

THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number_	18-2001
To amend By	-law 151-88, as amended.

The Council of the Corporation of the City of Brampton ENACTS as follows:

- 1. By-law 151-88, as amended, is hereby further amended:
 - (1) by changing, on Sheet 23 of Schedule A thereto, the zoning designation of the lands shown outlined on Schedule A to this by-law from AGRICULTURAL (A) to RESIDENTIAL SINGLE FAMILY B SECTION 946 (R1B-SECTION 946), RESIDENTIAL SINGLE FAMILY B SECTION 947 (R1B-SECTION 947), RESIDENTIAL SINGLE FAMILY C SECTION 1076 (R1C-SECTION 1076), RESIDENTIAL SINGLE FAMILY C SECTION 949 (R1C-SECTION 949), RESIDENTIAL SINGLE FAMILY C SECTION 1075 (R1C-SECTION 1075), RESIDENTIAL TWO FAMILY A SECTION 942 (R2A-SECTION 942), INSTITUTIONAL ONE SECTION 944 (I1-SECTION 944), INSTITUTIONAL ONE SECTION 1043 (I1-SECTION 1043), RESIDENTIAL STREET TOWNHOUSE B SECTION 943 (R3B-SECTION 943), COMMERCIAL ONE (C1), OPEN SPACE (OS) and FLOODPLAIN (F).
 - (2) by adding thereto the following sections:
 - "942 The lands designated R2A-Section 942 on Sheet 23 of Schedule "A" to this by-law:
 - 942.1 shall only by used for the following purposes:
 - (1) a semi-detached dwelling;
 - (2) an auxiliary group home; and
 - purposes accessory to the other permitted purposes.

942.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Lot Area: 432 square metres
- (2) Minimum Lot Width:

Interior Lot: 18.0 metres and 9.0 metres per dwelling

unit.

Corner Lot: 19.8 metres and 10.8 metres for the dwelling

unit closest to the flankage lot line.

- (3) Minimum Lot Depth: 24.0 metres
- (4) Minimum Front Yard Depth:

6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling.

(5) Minimum Rear Yard Depth:

7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.

(6) Minimum Interior Side Yard Width:

1.2 metres, except along the common wall lot line where the setback may be 0.0 metres.

(7) Minimum Exterior Side Yard Width:

3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.

- (8) Maximum Garage Door Width:
 - a) the maximum garage door width shall be 3.1 metres.
 - b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit.
 - c) the garage door width restriction does not apply to the garage door facing a flankage lot line.
 - d) the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

- (9) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- (10) Garage Projection:

No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling for the particular unit;

(11) Setback From TransCanada Pipeline:

No permanent structures shall be located within 10 metres of the limit of the TransCanada Pipeline right-of-way."

- 942.3 shall also be subject to the requirements and restrictions of the R2A zone and all the general requirements and restrictions of this by-law which are not in conflict with those in 942.2."
- "943 The lands designated R3B-Section 943 on Sheet 23 of Schedule "A" to this by-law:
- 943.1 shall only by used for the purposes permitted in an R3B zone.
- 943.2 shall be subject to the following requirements and restrictions:
 - (1) Minimum Lot Area: 504 square metres
 - (2) Minimum Lot Width:

Interior Lot: 21.0 metres and 7.0 metres per dwelling unit Corner Lot: 22.8 metres and 8.8 metres per dwelling unit

- (3) Minimum Lot Depth: 24.0 metres
- (4) Minimum Front Yard Depth:

6.0 metres to the front of the garage and 4.5 metres to the front wall of the dwelling

- (5) Minimum Rear Yard Depth: 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.
- (6) Minimum Interior Side Yard Width:

1.2 metres, except along the common wall lot line where the setback may be 0.0 metres.

(7) Minimum Exterior Side Yard Width:

3.0 metres, except where a garage faces the exterior side lot line the minimum setback to the front of the garage shall be 6.0 metres.

(8) Maximum Garage Door Width:

- (a) the maximum garage door width shall be 3.1 metres;
- (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
- (c) the garage door width restriction does not apply to the garage door facing a flankage lot line; and
- (d) the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

(9) Garage Projection:

No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling for the particular unit;

(10) Minimum Landscaped Open Space:

- (a) 40% of the minimum front yard area; and
- (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.

(11) Front to Rear Access:

Each townhouse dwelling unit shall have direct pedestrian access from the front yard to the rear yard with no more than a two step grade difference inside the unit and without passing through a habitable room.

(12) Townhouse Width:

No more than 8 townhouse dwelling units shall be attached or the total maximum dwelling width shall be 50 metres, whichever is greater.

- (13) Maximum Lot Coverage: none.
- (14) Setback From TransCanada Pipeline:

No permanent structures shall be located within 10 metres of the limit of the TransCanada Pipeline right-of-way."

- 943.3 shall also be subject to the requirements and restrictions of the R3B zone and all the general provisions of this by-law which are not in conflict with those in 943.2."
- "944 The lands designated I1 Section 944 on Sheet 23 of Schedule A to this by-law:
- 944.1 shall only be used for:

either:

- (1) the following:
 - (a) a public or private school;
 - (b) a day nursery;
 - (c) a park, playground or recreation facility operated by a public authority; and,
 - (d) purposes accessory to the other permitted purposes;

or:

- (2) the following:
 - (a) those purposes permitted in a R1C Section 945 zone;
 - (b) a park, playground or recreation facility operated by a public authority; and,
 - (c) purposes accessory to the other permitted purposes.

- 944.2 shall be subject to the following requirements and restrictions:
 - (1) For those purposes permitted in section 944.1(1), the requirements and restrictions of the I1 zone.
 - (2) For those purposes permitted in section 944.1(2), the requirements and restrictions of the R1C- Section 945 zone.
- 944.3 shall also be subject to the requirements and restrictions of the I1 zone and all the general provisions of this by-law which are not in conflict with those set out in section 944.2."
- "945 The lands designated R1C Section 945 on Sheet 23 of Schedule A to this by-law:
- 945.1 shall only be used for the purposes permitted in an R1C zone.
- 945.2 shall be subject to the following requirements and restrictions:
 - (1) No permanent structures and excavations shall be located within 10 metres of the limit of the TransCanada Pipeline right-of-way;
 - (2) Minimum Lot Area: 336 square metres;
 - (3) Minimum Lot Width:

Interior Lot: 11.2 metres; Corner Lot: 13.0 metres;

- (4) Minimum Lot Depth: 30 metres;
- (5) Minimum Front Yard Depth:
 - 4.5 metres to the front wall of a dwelling;
- (6) Minimum Exterior Side Yard Width:
 - 3.0 metres to the side wall of a dwelling;
- (7) Minimum Rear Yard Depth:

7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;

- (8) Minimum Interior Side Yard Width:
 - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres;
 - (b) 1.2 metres where the interior side yard abuts a public walkway or a non-residential zone;
- (9) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and,
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;
- (10) Minimum Setback to a Garage Door: 5.4 metres;
- (11) Garage Projection:

No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;

- (12) Maximum Garage Door Width:
 - (a) the maximum garage door width shall be 5.5 metres;
 - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
 - (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
 - (d) the interior garage width, as calculated 3 metres from the garage opening shall not exceed 0.6 metres over the maximum garage door width permitted on the lot;
- 945.3 shall also be subject to the requirements and restrictions of the R1C zone and all the general provisions of this by-law which are not in conflict with those set out in section 945.2."

- "946 The lands designated R1B Section 946 on Sheet 23 of Schedule A to this by-law:
- 946.1 shall only be used for the purposes permitted in an R1B zone.
- 946.2 shall be subject to the following requirements and restrictions:
 - (1) No permanent structures and excavations shall be located within 10 metres of the limit of the TransCanada Pipeline right-of-way;
 - (2) Minimum Lot Area: 420 square metres;
 - (3) Minimum Lot Width:

Interior Lot:

14.0 metres;

Corner Lot:

15.8 metres;

- (4) Minimum Lot Depth: 30 metres;
- (5) Minimum Front Yard Depth:
 - 4.5 metres to the front wall of a dwelling;
- (6) Minimum Exterior Side Yard Width:
 - 3.0 metres to the side wall of a dwelling;
- (7) Minimum Rear Yard Depth:
 - 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;
- (8) Minimum Interior Side Yard Width:
 - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres;
 - (b) 1.2 metres where the interior side yard abuts a public walkway or a non-residential zone;

- (9) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and,
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;
- (10) Minimum Setback to a Garage Door: 5.4 metres;
- (11) Garage Projection:

No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;

- (12) Maximum Garage Door Width:
 - (a) the maximum garage door width shall be 5.5 metres;
 - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
 - (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
 - (d) the interior garage width, as calculated 3 metres from the garage opening shall not exceed 0.6 metres over the maximum garage door width permitted on the lot;
- 946.3 shall also be subject to the requirements and restrictions of the R1B zone and all the general provisions of this by-law which are not in conflict with those set out in section 946.2."
- "947 The lands designated R1B Section 947 on Sheet 23 of Schedule A to this by-law:
- 947.1 shall only be used for the purposes permitted in an R1B zone.
- 947.2 shall be subject to the following requirements and restrictions:
 - (1) No permanent structures and excavations shall be located within 10 metres of the limit of the TransCanada Pipeline right-of-way;
 - (2) Minimum Lot Area: 408 square metres;

(3) Minimum Lot Width:

Interior Lot:

17 metres;

Corner Lot:

18.8 metres;

- (4) Minimum Lot Depth: 24 metres;
- (5) Minimum Front Yard Depth:
 - 4.5 metres to the front wall of a dwelling;
- (6) Minimum Exterior Side Yard Width:
 - 3.0 metres to the side wall of a dwelling;
- (7) Minimum Rear Yard Depth:

7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;

- (8) Minimum Interior Side Yard Width:
 - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres;
 - (b) 1.2 metres where the interior side yard abuts a public walkway or a non-residential zone;
- (9) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and,
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;
- (10) Minimum Setback to a Garage Door: 5.4 metres;
- (11) Garage Projection:

No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;

- (12) Maximum Garage Door Width:
 - (a) the maximum garage door width shall be 5.5 metres;
 - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
 - (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
 - (d) the interior garage width, as calculated 3 metres from the garage opening shall not exceed 0.6 metres over the maximum garage door width permitted on the lot;
- 947.3 shall also be subject to the requirements and restrictions of the R1B zone and all the general provisions of this by-law which are not in conflict with those set out in section 947.2."
- "949 The lands designated R1C- Section 949 on Sheet 23 of Schedule A to this by-law:
- 949.1 shall only be used for the purposes permitted in an R1C zone.
- 949.2 shall be subject to the following requirements and restrictions:
 - (1) Minimum Lot Area: 264 square metres
 - (2) Minimum Lot Width:

Interior Lot: 11.0 metres Corner Lot: 12.8 metres

- (3) Minimum Lot Depth: 24 metres
- (4) Minimum Front Yard Depth:
 - 4.5 metres to the front wall of a dwelling
- (5) Minimum Rear Yard Depth:

7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25 percent of the minimum required lot area.

(6) Minimum Interior Side Yard Width:

- (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres;
- (b) 1.2 metres where the interior side yard abuts a public walkway or a non-residential zone.
- (7) Minimum Exterior Side Yard Width:
 - 3.0 metres to the side wall of a dwelling
- (8) Minimum Setback to a Garage Door:
 - (a) 6.0 metres on the sidewalk side of a street having a right-of-way width equal to or greater than 17. 0 metres but less than 20 metres;
 - (b) 5.5 metres on the non-sidewalk side of a street having a right-of-way width equal to or greater than 17. 0 metres but less than 20 metres;
 - (c) 5.5 metres on a street having a 20.0 metre wide right-of-way or greater; and
 - (d) 5.4 metres for lots on a street having a right-of-way width less than 17.0 metres.

(9) Garage Projection:

no garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling.

(10) Maximum Garage Door Width:

- (a) the maximum garage door width shall be 5.5 metres for lots on a street having a right-of-way width greater than or equal to 17.0 metres, and 4.0 metres for lots less than 12.0 metres in width on a street having a right-of-way width less than 17.0 metres;
- (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
- (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
- (d) the interior garage width, as calculated 3 metres from the garage opening, shall not be 0.6 metres more than the maximum garage door width permitted on the lot.

- (11) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees.
- (12) Minimum Distance Between Driveway and Street Intersection:

The minimum distance measured along a lot line between a driveway and the actual or projected point of intersection of two streets shall be 5.0 metres.

(13) Setback From TransCanada Pipeline:

No permanent structures shall be located within 10 metres of the limit of the TransCanada Pipeline right-of-way.

- 949.3 shall also be subject to the requirements and restrictions of the R1C zone and all the general provisions of this by-law which are not in conflict with those in section 949.2."
- "1075 The lands designated R1C SECTION 1075 on Sheet 23 of Schedule A to this by-law:
- 1075.1 shall only be used for the purposes permitted in a R1C zone.
- 1075.2 shall be subject to the following requirements and restrictions:
 - (1) Minimum Lot Area:

288.0 square metres;

(2) Minimum Lot Width:

Interior Lot:

12.0 metres;

Corner Lot:

13.8 metres;

(3) Minimum Lot Depth:

24.0 metres;

- (4) Minimum Front Yard Depth:
 - 4.5 metres to the front wall of a dwelling;
- (5) Minimum Rear Yard Depth:
 - 7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;
- (6) Minimum Exterior Side Yard Width:

- 3.0 metres to the side wall of a dwelling;
- (7) Minimum Interior Side Yard Width:
 - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,
 - (b) 1.2 metres where the side yard abuts a public walkway or a non-residential zone;
- (8) No permanent structures and excavations shall be located within 10.0 metres of the limit of the TransCanada Pipeline right-of-way;
- (9) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and,
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;
- (10)Minimum Setback to a Garage Door: 5.4 metres;
- (11)No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;
- (12) The following provisions shall apply to garages:
 - (a) the maximum garage door width shall be 5.5 metres;
 - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;
 - (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
 - (d) the interior garage width, as calculated 3.0 metres from the garage opening shall not be 0.9 metres more than the maximum garage door width permitted on the lot;
- 1075.3 shall also be subject to the requirements and restrictions relating to the R1C zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 1075.2."
- "1076 The lands designated R1C SECTION 1076 on Sheet 23 of Schedule A to this by-law:
- 1076.1 shall only be used for the purposes permitted in a R1C zone.
- 1076.2 shall be subject to the following requirements and restrictions:

(1) Minimum Lot Area: 328.0 square metres;

(2) Minimum Lot Width:

Interior Lot: 13.7 metres; Corner Lot: 15.5 metres;

(3) Minimum Lot Depth: 24.0 metres;

(4) Minimum Front Yard Depth:

4.5 metres to the front wall of a dwelling;

(5) Minimum Rear Yard Depth:

7.5 metres which may be reduced to a minimum of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area;

- (6) Minimum Exterior Side Yard Width:
 - 3.0 metres to the side wall of a dwelling;
- (7) Minimum Interior Side Yard Width:
 - (a) 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres; and,
 - (b) 1.2 metres where the side yard abuts a public walkway or a non-residential zone;
- (8) No permanent structures and excavations shall be located within 10.0 metres of the limit of the TransCanada Pipeline right-of-way;
- (9) Minimum Landscaped Open Space:
 - (a) 40% of the minimum front yard area; and,
 - (b) 30% of the minimum front yard area if the acute angle at the intersection of the side lot lines extended beyond the front lot line is greater than 25 degrees;
- (10)Minimum Setback to a Garage Door: 5.4 metres;
- (11)No garage shall project into the front yard more than 1.5 metres beyond a porch or front wall of a dwelling;
- (12) The following provisions shall apply to garages:
 - (a) the maximum garage door width shall be 5.5 metres;
 - (b) the garage door width may be widened by an extra 0.6 metres if the front of the garage is not more than 2.5 metres closer to the front lot line than the ground floor main entrance of the dwelling unit;

- (c) the garage door width restriction does not apply to the garage door facing a flankage lot line;
- (d) the interior garage width, as calculated 3.0 metres from the garage opening shall not be 0.9 metres more than the maximum garage door width permitted on the lot;

1076.3 shall also be subject to the requirements and restrictions relating to the R1C zone and all the general provisions of this by-law which are not in conflict with the ones set out in section 1076.2."

READ a FIRST, SECOND and THIRD TIME, and PASSED, in OPEN COUNCIL, this **29th** day of **January**,2001.

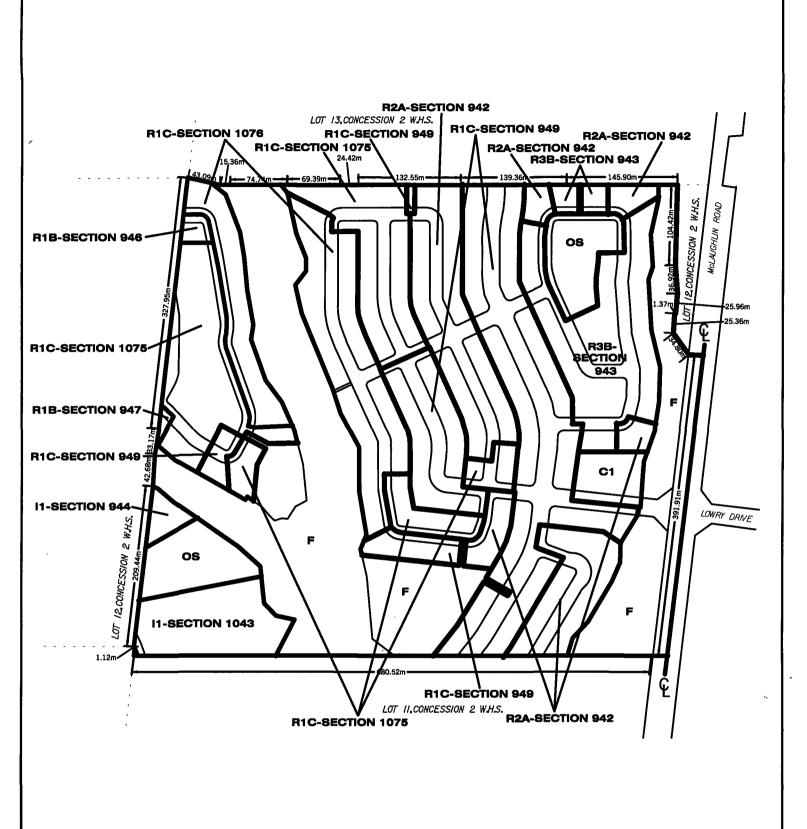
SUSAN FENNELL - MAYOR

LEONARD J. MIKULICH - CITY CLERK

Approved as to Content

hn B. Corbett, M.C.I.P., R.P.P.

Director of Planning and Development Services



LEGEND

ZONE BOUNDARY

€ CENTRELINE OF ORIGINAL ROAD ALLOWANCE

m METRES

0 100

200

300

Metres

PART LOT 12, CONCESSION 2 W.H.S.

BY-LAW 151-88

SCHEDULE A

By-Law 18-2001 Schedule A



CITY OF BRAMPTON

Planning and Building

Date: 2000 10 30

Drawn by: CJK

File no. C2W12.1

Map no. 23-5F

(no appeal)

IN THE MATTER OF the *Planning Act*, R.S.O. 1990, as amended, section 34;

AND IN THE MATTER OF the City of Brampton By-law 18-2001 being a by-law to amend comprehensive zoning By-law 151-88 as amended (MCLAUGHLIN ROAD PROPERTIES (BRAMPTON) INC. – File: C2W12.1)

DECLARATION

I, LEONARD JOSEPH MIKULICH, of the City of Brampton, in the Regional Municipality of Peel, DO SOLEMNLY DECLARE THAT:

- 1. I am the City Clerk of The Corporation of the City of Brampton and as such have knowledge of the matters herein declared.
- 2. By-law 18-2001 was passed by the Council of The Corporation of the City of Brampton at its meeting held on the 29th day of January, 2001.
- 3. Written notice of By-law 18-2001 as required by section 34(18) of the *Planning Act* was given on the 1st day of February, 2001, in the manner and in the form and to the persons and agencies prescribed by the *Planning Act*, R.S.O. 1990 as amended.
- 4. No notices of appeal were filed under section 34(19) of the Planning Act on or before the final date for filing objections.

DECLARED before me at the City of Brampton in the

Region of Peel this 27th day of February, 2001

A Commissioner, etc.

Cheryl Lyn Fendley, a Commissioner etc., Regional Municipality of Peel, for The Corporation of The City of Brampton Expires October 18, 2002. I, Leonard J. Mikulich, City Clerk, of the City of Brampton, hereby certify that the attached by-law, being By-law 151-88, and amending by-laws attached hereto and listed below, are true copies:

177-88, 182-88, 184-88, 186-88, 188-88, 191-88, 194-88, 196-88, 210-88, 218-88, 227-88, 232-88, 260-88, 261-88, 265-88,

03-89, 06-89, 14-89, 16-89, 39-89, 43-89, 47-89, 67-89, 101-89, 103-89, 112-89, 121-89, 135-89, 138-89, 153-89, 167-89, 183-89, 192-89, 194-89, 206-89, 223-89, 226-89, 234-89, 236-89, 241-89, 246-89, 267-89, 283-89, 301-89, 313-89,

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3-2001, 18-2001

Leonard J. Mikulich

City Clerk, February 27, 2001