft)
Window Sign	10% of the glazed area to a maximum of 10m ² (107.6 ft ²), whichever is less ⁷	Shall be contained on the main floor of the building only	Not Limited	Not Limited
Restaurant Menu Sign ^{3,5,8}	0.6 m ² (6 ft ²)	Shall be contained on the main floor of the building only	Not Limited	Not Limited
Permanent Banner ^{3,9}	2.2 m ² (24 ft ²) ¹⁰	Roof line of the building	Not Limited	2.4 m (7.9 ft)
Corporate Logo Signs ^{3,11}	2% of the building wall face on which the sign is located	Logo shall be permitted at the top of the building only but shall be contained below the roof line of the building	Not limited	2.4 m (7.9 ft)
	³ Shall be indirectly illuminated only			
	⁴ Sign shall be manufactured as individual cut-out letters only (a corporate logo is permitted)			
	⁵ Signs shall not project more than 0.1 m (4 in) from the wall or canopy face			
	⁶ Maximum width shall be 0.9 m (3 ft) and maximum extension from the main wall of the building shall be 1.3 m (4.3 ft)			
	⁷ Window sign shall be applied directly to the glazed surface of the window in a permanent manner			
	⁸ A maximum of one sign per 20 m (65.6 ft) of frontage is permitted and signs shall contain the restaurant menu only			
	⁹ Permanent Banners shall hang from projecting metal brackets perpendicular to the wall face of the building			
	¹⁰ Banner shall not project more than 0.9 m (3 ft) from the building wall face			
	¹¹ A maximum of one corporate logo shall be permitted			

**SCHEDULE VI TO BY-LAW 399-2002 –
GARDEN SQUARE PRECINCT**

1. GENERAL PROVISIONS:

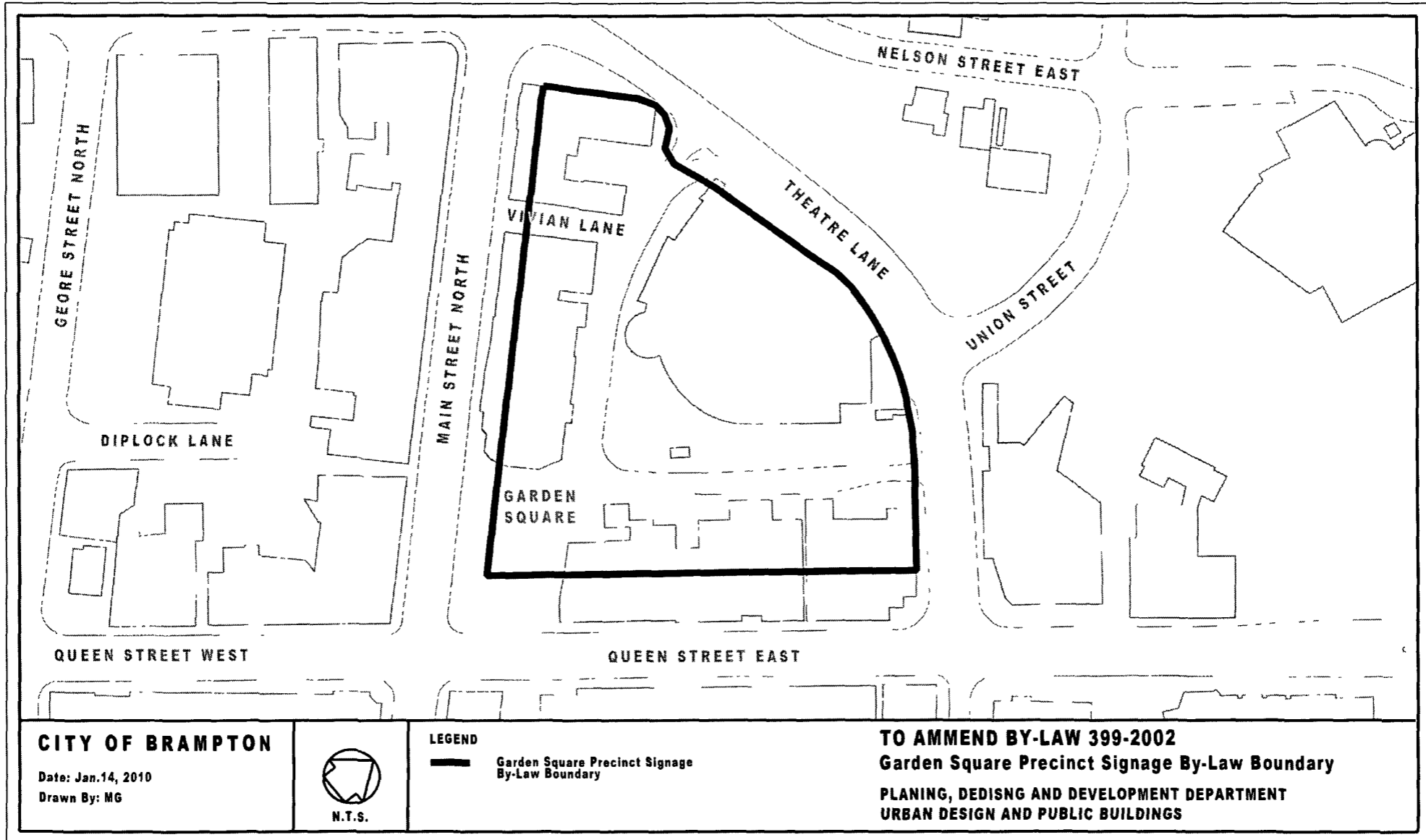
- (1) Where there is a conflict between other provisions of the By-law and the provisions of this schedule, this schedule shall apply to the Garden Square Precinct;
- (2) Ground signs shall not be permitted within the Garden Square Precinct; and
- (3) Signs within the Garden Square Precinct as outlined on Map 4 to this By-law shall be subject to the requirements and restrictions as set out in the tables below:

2. PORTABLE SIGNS

	# of Signs Permitted on a Lot	Maximum Display Period (from date of issuance of permit)	Maximum Size of Sign including the sign structure		Colour of Sign
			Height	Area	
A-frame Signs ₁	One sign per 20 m (65.6 ft) of frontage	30 Days ₂	1.2 m (4 ft)	1.5 m ² (16 ft ²)	Black on White, or White on Black
Pedestal Signs ₁	One sign per 20 m (65.6 ft) of frontage	30 Days ₂	1.2 m (4 ft)	1.5 m ² (16 ft ²)	Not Limited
Banner Signs	One sign per 9 m (29.5 ft) of frontage	30 Days ₂	Banner shall not exceed 10% of the building wall face or a maximum of 10 m ² (107.6 ft ²), whichever is less		Not Limited
₁ Shall be displayed only during the hours of business for which it is advertising					
₂ No more than five permits shall be issued for a single business location or unit in a plaza in a calendar year					

SCHEDULE VI TO BY-LAW 399-2002 (Continued) -
GARDEN SQUARE PRECINCT

MAP 4



Garden Square Precinct Signage Guidelines Boundary.psd

**SCHEDULE VII TO BY-LAW 399-2002 –
PRODUCTION HOME BUILDERS**

(9) *Signs for Production Home Builders* shall be subject to the requirements and restrictions as set out in the tables below:

	Ground Signs				Wall Signs ⁴
	# of Signs Permitted on a Lot	Maximum Sign Area	Maximum Height	Minimum Distance from Property Lines	Maximum Sign Area
Signs on the same property as a Temporary Sales Office	One	15 m ² (161 ft ²) ¹	7.5 m (24.5 ft)	1.5 m (5 ft)	Not Limited ²
Signs on the same property as a model home approved for use as a temporary sales office	One	6 m ² (64 ft ²)	3.6 m (12 ft)	1.5 m (5 ft)	10% of the area of the <i>building wall face</i> of each elevation
Signs on the same Property as a Model Home used for the purpose of display only	One	0.75 m ² (8.1 ft ²)	1.2 m (4 ft)	1.5 m (5 ft)	Not Permitted
Signs on Draft Approved Agricultural Property ³	One	15 m ² (161 ft ²)	7.5 m (24.5 ft)	10 m (32 ft)	Not Permitted
	¹ Where the <i>sign</i> is advertising more than one <i>production home builder</i> with temporary sales offices located on the same <i>lot</i> , the maximum permitted <i>sign area</i> may be increased to 20 m ² (215 ft ²)				
	² <i>Signs</i> shall be contained wholly within the <i>building wall face</i> of the structure				
	³ <i>Sign</i> shall pertain to the builder and homes to be developed on the site, third party advertising shall be prohibited				
	⁴ <i>Signs</i> at sales centres displayed on a unit in a <i>commercial or industrial plaza</i> shall be subject to the provisions of Schedule III WALL SIGNS to this by-law				

	A-Frame Signs		
	# of Signs Permitted	Maximum Sign Area	Maximum Height of Sign
Signs on the Road Right-of-way	12 per sales office ⁵	1.5 m ² (16 ft ²) ⁶	1.2 m (4 ft)
	⁵ Permits are for a 3 month period		
	⁶ No <i>sign</i> shall have more than two faces		

**SCHEDULE VIII TO BY-LAW 399-2002 –
GAS BARS AND DRIVE THROUGH COMMERCIAL OPERATIONS**

(11) *Signs* for gas bars and drive through commercial operations shall be subject to the requirements and restrictions set out in the tables below:

	Ground Signs						
	Minimum Distance from Property Lines	Main Ground Signs			Instructional Signs ^{1,2}		
		# of Signs Permitted on a Lot	Maximum Sign Area	Maximum Height	# of Signs Permitted per drive through facility	Maximum Sign Area	Maximum Height
Gas Bars ₃	1.5 m (5 ft)	One ^{4,6}	15 m ² (161 ft ²) ⁵	7.5 m (24.5 ft)	Two	2 m ² (21.5 ft ²)	2 m (6.6 ft)
Drive Through Commercial Operations	1.5 m (5 ft)	One ⁴	15 m ² (161 ft ²) ⁵	7.5 m (24.5 ft)	Two	2 m ² (21.5 ft ²)	2 m (6.6 ft)
¹ In Addition, <i>directional signs</i> shall be permitted and exempt from permits provided no <i>sign</i> is greater than 0.75 m ² (8.1 ft ²) in <i>sign area</i> and that the top the <i>sign</i> is no higher than 1.5 m (5 ft) above the finished grade at the <i>sign</i> location. <i>Directional signs</i> may include a corporate <i>logo</i> providing such <i>logo</i> is displayed entirely within the face of the <i>sign</i>							
² No <i>sign</i> shall be located so as to obstruct, interfere or impede movement of pedestrian or vehicular traffic, or otherwise create a hazard							
³ One non-illuminated auxiliary promotional <i>sign</i> affixed to each fuel pump shall be permitted and exempt from permits provided no <i>sign</i> is greater than 1 m ² (10.8 ft ²) in <i>sign area</i>							
⁴ One additional <i>ground sign</i> shall be permitted for a corner <i>lot</i> having a combined frontage in excess of 150 m (492 ft) on two or more streets provided that the two <i>signs</i> do not front on the same street. A minimum distance of 30 m (98 ft) shall be provided between each <i>sign</i> and a minimum distance of 15 m (49 ft) shall be provided between each <i>sign</i> and the nearest corner of a <i>visibility triangle</i>							
⁵ An <i>Electronic Variable Message Centre</i> is permitted within a main <i>ground sign</i> provided it does not exceed 1/3 of the <i>sign area</i> and is not located within 100 m (328 ft) of a property zoned residential. An <i>Electronic Variable Message Centre</i> shall not contain a flashing message or image. Where the message is of other than scrolling script, the frequency of an image change shall not be less than every 10 seconds							
⁶ Where a gas bar forms part of a commercial or industrial plaza, ground signs for the plaza shall be permitted as regulated under Schedule II GROUND SIGNS to this by-law. In addition to ground signs permitted for the plaza, one ground sign shall be permitted for the sole use of the gas bar and any subsidiary uses contained within the gas bar.							

SCHEDULE VIII TO BY-LAW 399-2002 – (Continued)
GAS BARS AND DRIVE THROUGH COMMERCIAL OPERATIONS

	Wall Signs				Freestanding Canopies ⁶	
	Maximum Sign Area	Upper Limit of Sign	Maximum Vertical Dimension	Minimum Clearance from Finished Grade	Maximum Sign Area	Upper Limit of Sign
Gas Bars	20% of the area of the <i>building wall face</i> on which the <i>sign</i> is located to a maximum of 25m ² (269 ft ²) ⁷	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; • The floor level of the second storey on a multi-storey building; or • Wholly contained within a gable end wall or parapet feature of a one-storey building. 	1.8 m (6 ft)	2.4 m (7.9 ft) ⁹	35% of the area of the <i>canopy</i>	Wholly contained within the <i>canopy</i> ⁸
Drive Through Commercial Operations	20% of the area of the <i>building wall face</i> on which the <i>sign</i> is located to a maximum of 25m ² (269 ft ²) ⁷	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; • The floor level of the second storey on a multi-storey building; or • Wholly contained within a gable end wall or parapet feature of a one-storey building. 	1.8 m (6 ft)	2.4 m (7.9 ft) ⁹	35% of the area of the <i>canopy</i>	Wholly contained within the <i>canopy</i> ⁸
	⁶ <i>Logo signs</i> shall be permitted under the <i>canopy</i> provided they are attached directly above the fuel pumps and are no greater than 2.8 m ² (30 ft ²) in <i>sign area</i>					
	⁷ Whichever is less. <i>Window signs</i> shall be permitted as part of the maximum aggregate <i>sign area</i>					
	⁸ A <i>Logo</i> is permitted to project a maximum of 1 m (3.3 ft) above the top of the <i>canopy</i>					
	⁹ <i>Signs</i> are permitted less than 2.4 m (7.9 ft) from grade where a <i>sign</i> projects no more than 100 mm (4 in) from the <i>building wall face</i>					

**SCHEDULE X TO BY-LAW 399-2002
BRAMPTON DOWNTOWN AREA**

1. GENERAL PROVISIONS:

- (1) Signs within the Brampton Downtown Area as outlined on Map 2 to this by-law shall be subject to the requirements and restrictions set out in the tables below, which consolidate the provisions applying to this area as contained in Schedules I to VIII to this by-law

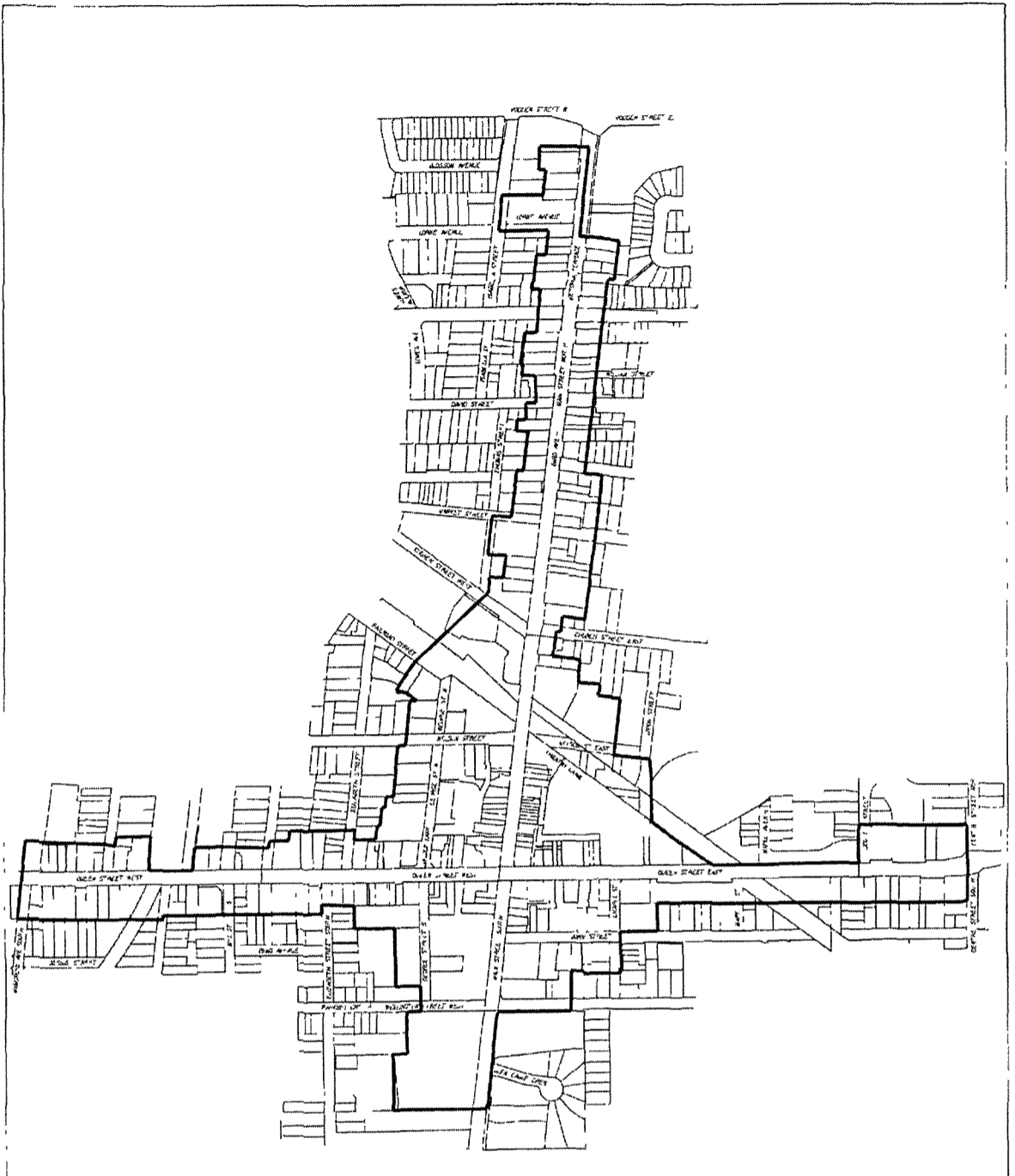
Portable Signs						
	# of Signs Permitted on a Lot	Maximum Display Period (from date of issuance of permit)	Maximum Size of Sign including the Sign Structure		Maximum Height of Lettering	Colour of Sign
			Height	Area		
Class A Portable Sign ^{1,8}	One sign per 92 m (300 ft) of road frontage ²	30 Days ^{3,4}	2.13 m (7 ft)	5 m ² (53.8 ft ²)	51 cm (20 in)	Black on White, or White on Black
Class B Portable Sign ⁵	One sign per 46 m (150 ft) of road frontage	30 Days ^{3,4}	1.2 m (4 ft)	1.5 m ² (16 ft ²)	Not Limited	Black on White, or White on Black
Class C Portable Sign	One sign per lot ²	14 Days ^{3,6}	7 m (23 ft)	Maximum width shall be 6 m (19.7 ft)	Not Limited	Not Limited
Class D Portable Sign	One sign per 46 m (150 ft) of road frontage ⁹	30 Days ¹⁰	1.2 m (4 ft)	1.5 m ² (16 ft ²) ⁷	Not Limited	Not Limited
¹ If internally illuminated, shall be CSA and hydro approved ² Shall not be placed closer than 92 m (300 ft) to another Class A, Class C or Class D sign located on the same property ³ A subsequent permit shall not be issued for a single business location or for the same unit in a plaza until at least one month has elapsed from the date of expiry of the previous permit ⁴ No more than three permits shall be issued for a single business location or unit in a plaza in a calendar year ⁵ Shall be displayed only during the hours of business for which it is advertising ⁶ No more than two permits shall be issued for a single business location or unit in a plaza in a calendar year ⁷ Where the permit applies to a banner sign, the banner shall be permitted only when attached to the building wall face of a building and shall be no larger than 20% of the building wall face on which the sign is located or a maximum of 25 m ² (269 ft ²), whichever is less ⁸ Where the property contains a ground sign with an Electronic Variable Message Centre, Class A Portable Signs shall be prohibited ⁹ Shall not be placed closer than 46 m (150 ft) to another Class A, Class C or Class D sign located on the same property ¹⁰ No more than five permits shall be issued for a single business location or unit in a plaza in a calendar year						

**SCHEDULE X TO BY-LAW 399-2002 - (Continued)
BRAMPTON DOWNTOWN AREA**

Signs other than Portable Signs				
Type of Sign	Maximum Aggregate Sign Area	Upper Limit of Sign	Maximum Vertical Dimension	Minimum Clearance from Finished Grade
Ground Signs ^{11,12}	1 m ² (10.8 ft ²)	2.3 m (7.5 ft)	Not Limited	Not Limited
Wall Signs ^{13,14,15}	10% of the area of the <i>building wall face</i> on which the <i>sign</i> is located to a maximum of 10m ² (107.6 ft ²), whichever is less	<ul style="list-style-type: none"> • <i>Roof line</i> of a one storey building; • The floor level of the second storey on a multi-storey building; or • Wholly contained within a gable end wall of a one-storey building. ¹⁷ 	0.9 m (3 ft)	2.4 m (7.9 ft) ¹⁸
Awning Signs & Canopy Signs ^{11,15}	35% of the area of the <i>awning or canopy</i>	Not Limited	Not Limited	2.4 m (7.9 ft)
Overhead Signs	0.8 m ² (9 ft ²) ¹⁶	3.4 m (11 ft)	0.9 m (3 ft)	2.4 m (7.9 ft)
	¹¹ Shall be non-illuminated			
	¹² One <i>ground sign</i> shall be permitted in lieu of a <i>wall sign</i> , <i>awning sign</i> or <i>canopy sign</i> on a property zoned commercial, with a minimum distance from all property lines of 1.5 m (5 ft)			
	¹³ <i>Sign</i> shall not be painted directly on the wall and <i>sign boxes</i> shall be prohibited. <i>Window signs</i> shall be permitted as part of the maximum aggregate <i>sign area</i>			
	¹⁴ May be indirectly <i>illuminated</i> only			
	¹⁵ In lieu of a <i>ground sign</i>			
	¹⁶ Maximum width shall be 0.9 m (3 ft) and maximum extension from the main wall of the building shall be 1.3 m (4.3 ft)			
	¹⁷ Two additional <i>signs</i> each on separate <i>building wall faces</i> may be permitted on an <i>office building</i> , school or hotel two or more storeys in height. The additional <i>signs</i> shall be located only on the top storey but shall be contained below the <i>roof line</i> of the building. The two additional <i>signs</i> shall not exceed a maximum of 2% of the <i>building wall face</i> or 30 m ² (323 ft ²), whichever is less.			
	¹⁸ <i>Signs</i> are permitted less than 2.4 m (7.9 ft) from grade where a <i>sign</i> projects no more than 100 mm (4 in) from the <i>building wall face</i>			

**SCHEDULE X TO BY-LAW 399-2002 - (Continued)
BRAMPTON DOWNTOWN AREA**

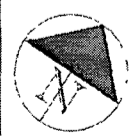
MAP 2



— BRAMPTON DOWNTOWN AREA



BY-LAW _____ SCHEDULE X



CITY OF BRAMPTON
PLANNING DESIGN AND
DEVELOPMENT DEPARTMENT

**SCHEDULE XII TO BY-LAW 399-2002
FEE SCHEDULE**

1. Applicable fees shall be paid in accordance with the following:

Class of Sign	Permit Fee
<i>Portable sign – Class A, B C, D and Production home builder A-Frame Signs</i>	\$125.00 / permit (non-refundable fee payable upon application)
<i>Ground Sign & Development Signs</i>	\$30.00 / m ² of <i>sign area</i> (minimum \$225.00 non-refundable portion of fee)
<i>Wall Sign, Awning Sign, Canopy Sign and Overhead Sign</i>	\$30.00 / m ² of <i>sign area</i> (minimum \$225.00 non-refundable portion of fee)
<i>Revisions to an application or an issued permit (permanent & portable sign permits)</i>	\$100.00
Application to Amend the Sign By-law	\$2000.00 non-refundable fee
Administrative fee for <i>City</i> removal of a <i>sign</i> not in compliance with an Order under By-law 399-2002, as amended (Sign By-law)	\$100 per hour of staff time, escalating in accordance with the CPI, with a minimum of \$500 per incident ₁
₁ Costs incurred by the <i>City</i> pursuant to this By-law are a lien on the land upon the registration in the proper land registry office of a notice of lien. When the <i>City</i> performs work under Section 11 of the Sign By-law, it may impose an administrative fee over and above out of pocket costs.	

2. Unless otherwise indicated above, the amount of fees refundable shall be calculated as follows:

- (1) Cancellation of a permit application: fees will be refunded in accordance with the following schedule upon receipt of a written request for cancellation or if an application is deemed abandoned by the Chief Building Official or their designate:

If administrative functions only have commenced	90%
If review functions have commenced	40%
If the review has been completed	30%

- (2) Cancellation (revocation) of a permit at the request of the permit holder: if within six (6) months of the issuance of a permit and no work has been commenced on the project for which the permit was issued, a refund of 30% of the total permit fee payable may be paid to the permit holder.
- (3) No refund is applicable after six (6) months has elapsed from the date of the issuance of the permit.
- (4) No refund of fees is applicable if the permit is revoked under section 8(10) of the Building Code Act.
- (5) A *portable sign* permit may be revoked and no refund of fees is applicable if the *portable sign* permit was issued in error, issued on mistaken, false or incorrect information or if the *owner* of the property or permit holder requests in writing that it be revoked.

27) by replacing Schedule VIII GAS BARS AND DRIVE THROUGH COMMERCIAL OPERATIONS, Sentence 1.(4) to read:

1.(4) *Illuminated signs* shall be permitted on a building wall which faces lands zoned residential provided the land on which the building wall is located is separated from the lands zoned residential by a distance of at least 36 m (118 ft);

28) by replacing Schedule VIII GAS BARS AND DRIVE THROUGH COMMERCIAL OPERATIONS, Sentence 1.(5) to read:

1.(5) *Signs* located on a building wall separated less than 36 m (118 ft) from lands zoned residential shall be indirectly *illuminated* only. Illumination shall be fully shielded and oriented downward;

29) by deleting therefrom the chart from Schedule VIII GAS BARS AND DRIVE THROUGH COMMERCIAL OPERATIONS, and replacing it with the chart as VIII GAS BARS AND DRIVE THROUGH COMMERCIAL OPERATIONS attached hereto;

30) by adding thereto VIII GAS BARS AND DRIVE THROUGH COMMERCIAL OPERATIONS, Sentence 1.(11) to read:

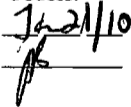
1.(11) No person shall erect or display, or cause to be erected or displayed, a *ground sign* within a *visibility triangle*, unless such *sign* has a minimum clearance of 2.4 m (7.9 ft) above finished grade; and


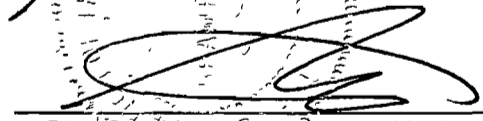
31) by deleting therefrom Schedule X BRAMPTON DOWNTOWN AREA, and replacing it with Schedule X BRAMPTON DOWNTOWN AREA attached hereto;

32) by deleting therefrom Schedule XII FEE SCHEDULE, and replacing it with Schedule XII FEE SCHEDULE attached hereto; and


33) by correcting the numbering sequence of Schedule XIII SITE SPECIFIC PROVISIONS;

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL, this 24th day of February, 2010.

Approved as to form.
Jan 21/10



ACTING Mayor ~~Susan Pennell~~
JOHN SANDERSON

City Clerk ~~Kathryn Zammit~~

Approved as to content


Brenda Campbell
Director of Building and
Chief Building Official